

February 26, 2024

Sent Via Email

Christopher Carthy, Chairman
North Castle Planning Board
17 Bedford Road
Armonk, NY 10504

**Re: *111 Round Hill Realty LLC
Application for Subdivision, Site Plan,
Accessory Apartment Special Permit,
and Tree Removal Permit
10 and 20 Round Hill Way (109.01-1-49.4 and 49.5)***

Honorable Chair and Members of the Board:

I. INTRODUCTION

This firm, in collaboration with Lennon Architects, and Insite Engineering, Surveying & Landscape Architecture, P.C., represents 111 Round Hill Realty LLC (“Owner” or “Applicant”), owner of the property located at 10 and 20 Round Hill Way (“Property”). The Applicant is proposing to: (i) relocate the lot line between 10 Round Hill Way and 20 Round Hill Way; (ii) construct a single-family home on 10 Round Hill Way; and (iii) construct a single-family home, barn with accessory apartment and attached greenhouse, swimming pool, and tennis court on 20 Round Hill Way.

In order to achieve the foregoing, the Applicant requires subdivision approval for the lot line realignment, site plan/tree removal permit approvals for the proposed site improvements, and special permit approval for an accessory structure in excess of 800s.f. and the accessory apartment¹. The purpose of this letter is to transmit these applications and to request placement on your February 26th agenda for an initial presentation and, if your Board deems appropriate, referral to the Zoning Board of Appeals and the scheduling of the required public hearing.

II. DESCRIPTION OF SITE AND ZONING:

The Property is located at 10 and 20 Round Hill Way and is identified on the Tax Assessment map of the Town of North Castle as parcels 109.01-1-49.4 (“Lot 4”) and 109.01-1-49.5

¹ Note that the Applicant will also require approval from the ZBA with respect to the size of the accessory structure, having an accessory apartment in an accessory structure, and relief from the required waiting period to have an accessory apartment.

“Lot 5”). The Property is located in the R-2A single family residence district and is approximately 20.7 acres². Both lots are currently vacant, unimproved land.

III. SITE HISTORY

The Property was created as part of the Rolling Hills Subdivision, which was approved by the Planning Board in 2006. The Rolling Hills Subdivision Pat was recorded with the Westchester County Clerk as Map # 27849 on December 15, 2006. It should be mentioned that note 2 on Map 27849 provides that “[f]urther subdivision of Lots 1 through 5 is to be prohibited by deed restriction.” To that end, a Declaration of Covenants, Restrictions, and Easements was recorded with the Westchester County Clerk on February 28, 2007 in Control No. 470380020. The Declaration contains a “Prohibition Against Re-subdivision (Lots 3, 4, and 5)” that provides

Notwithstanding the fact that Lots 3, 4, and 5 presently or may continue in the future to each have a lot area of more than twice the minimum lot size permitted in the zoning district in which said Lots are located, Lots 3, 4, and 5 shall not be further subdivided or resubdivided so as to create any new building lots. *The foregoing shall not preclude a lot line adjustment or change or a subdivision or resubdivision the object of which is not to create a new building lot.* (emphasis added)

Accordingly, while there is a deed restriction which prohibits further subdivision or resubdivision, the Applicant’s proposal to realign the lot lines between Lot 4 and Lot 5 is clearly permitted so long as no new building lot is created.

In addition to the declaration discussed above, approximately 9.6 acres of the Property are burdened by a Conservation Easement. As shown on the enclosed plans, no work is being proposed in the Conservation Easement area.

IV. CURRENT PROPOSAL

As noted above, the Applicant is proposing to (i) relocate the lot line between Lot 4 and Lot 5; (ii) construct a single-family home on Lot 4; and (iii) construct a single-family home, barn with accessory apartment and greenhouse, swimming pool, and tennis court on Lot 5.

Lot Line Realignment: Currently, Lot 4 is 10.011 acres and Lot 5 is 10.673 acres. The Applicant is proposing to relocate the lot lines so that Lot 4 will end up being approximately 4.7 acres and Lot 5 will be approximately 16.0 acres. As shown on the Zoning Conformance Table enclosed herewith, both lots will remain fully compliant with the R-2A zoning district standards.

Lot 4 Development: The Owner is proposing an approximately 7,169 s.f., 5-bedroom home, swimming pool, and associated site improvements. Access to Lot 4 will be provided via a shared driveway with Lot 5 directly from Round Hill Road.

² Currently, Lot 4 is approximately 10.011 acres and Lot 5 is approximately 10.673 acres.

Lot 5 Development: The Owner is proposing to develop Lot 5 with an approximately 11,277 s.f., 5-bedroom house with pool and tennis court. Additionally, a 2,779 s.f. accessory structure, which contains: (i) a 1,344 s.f. first floor barn; (ii) a 1,302 s.f., 2-bedroom accessory apartment above, a 132 s.f. covered porched, and a 216 s.f. attached greenhouse.

In support of this application, the following plans and documents are submitted herewith:

1. Site Development Plan Application and Checklist;
2. Special Use Permit Application and Checklist;
3. Preliminary Subdivision Approval Application and Checklist;
4. Gross Land Coverage Calculations Worksheet;
5. Gross Floor Area Calculations Worksheet;
6. Tree Removal Permit Application;
7. Site Plan Drawing Set, 12 sheets, dated February 12, 2024;
8. Lot 4 Residence Architectural Drawing Set, 14 Sheets;
9. Lot 5 Residence Architectural Drawing Set, 12 Sheets; and
10. Lot 5 Barn with Accessory Apartment Architectural Drawing Set, 11 Sheets.

V. CONSIDERATION FOR SPECIAL PERMIT APPROVAL

A. Necessity for Special Permit Approval: As set forth above, the Property is located in the R-2A zoning district. Pursuant to § 355-21 – Attachment 1, permitted accessory uses in the R-2A district include:

1. Private Barn/Greenhouse³: “Private gardenhouses, toolhouses, greenhouses, gatehouses, *garages* or similar private accessory uses *not over 1 story and 15 feet in height and limited to 800 square feet in area, except that the Planning Board may, by special permit, authorize the construction of accessory buildings not over 2 stories or 22 feet in height*, provided that any such individual accessory building does not exceed 25% of the floor area of the main building, and further provided that all such accessory buildings meet all required setbacks for main buildings in the district in which they are located and are not located within any front yard. (emphasis added)

In this case, the proposed Barn/Greenhouse will be in excess of 800 s.f. and 1 story, accordingly a special permit from your Board is required. The proposed residence on the Property is approximately 11,277s.f., therefore, the proposed approximately 2,779s.f. barn/greenhouse is roughly 24.6% of the floor area of the main building, which complies with maximum permitted by the zoning code. Additionally, the proposed barn meets all required setbacks and is not located within the front yard.

³ The Applicant is also proposing to include a 1-bedroom accessory apartment on the second floor of the barn/greenhouse, which is discussed separately in section V(A)(2) of this letter.

2. Accessory Apartment: “Accessory apartments, in single-family residence districts, subject to the requirements of § 355-40(K).”

Pursuant to § 355-40(K)(1),

“[i]t is the specific purpose and intent in allowing accessory apartments in single-family residence districts to provide opportunity and encouragement for the development of small rental housing units designed to meet the special housing needs of persons of low- and moderate-income especially the young and old, and of relatives of families living in North Castle. It is also the purpose and intent of this subsection to allow the more efficient use of the Town’s existing housing stock of dwellings and accessory buildings, to provide economic support for present families of limited income and thereby promote the protection and preservation of property values. Further, it is the purpose and intent of these regulations to assure the maintenance of the single-family character and property values of neighborhoods through resident-owner occupancy of lots and dwelling where an accessor apartment might be located. To help achieve these goals and to promote other objectives of this subsection, the following specific standards are set forth for such accessory apartment uses.”

Despite the fact that the Applicant will need variances from the ZBA: (i) so that the accessory apartment can be located in an accessory building and (ii) so that the accessory apartment be permitted prior to the required 4 year waiting period, it is respectfully submitted that this special permit application for an accessory apartment meets the specific purpose and intent of these regulations by utilizing a portion of the proposed accessory building as a small housing unit. The Owner does not intend to rent the accessory apartment. Instead, it’s intended use to provide temporary housing for family and friends when they come to visit or to provide housing for a caretaker in the future.

B. North Castle Specific Conditions and Standards Applicable to Accessory Apartments: As provided for in § 355-40(K)(1), there are certain specific standards that must be met prior to the granting of a special permit for an accessory apartment. Those standards are contained in §355-40(K)(3)-(11) and are listed below, followed by an explanation of how each is met.

1. *Occupancy. The owner of the lot on which the accessory apartment is located shall occupy either of the dwelling units on the premises. Owner occupancy of one of the dwelling units shall continue for the duration of the special permit.*

Upon completion of the single-family home and issuance of a Certificate of Occupancy, the Owner will occupy the single-family residence on the Property and will continue living there for the duration of the special permit.

2. *Accessory apartments are only permitted in any of the single-family residence districts. Accessory apartments may be located in a principal residence or accessory building,*

provided that such building existed prior to October 11, 1984, and conforms to the other requirements of this chapter, unless a variance therefor shall have been granted by the Zoning Board of Appeals.

In this case, the Property is located in the R-2A single-family residence district and the accessory apartment is being proposed in an accessory building. Because the accessory building that is being proposed as part of this application was not in existence prior to 1984 a variance will be required from the ZBA in order to locate an accessory apartment in the accessory building.

3. *No accessory apartment shall be permitted until four years after the issuance of a certificate of occupancy for the principal dwelling, and no accessory apartment shall be permitted in a structure until at least two years after the current owner has acquired title to the property, whichever comes later.*

As provided above, the Property is currently vacant land, so no certificates of occupancy have been issued. Further, the Owner took title to the Property in August of 2023. Therefore, the required two years of ownership has not yet been met.

Notwithstanding the foregoing, it is respectfully submitted that the proposed accessory apartment meets the stated intent and goals of § 355-40(K)(1) in that it will provide a small housing unit for relatives and could be used as a small rental unit in the future. Further, there is no negative impact associated with allowing the Owner to utilize an accessory apartment on the Property prior to meeting these seemingly arbitrary time limits. Accordingly, it is requested that the Planning Board refer this application to the ZBA for the required variance from these time limits.

4. *There shall be no more than one accessory apartment per lot.*

There will only be one accessory apartment on the Property.

5. *No accessory apartment shall be permitted in any dwelling unit utilized as a boarding house previously established under the provisions of Chapter 355.*

The accessory structure will be brand new and, accordingly, was never utilized as a boarding house.

6. *No accessory apartment shall be permitted on any lot currently utilized as an office of a professional person or home occupation, as defined in § 355-4 and regulated in § 355-21.*

The Property is not currently utilized as an office of a professional person or home occupation.

7. *Any principal or accessory building in which an accessory apartment is proposed shall meet all applicable setback requirements and other standards for the district in which it is located.*

Both the principal and accessory building in which the accessory apartment is proposed meet all applicable setback requirements and most other standards for the R-2A district.

8. *Off-street parking for accessory apartments in residence districts shall be provided in accordance with the requirements of Article IX. Where practicable, the Planning Board shall require that off-street parking for accessory apartments be located in the side or rear yard of the lot and in no case less than 20 feet from the front property line.*

Pursuant to Article IX, accessory apartments require 1 parking space per bedroom or 2 per dwelling unit. In this case two parking spaces are provided. The parking for the accessory apartment is located in the side yard and is not less than 20 feet from the property line.

9. *If an accessory apartment is located in a principal dwelling, the entry to the unit and its design shall be such that the appearance of the dwelling shall remain as a single-family residence.*

In this case, the accessory apartment is not located in the principal dwelling unit.

10. *The minimum size of an accessory apartment within a principal dwelling shall be 300 square feet. Where the gross floor area of the dwelling is less than or equal to 2,000 square feet, the accessory apartment shall in no case exceed 33% of such area. Where the gross floor area of the dwelling is greater than 2,000 square feet, the permitted maximum size of the accessory apartment may be increased by 25% of the gross floor area in excess of 2,000 square feet. In cases of accessory apartments established prior to October 11, 1984, upon recommendation of the Building Inspector, the Planning Board may, at its option, increase these percentages to no more than 35% and 27%, respectively. The minimum size of an accessory apartment located in an accessory building shall be at least 300 gross square feet. There shall be no more than two bedrooms per accessory apartment. (Emphasis added)*

In this case, the accessory apartment is located in an accessory building and is approximately 1,300 square feet, thereby meeting and exceeding the minimum required size of 300 square feet. Additionally, there is only 1 bedroom in the accessory apartment.

- C. North Castle General Conditions and Standards:** Article VII of the Zoning Code of the Town of North Castle establishes the general procedures for Planning Board review of an application for special use permits. Specifically, § 355-37 requires that before granting a special use permit, six “conditions and standards” must be met. Additionally, § 355-38 permits the Planning Board to “attach such conditions and safeguards to any proposed use

and development plan as are, in [the Board's] opinion, necessary to ensure initial and continual conformance to all applicable standards and requirements." The six "conditions and standards" are set forth below, followed by an explanation of how each standard is met.

1. *The location and size of the use, the nature and intensity of the operations involved in it or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to the streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located and that it complies with all special requirements for such uses established in [Chapter 355 of the North Castle Zoning Code].*

The accessory structure, including the accessory apartment, that is proposed in connection with the single-family home will be located on the northern portion of the Property. The building will be fully compliant with all required setbacks. Additionally, the proposed location for the accessory building is located at an elevation of 234.5 and is approximately 200 feet from the nearest single-family home. The 20 foot +/- existing hill separating the structures, existing mature trees between the accessory structure and neighboring properties and the proposed additional plantings provides appropriate screening. Moreover, the addition of an approximately 2,779s.f. barn/greenhouse with accessory apartment on a property that is over 15 acres, with the vast majority of the site being maintained in its present wooded state precisely how the Property was anticipated to be developed and will be in harmony with the appropriate and orderly development of the R-2A district.

2. *The location, nature and height of buildings, walls, fences and the nature and extent of existing or proposed plantings on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.*

The Property is approximately 15 acres and heavily wooded. The location of the accessory structure with accessory apartment, coupled with the existing trees, topography, and proposed plantings, will provide adequate screening from adjoining properties. It is respectfully submitted that the location, nature and height of the existing structures will not hinder or discourage the appropriate development and use of adjacent land and buildings. The properties located to the north, east, and west are already improved with single-family homes. Further, the property to the south (Lot 4) is owned by the Applicant and is similarly proposed to be developed with a single-family home.

3. *Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would be the operations of any permitted uses not requiring a special permit.*

The accessory building and apartment will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would the operations of any permitted uses not requiring a special permit.

4. *Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum convenience and safety.*

The parking area proposed for the accessory building and apartment is of adequate size, is properly located, and is suitably screened from adjoining residential uses. Further, the entrance and exit drive is convenient and safe.

5. *Where required, the provisions of Chapter 177 [of the North Castle Code], Flood Damage Prevention.*

The Town Flood Hazard Ordinance is not applicable to the Applicant's proposal, as no changes are proposed to the site.

6. *The [Planning] Board finds that the proposed special permit use will not have a significant adverse effect on the environment.*

It is respectfully submitted that the approval of an accessory apartment located in an accessory structure will not have an adverse effect on the environment.

VI. CONCLUSION

Enclosed herewith please find the subdivision, site plan, and special permit application forms and Short Environmental Assessment Form respectively, together with the application fee of \$1,025.00.

Kindly place this matter on the Planning Board's Marh 11, 2024 agenda for an initial presentation and, if your Board deems appropriate, referral to the ZBA for the required variances and the scheduling of the required public hearing.

Please don't hesitate to contact me if you have questions.

Very truly yours,

Kory Salomone



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Application for Site Development Plan Approval

Application Name

10 & 20 Round Hill Way Site Plan



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastlenv.com

PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

jill hoberman
jill hoberman (Feb 26, 2024 10:33 EST)

Applicant Signature

Date:

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: 111 Round Hill Realty LLC

Mailing Address: 1325 Harbor Road, Hewlett, NY 11557

Telephone: 212-463-0900 Fax: _____ e-mail blueeyes0401@aol.com

Name of Applicant (if different): _____

Address of Applicant: _____

Telephone: _____ Fax: _____ e-mail _____

Interest of Applicant, if other than Property Owner:

Is the Applicant (if different from the property owner) a Contract Vendee?

Yes

No

If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan: Richard D. Williams, Jr. P.E. (Insite Engineering)

Address: _____

Telephone: _____ Fax: _____ e-mail RWilliams@insite-eng.com

Name of Other Professional: _____

Address: _____

Telephone: _____ Fax: _____ e-mail _____

Name of Attorney (if any): Kory Salomone, Esq., Zarin & Steinmetz LLP

Address: 81 Main Street, Suite 415, White Plains, NY 10601

Telephone: 914-220-9804 Fax: _____ e-mail ksalomone@zarin-steinmetz.com

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: *jill hoberman* Date: _____
jill hoberman (Feb 26, 2024 10:33 EST)

Signature of Property Owner: *jill hoberman* Date: _____
jill hoberman (Feb 26, 2024 10:33 EST)

MUST HAVE BOTH SIGNATURES

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: Single Family Residence

Gross Floor Area: Existing _____ S.F. Proposed 21,225+- S.F.

Proposed Floor Area Breakdown:

Retail 0 S.F.; Office 0 S.F.;

Industrial 0 S.F.; Institutional 0 S.F.;

Other Nonresidential 0 S.F.; Residential 21,225+- S.F.;

Number of Dwelling Units: _____

Number of Parking Spaces: Existing 0 Required 6 Proposed 6

Number of Loading Spaces: Existing 0 Required 0 Proposed 0

Earthwork Balance: Cut 18,000+- C.Y. Fill 18,000+- C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No x Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No _____ Yes X

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No x Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No x Yes _____

(If yes, application for a State Wetlands Permit may also be required.)







site_devel_2022

Final Audit Report

2024-02-26

Created:	2024-02-12
By:	Tracy Russo (trusso@zarin-steinmetz.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAuWNqAHtSHfS9dIHrDn0yWpGdTtuExaZw

"site_devel_2022" History

-  Document created by Tracy Russo (trusso@zarin-steinmetz.com)
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-  Document emailed to blueeyes0401@aol.com for signature
2024-02-12 - 12:42:16 PM GMT
-  Email viewed by blueeyes0401@aol.com
2024-02-26 - 3:19:33 PM GMT - IP address: 209.73.183.24
-  Signer blueeyes0401@aol.com entered name at signing as jill hoberman
2024-02-26 - 3:33:22 PM GMT - IP address: 108.46.209.150
-  Document e-signed by jill hoberman (blueeyes0401@aol.com)
Signature Date: 2024-02-26 - 3:33:24 PM GMT - Time Source: server- IP address: 108.46.209.150
-  Agreement completed.
2024-02-26 - 3:33:24 PM GMT

Short Environmental Assessment Form

Part 1 - Project Information

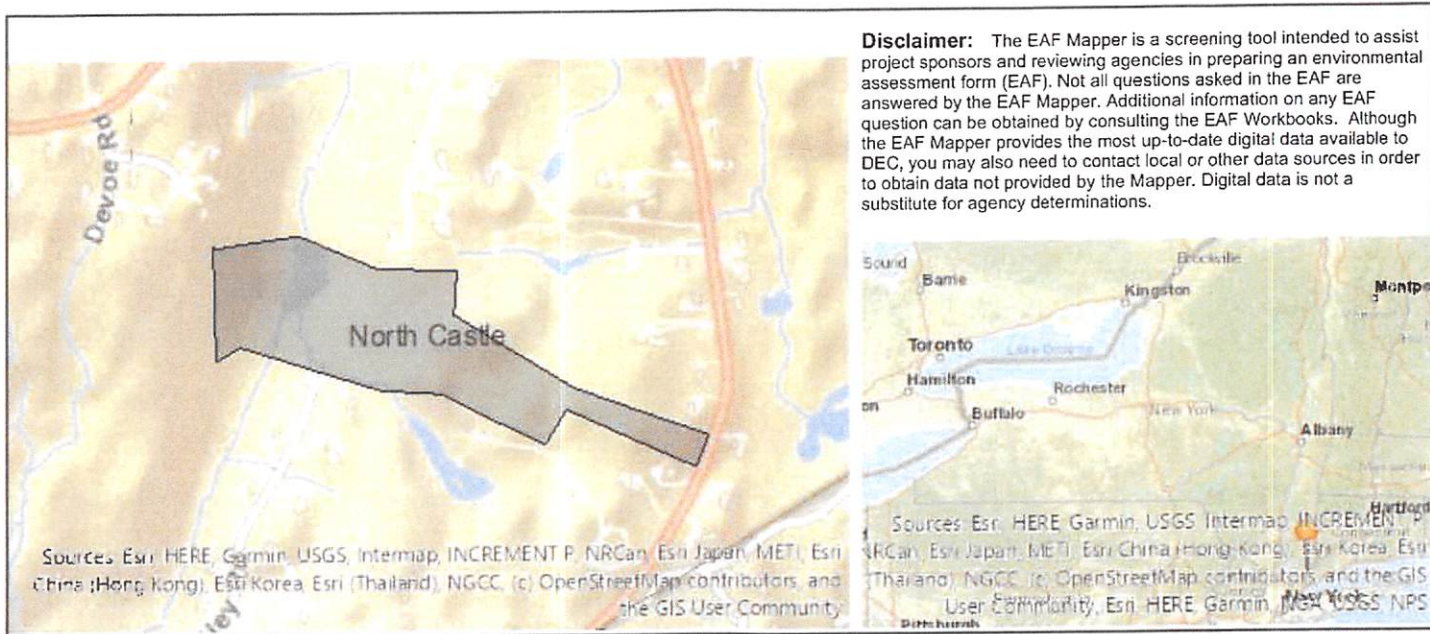
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
10 and 20 Round Hill Way Development			
Project Location (describe, and attach a location map):			
10 and 20 Round Hill Way			
Brief Description of Proposed Action:			
The Applicant is proposing to relocate the common lot line between 10 Round Hill Way and 20 Round Hill Way. The lot line realignment will not result in the creation of an additional lot. Both existing lots will remain zoning compliant. In addition, the Applicant is seeking site plan approval to develop 10 Round Hill Way with a single-family home, barn with accessory apartment and associated improvements. 20 Round Hill Way will be improved by a single-family home. Finally, in order to have an accessory apartment over the barn, the Applicant will be seeking a special permit.			
Name of Applicant or Sponsor:		Telephone: 212-463-0900	
111 Round Hill Realty LLC (C/O Robert Hoberman)		E-Mail: robert@hobermanlesser.com	
Address:			
1325 Harbor Rd			
City/PO:		State:	Zip Code:
Hewlett		NY	11557
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval: Area Variance, ZBA; Westchester County Dept of Health; NYSDEC SPDES GP 0-20-001 coverage			YES
3. a. Total acreage of the site of the proposed action? _____ 20.7 acres			
b. Total acreage to be physically disturbed? _____ 5.9 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 20.7 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Name: Mianus River, Reason: Exceptional or unique character, Agency: Westchester County, Date: 1-31-90 If Yes, identify: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ New wells are proposed for both properties.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ New septic systems are proposed for both properties.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Mianus River, Reason:Exceptional or unique character, Agency:Westchester County, Date:1-31-90
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No



PT3
Taft Posttop LED



GENERAL DESCRIPTION

The decorative post top lantern is ideal for lighting city streets, residential areas, campuses, parking lots, and walkways. The architectural hardware consists of a handsome housing, a prismatic optic, and a decorative cover.

OPTICAL ASSEMBLY

The optical assembly consists of a prismatic glass or acrylic reflector to precisely distribute light with excellent visual comfort and uniformity. Configure with CCT options of 2700K, 3000K, and 4000K. CRI is 70 minimum. Available in symmetric and asymmetric distributions.

ELECTRICAL ASSEMBLY

The programmable LED driver includes 0-10V dimming with optional DALI dimming. Drivers are available in 120V/277V, 347V, 480V, and 727V-480V options (3-phase). Driver life is rated to at least 50,000 hours. The 375mA/40W (90:20) option includes enhanced power quality protection for maximum efficiency against electromagnetic voltage transients, harmonics, disturbance, and other world power quality disturbances.

FINISH

The lantern housing is low copper cast aluminum and finished with corrosion resistant super durable powder coat paint for maximum durability. Options include pre-finished and powder process finish. A finish that achieves a subtle sheen (rating of 1 per ASTM D523) after over 5000 hours exposure to salt fog chamber (operated per ASTM B117).

MOUNTING

Lantern includes an integral hanger that accepts a 1" x 1/2" x 82" x 1/2" U-Bolt. U-bolts, spacer to the lantern to set screws.

OPTIONAL CONFIGURATIONS

Industry standard 7 pin NEMA photometric, mounted separately in place of the lens.
"Night All" enabled for connection to night all wireless control systems for energy conservation.
DALI dimmable drivers. Contact factory for details.
Concentration of lumen packages is possible. Consult factory for details.

LISTING

The lantern is CSA certified to US and Canadian standards. 2007/1048 extreme surge protection per IEC/EN 61010-1:2001. Suitable for operation in ambient temperatures from -40°C to 40°C. Critical number is listed in the Data Sheet.
Designated Consensus™ (DLC) Premium qualified product. For all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Product List at www.dlc.com to confirm which version are qualified.

REGULATORY

This product is assembled in the USA and meets the Buy American Act government procurement requirements under FAR, FARAC and DOD regulations. Please refer to www.buyusa.gov for additional information.
5-year limited warranty. This is the only warranty provided and no other statements in this specification shall create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at www.holophane.com/support/warranty/terms-and-conditions.

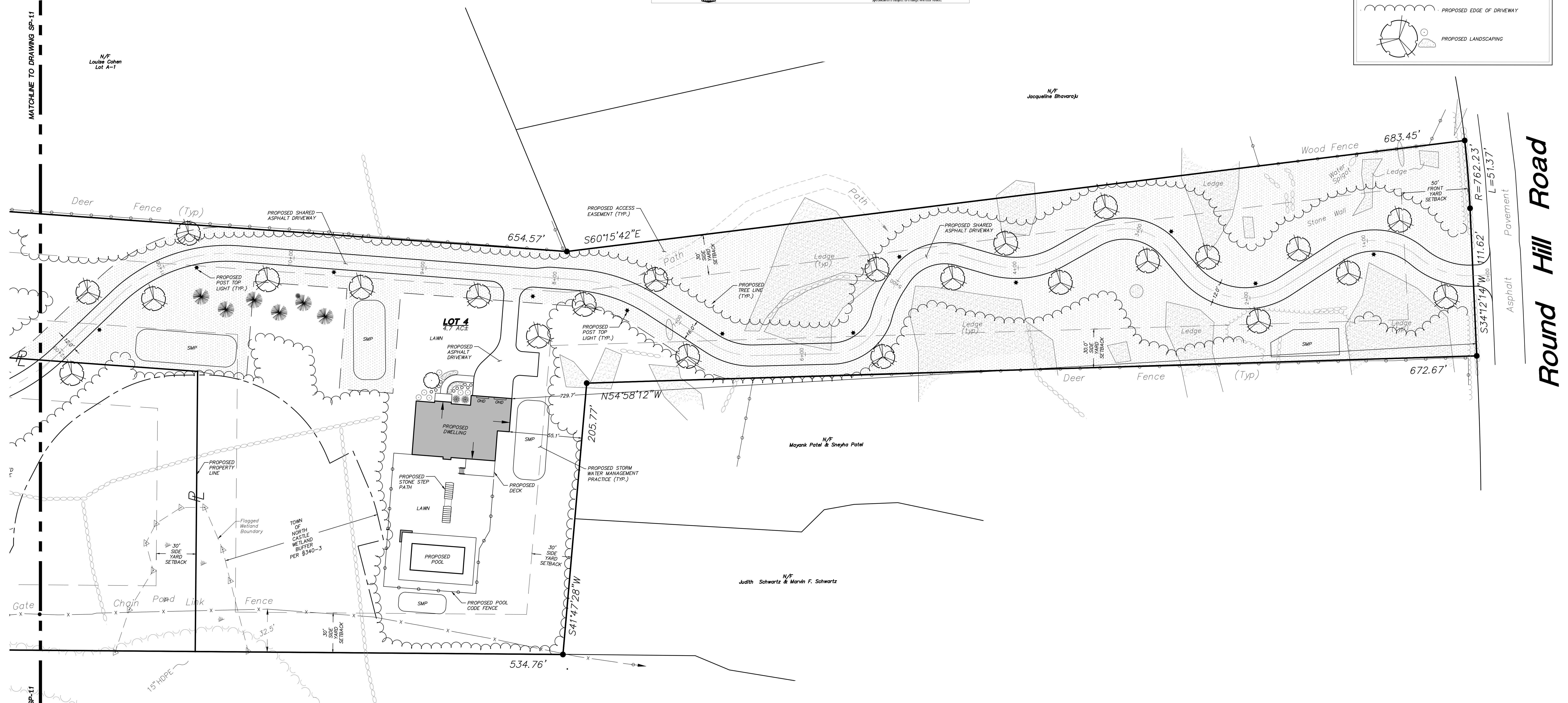
NOTE

Actual performance may differ as a result of end use environment and application.
All values are design or typical values, measured under laboratory conditions only.
Specifications subject to change without notice.

SCHEMATIC PLANT SCHEDULE			
KEY	BOTANICAL/Common Name	SIZE	ROOT/SPACING
AR	DECIDUOUS TREES <i>Betula nigra</i> / River Birch	3" - 3/2" CAL.	B & B
CL	EVERGREEN TREES <i>Cupressus x haydenii</i> / Leyland Cypress	6' HT.	B & B
TO	<i>Thuja occidentalis</i> / Green Giant Arborvitae	8' HT.	B & B
AC	UNDERSTORY TREES <i>Amelanchier x grandiflora</i> / 'Autumn Brilliance' Serviceberry	1 1/2" CAL.	B & B
CC	<i>Cercis canadensis</i> / Eastern Redbud	1 1/2" CAL.	B & B
CR	SHRUBS <i>Cornus racemosa</i> / Gray Dogwood	30" - 36" HT.	#5 CONT.
HV	<i>Hamamelis virginiana</i> / Witchhazel	30" - 36" HT.	#5 CONT.
HQ	<i>Hydrangea quercifolia</i> / Oakleaf Hydrangea	30" - 36" HT.	#5 CONT.
IV	<i>Ilex verticillata</i> / Winterberry	18" - 24" HT.	#3 CONT.
AN	GROUNDCOVERS <i>Aster novae angliae</i> / New England Aster	18" O.C.	#3 CONT.
EP	<i>Echinacea purpurea</i> / Coneflower	18" O.C.	#3 CONT.
IV	<i>Iris versicolor</i> / Blue Flag Iris	24" O.C.	#3 CONT.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING STONE WALL
- EXISTING DIRT TRAIL
- EXISTING GATE
- EXISTING CHAIN LINK FENCE
- EXISTING DEER FENCE
- EXISTING WETLAND
- EXISTING WETLAND FLAG
- EXISTING WETLAND BUFFER
- EXISTING 100 YR. FLOODPLAIN BOUNDARY
- EXISTING TREELINE
- EXISTING INDIVIDUAL TREE (See Tree Legend)
- EXISTING DECIDUOUS TREE
- PROPOSED PROPERTY LINE
- PROPOSED DWELLING
- PROPOSED EDGE OF DRIVEWAY
- PROPOSED BOULDER RETAINING WALL
- PROPOSED POST MOUNTED LIGHT
- PROPOSED DOOR LOCATION
- PROPOSED OVERHEAD DOOR LOCATION
- PROPOSED EDGE OF DRIVEWAY
- PROPOSED LANDSCAPING



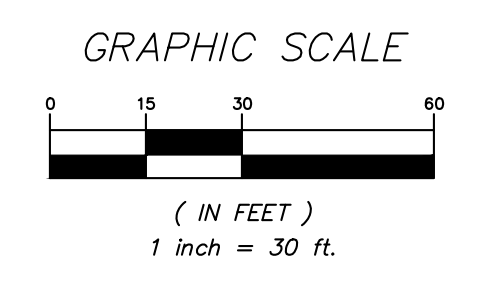
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N/F Jacqueline Bhovraj

N/F Mayank Patel & Sneha Patel

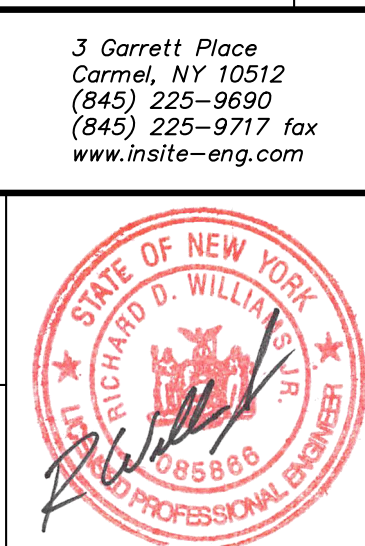
N/F Judith Schwartz & Marvin F. Schwartz

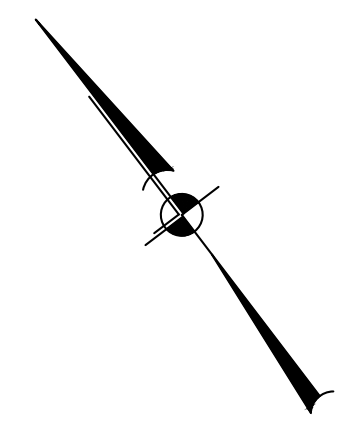
Round Hill Road



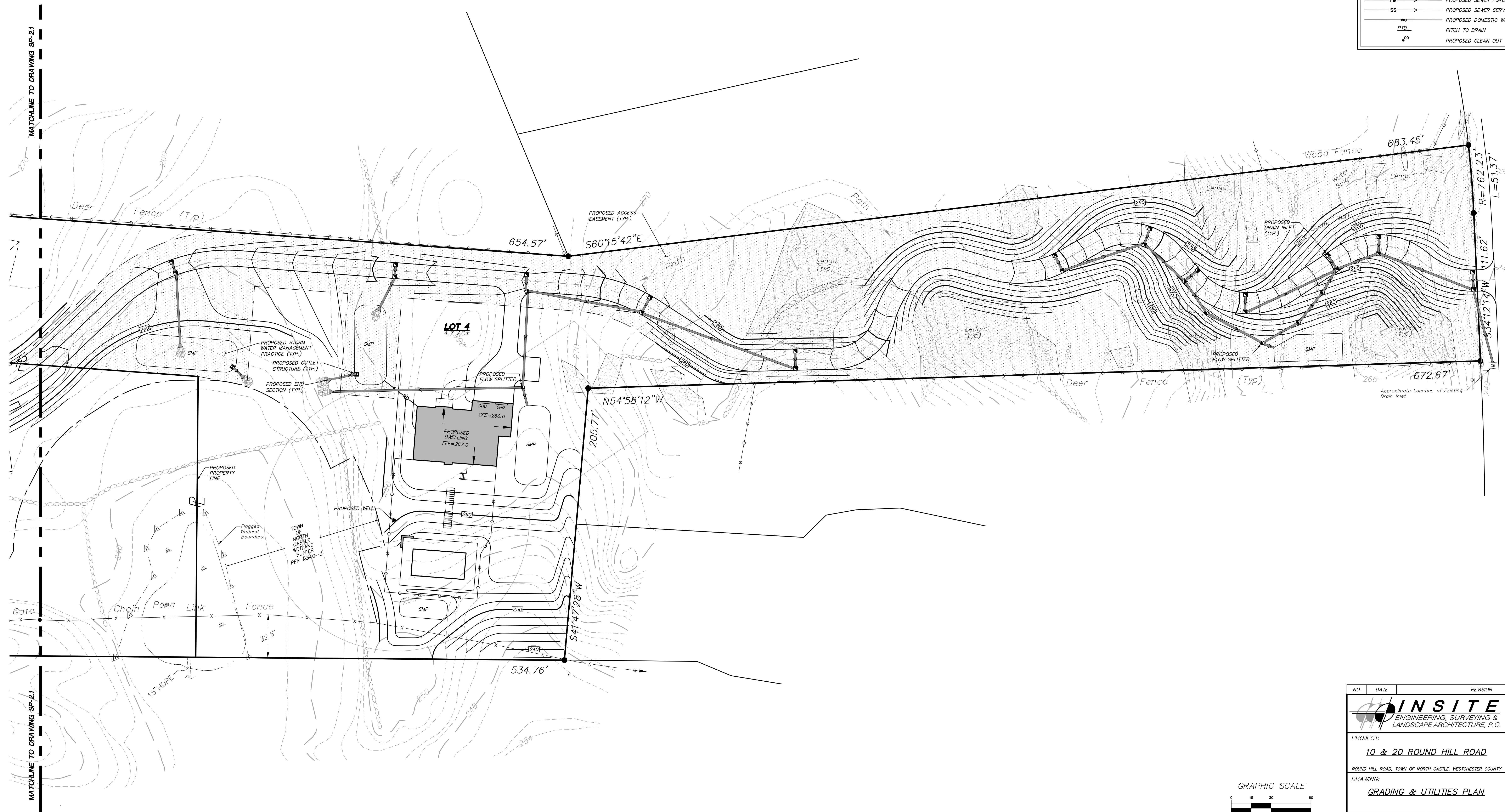
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: 10 & 20 ROUND HILL ROAD			
ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY			
DRAWING: LAYOUT & LANDSCAPE PLAN			
PROJECT NUMBER	22222.100	PROJECT MANAGER	R.D.W.
DATE	2-26-24	DRAWN BY	T.S.M.
SCALE	1" = 30'	CHECKED BY	A.D.T.
DRAWING NO. SP-1.2			SHEET 4 12





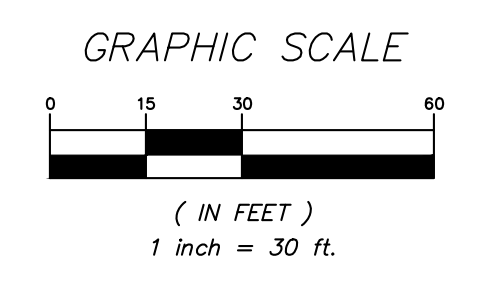
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	EXISTING STONE WALL
	EXISTING DIRT TRAIL
	EXISTING GATE
	EXISTING CHAIN LINK FENCE
	EXISTING DEER FENCE
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING WETLAND BUFFER
	EXISTING 100 YR. FLOODPLAIN BOUNDARY
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED DRAINAGE MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED OUTLET STRUCTURE
	PROPOSED END SECTION
	PROPOSED WELL
	PROPOSED DRAINAGE PIPE
	PROPOSED SEWER FORCE MAIN
	PROPOSED SEWER SERVICE LINE
	PROPOSED DOMESTIC WATER SERVICE LINE
	PITCH TO DRAIN
	PROPOSED CLEAN OUT



Round Hill Road

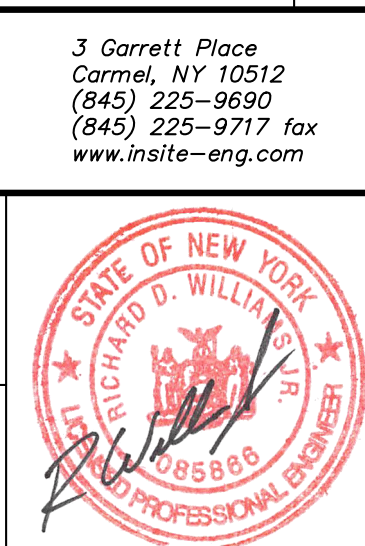
MATCHLINE TO DRAWING SP-21

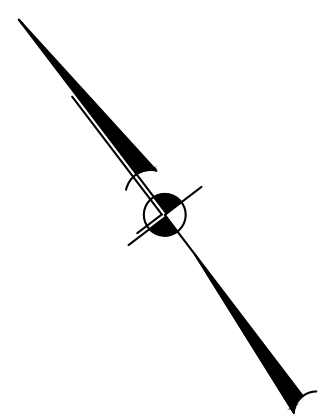
MATCHLINE TO DRAWING SP-21



NO.	DATE	REVISION	BY
PROJECT: 10 & 20 ROUND HILL ROAD <small>ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY</small>			
DRAWING: GRADING & UTILITIES PLAN			
PROJECT NUMBER	22222.100	PROJECT MANAGER	R.D.W.
DATE	2-26-24	DRAWN BY	T.S.M.
SCALE	1" = 30'	CHECKED BY	A.D.T.
DRAWING NO.			SHEET
SP-2.2			6
			12

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PERMANENT STORMWATER FACILITIES MAINTENANCE SCHEDULE					
PRACTICE/FACILITY	MONTHLY	AFTER MAJOR STORM EVENTS	BI-ANNUALLY	YEARLY	EVERY 5 TO 10 YEARS
GRASS SWALES	Inspect first few months after construction for grading soils & slumpage & repair immediately	-	Inspect & clean Mow & remove debris & litter. Revegetate as needed.	-	Inspect for & remove accumulated sediment
DRAINAGE STRUCTURES	-	Side drain inlets shall be inspected and any accumulated sediment in sump shall be removed.	Inspect all structures for damage to frame and grate & pipe inlets/outlets. Clean accumulated sediment in sump.	-	-
STORMWATER BASINS	Inspect first few months after construction for grading soils & slumpage & repair immediately	Inspect inlets & outlets for clogging, eroding soils on the basin berm & embankments, & sources of erosion, & stabilize and/or repair immediately	Mow berms and exterior embankments. Remove debris & litter from basins & outlet structures. Remove sediment if accumulated greater than an 1"	-	Inspect for & remove accumulated sediment

Note: The party responsible for implementation of the maintenance schedule during and after construction is:
 11 Round Hill Road Realty, LLC
 10 & 20 Round Hill Road
 Armonk, NY 10504
 and/or the current owner(s) of the subject property.

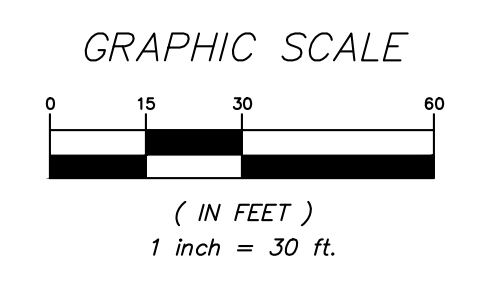
- CONSTRUCTION SEQUENCE:**
1. Install stabilized construction entrance/anti-tracking pad at driveway entrance.
 2. Install silt fence in general locations indicated on the plan.
 3. Begin clearing and grubbing operations associated with house, driveway and SSTS.
 4. Strip and stockpile topsoil on site for later use in lawn and landscape areas.
 5. Begin excavation for foundation, individual lot grading, and construction of individual driveway off of the common driveway.
 6. Begin house construction and installation of SSTS and well.
 7. Install storm drainage and connect to existing drainage in subdivision road.
 8. Upon completion of grading operations, install finished driveway surfaces.
 9. Topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the Erosion and Sediment Control Notes contained on this page.

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE						
PRACTICE	MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS		
	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION	
SILT FENCE BARRIER	-	Inspect	Inspect	Clean/Replace Stone and Fabric	Remove	
STABILIZED CONSTRUCTION ENTRANCE	Inspect	-	Inspect	Mulching/Spraying Water	N/A	
DUST CONTROL	Inspect	-	Inspect	Water/Reseed/Retain	Reseed to 80% Coverage	
VEGETATIVE ESTABLISHMENT	-	Inspect	Inspect	Clean/Repair/Replace	Remove	
INLET PROTECTION	-	Inspect	Inspect	Mulching/Silt Fence Repair	Remove	
SOIL STOCKPILES	-	Inspect	Inspect	Clean/Mulch/Repair	Mow Permanent Grass/Replace/Repair Rip/Rap	
SWALES	-	Inspect	Inspect	Clean Sumps/Remove Debris/Repair/Replace	Clean Sumps/Remove Debris/Repair/Replace	
CONCRETE DRAINAGE STRUCTURES	-	Inspect	Inspect	Clean/Repair	Clean/Repair	
DRAINAGE PIPES	-	Inspect	Inspect	Clean	Clean	
ROAD & PAVEMENT	-	Inspect	Inspect	Clean/Mulch/Repair/Reseed	See Permanent Stormwater Facilities Maintenance Schedule on Drawing SP-3.1	

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized.
 Note: The party responsible for implementation of the maintenance schedule during and after construction is:
 11 Round Hill Road Realty, LLC
 10 & 20 Round Hill Road
 Armonk, NY 10504
 and/or the current owner(s) of the subject property.

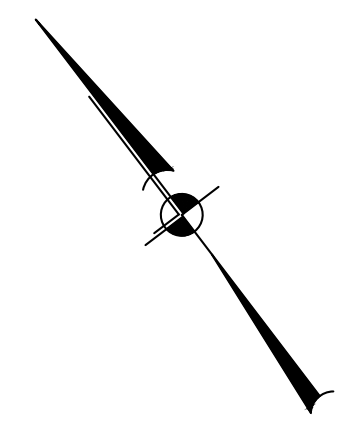
LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING STONE WALL
- EXISTING DIRT TRAIL
- EXISTING GATE
- EXISTING CHAIN LINK FENCE
- EXISTING DEER FENCE
- EXISTING WETLAND
- EXISTING WETLAND FLAG
- EXISTING WETLAND BUFFER
- EXISTING 100 YR. FLOODPLAIN BOUNDARY
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SPOT GRADE
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED OUTLET STRUCTURE
- PROPOSED END SECTION
- PROPOSED WELL
- PROPOSED DRAINAGE PIPE
- PROPOSED SEWER FORCE MAIN
- PROPOSED SEWER SERVICE LINE
- PROPOSED DOMESTIC WATER SERVICE LINE
- PITCH TO DRAIN
- PROPOSED SILT FENCE
- PROPOSED CONSTRUCTION FENCE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED TEMPORARY SOIL STOCKPILE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED EROSION CONTROL BLANKET
- PROPOSED DRAINAGE STRUCTURE W/ INLET PROTECTION



NO.	DATE	REVISION	BY
PROJECT: 10 & 20 ROUND HILL ROAD <small>ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY</small>			
DRAWING: EROSION & SEDIMENT CONTROLS PLAN			
PROJECT NUMBER	22222.100	PROJECT MANAGER	R.D.W.
DATE	2-26-24	DRAWN BY	T.S.M.
SCALE	1" = 60'	CHECKED BY	A.D.T.
DRAWING NO.			SHEET
SP-3.2			8
			12

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

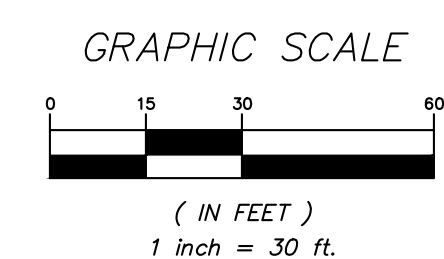


LEGEND	
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	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING DIRT TRAIL
	EXISTING GATE
	EXISTING CHAIN LINK FENCE
	EXISTING DEER FENCE
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING WETLAND BUFFER
	EXISTING 100 YR. FLOODPLAIN BOUNDARY
	EXISTING TREELINE
	EXISTING INDIVIDUAL TREE (See Tree Legend)
	EXISTING DECIDUOUS TREE
	EXISTING TREE TO BE REMOVED
	PROPOSED LIMITS OF DISTURBANCE



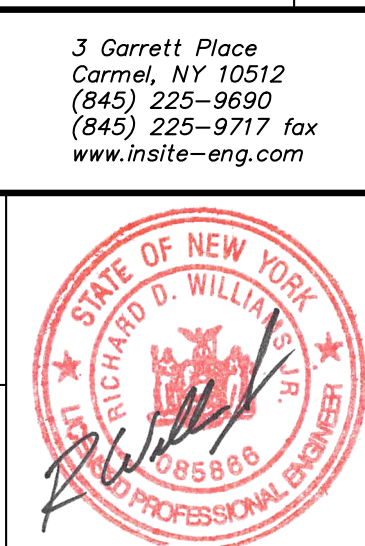
Round Hill Road
Asphalt Pavement

MATCHLINE TO DRAWING SP-31

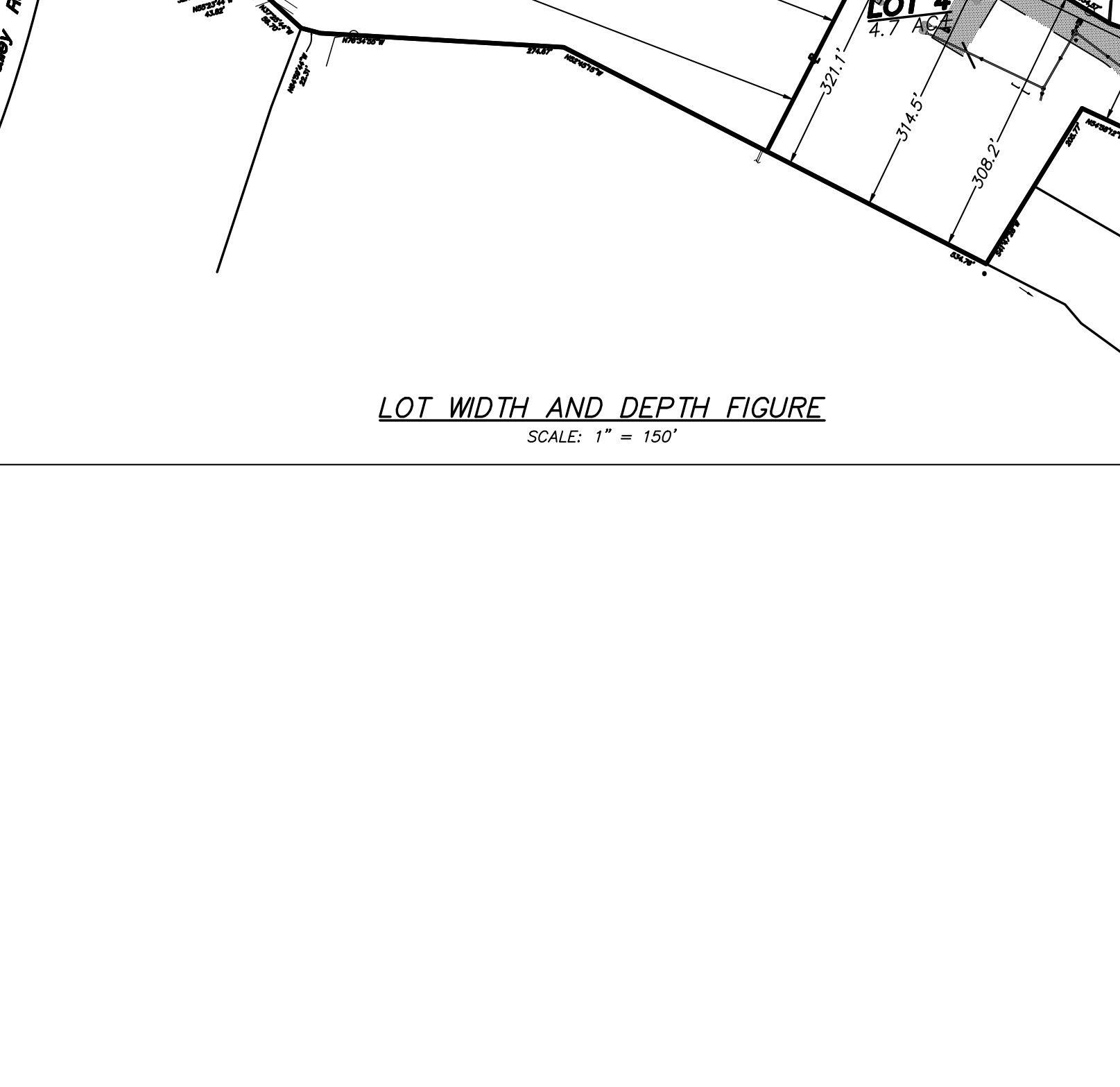
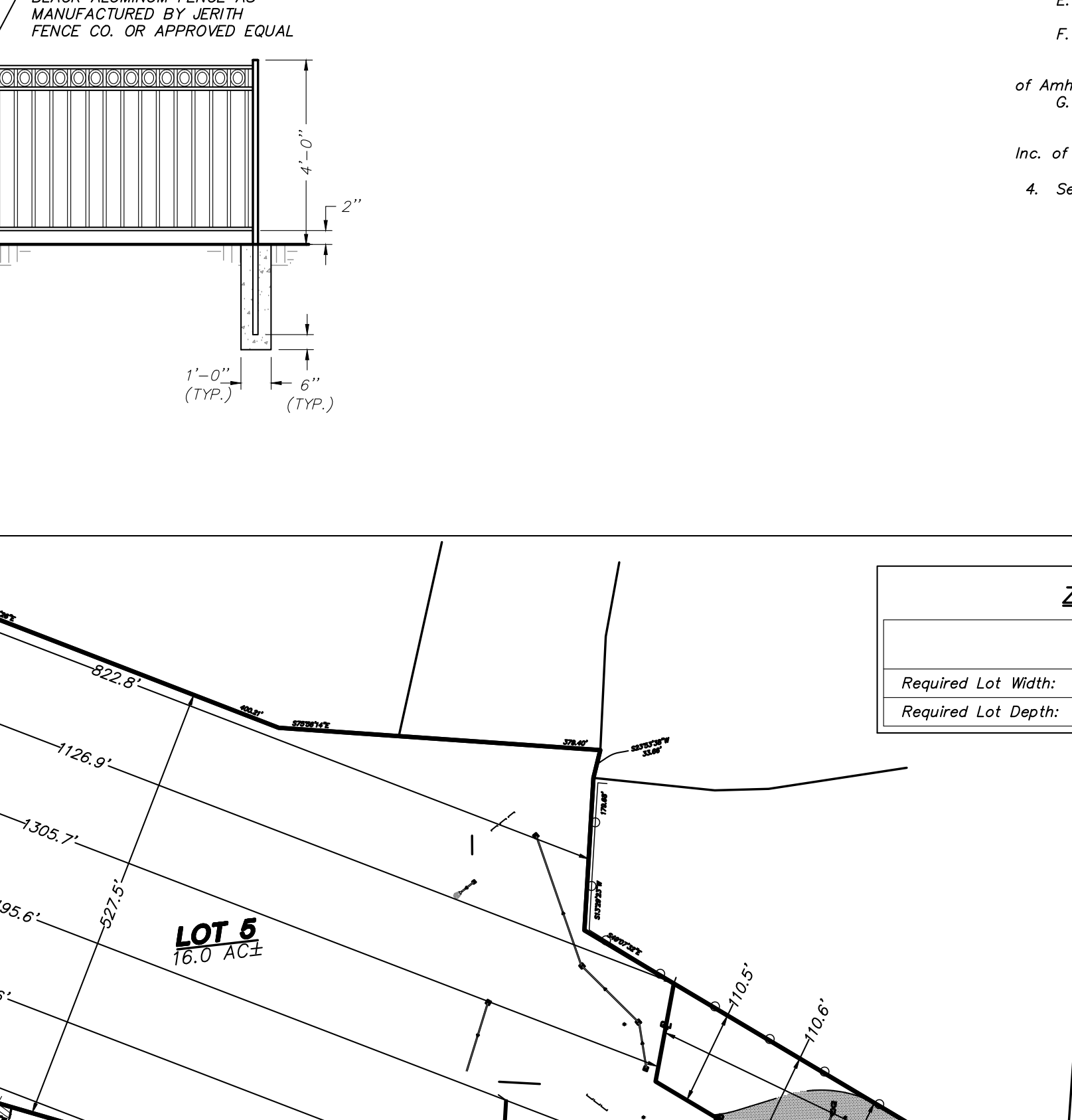
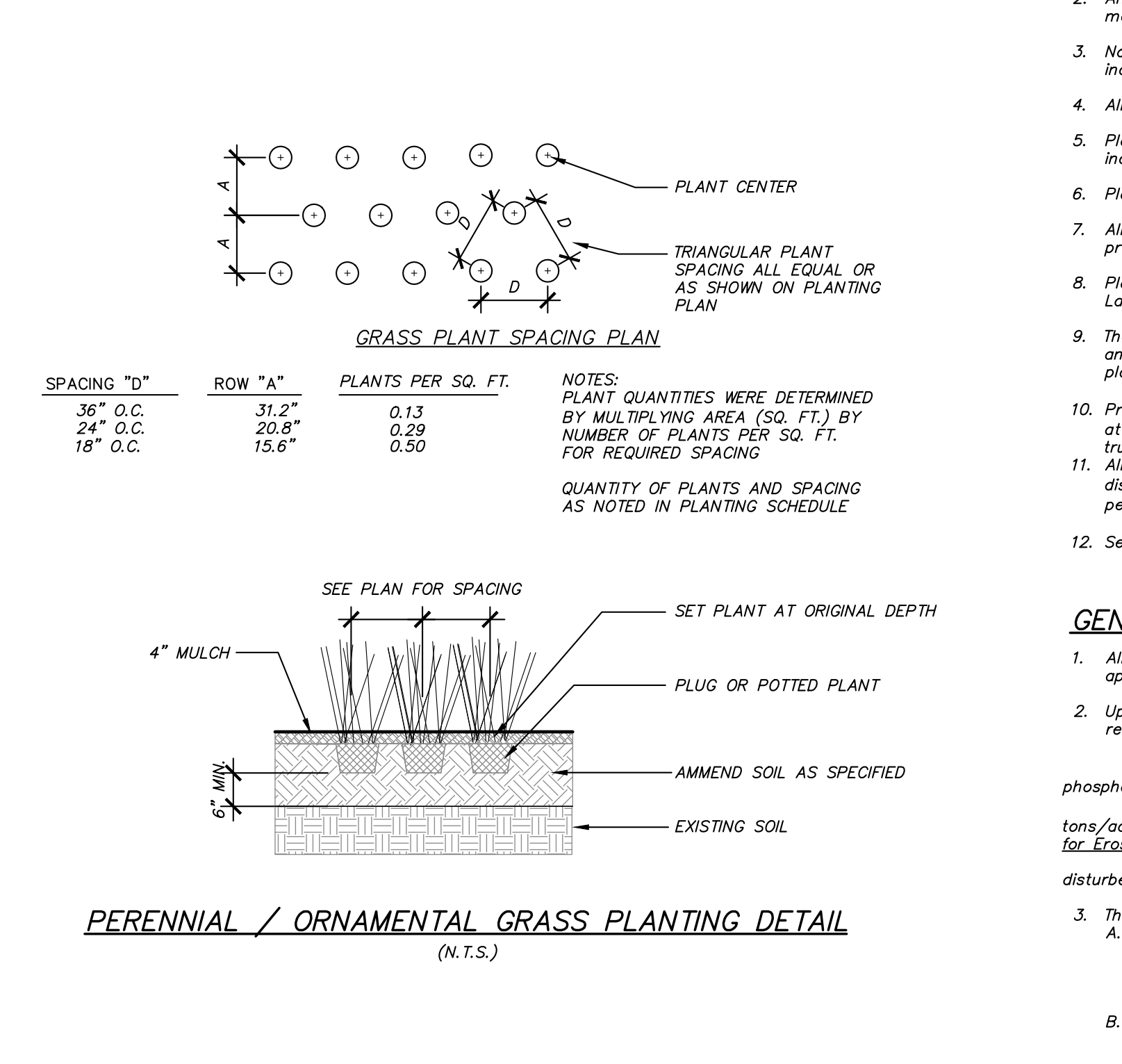
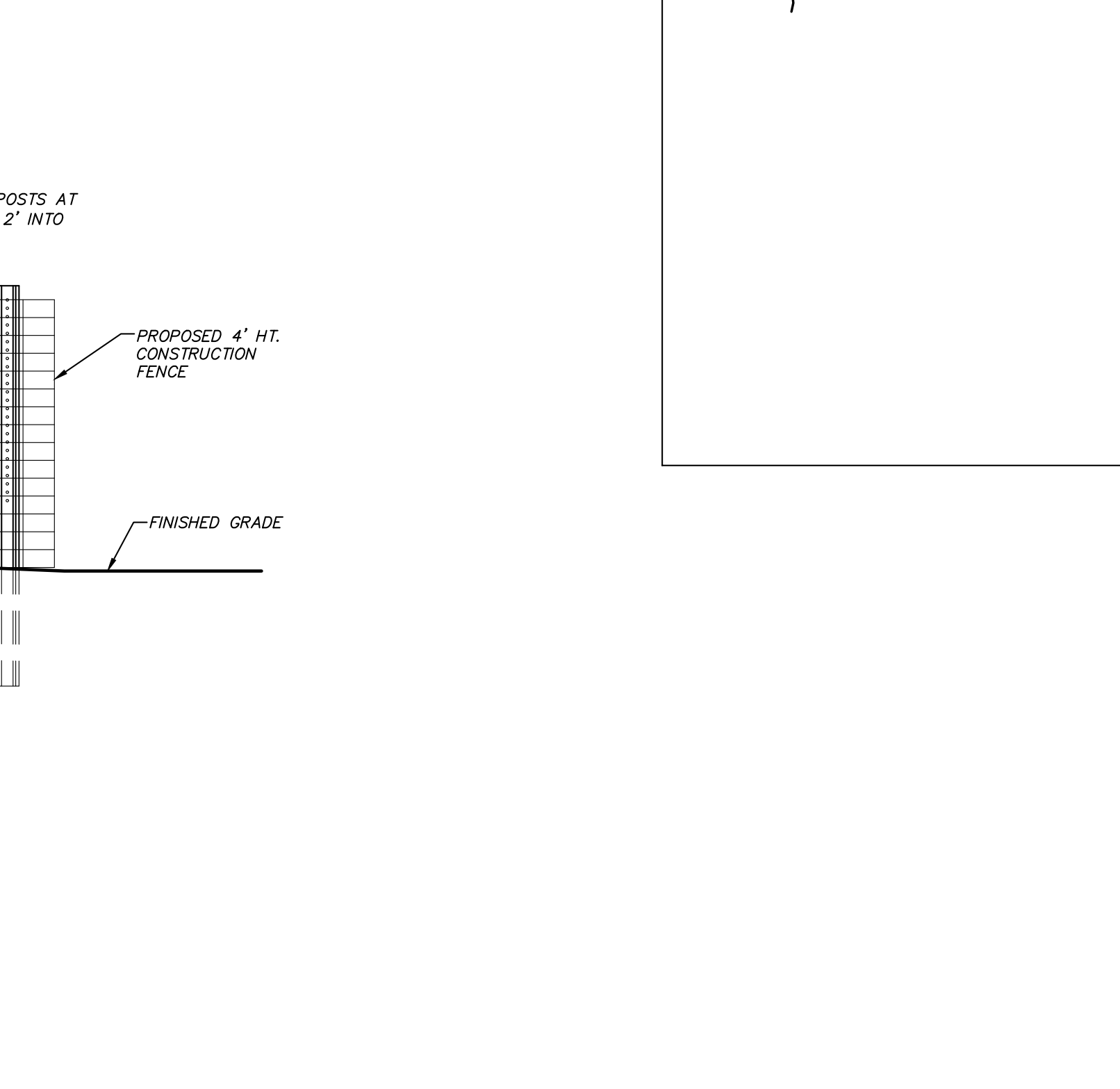
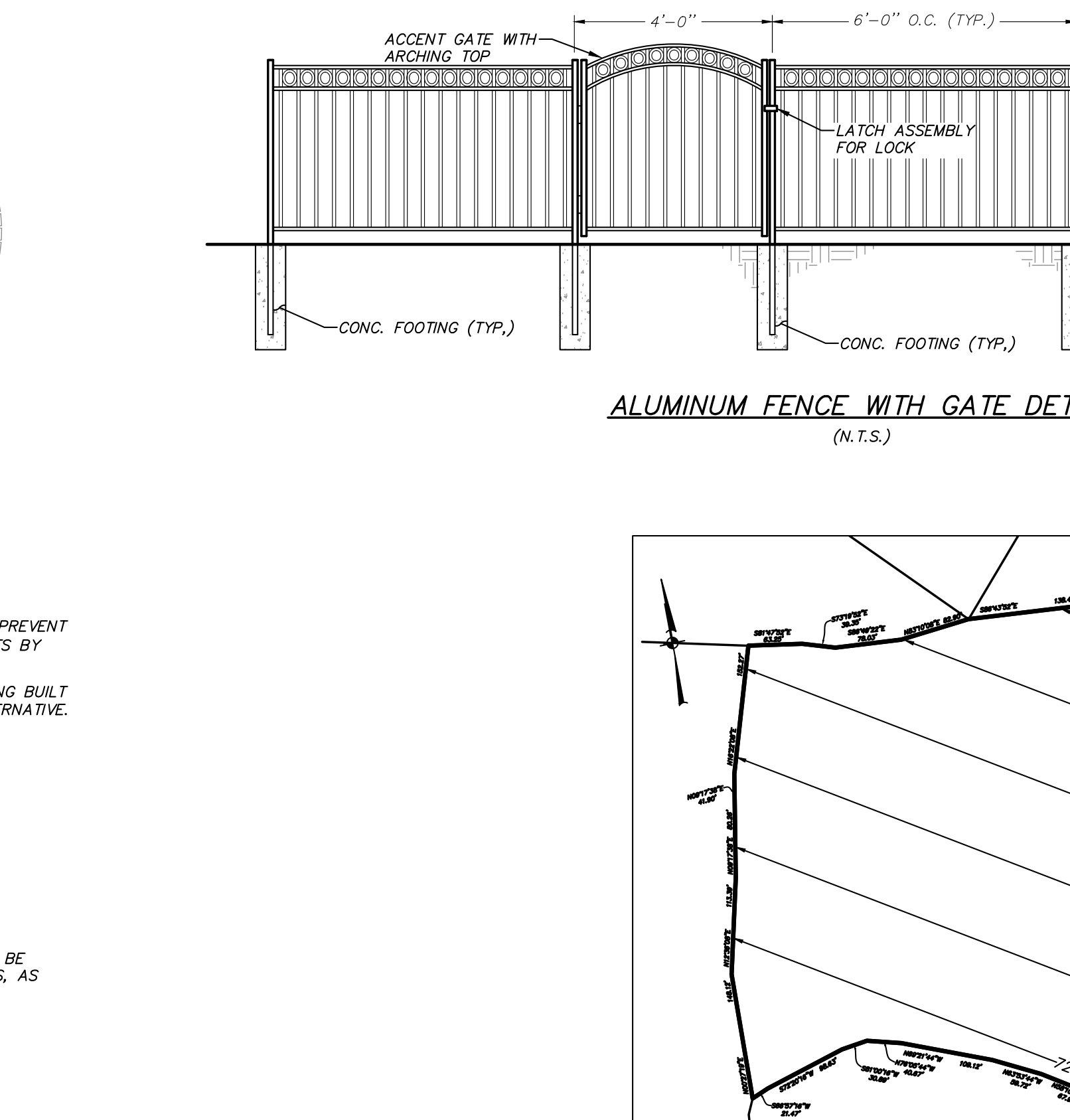
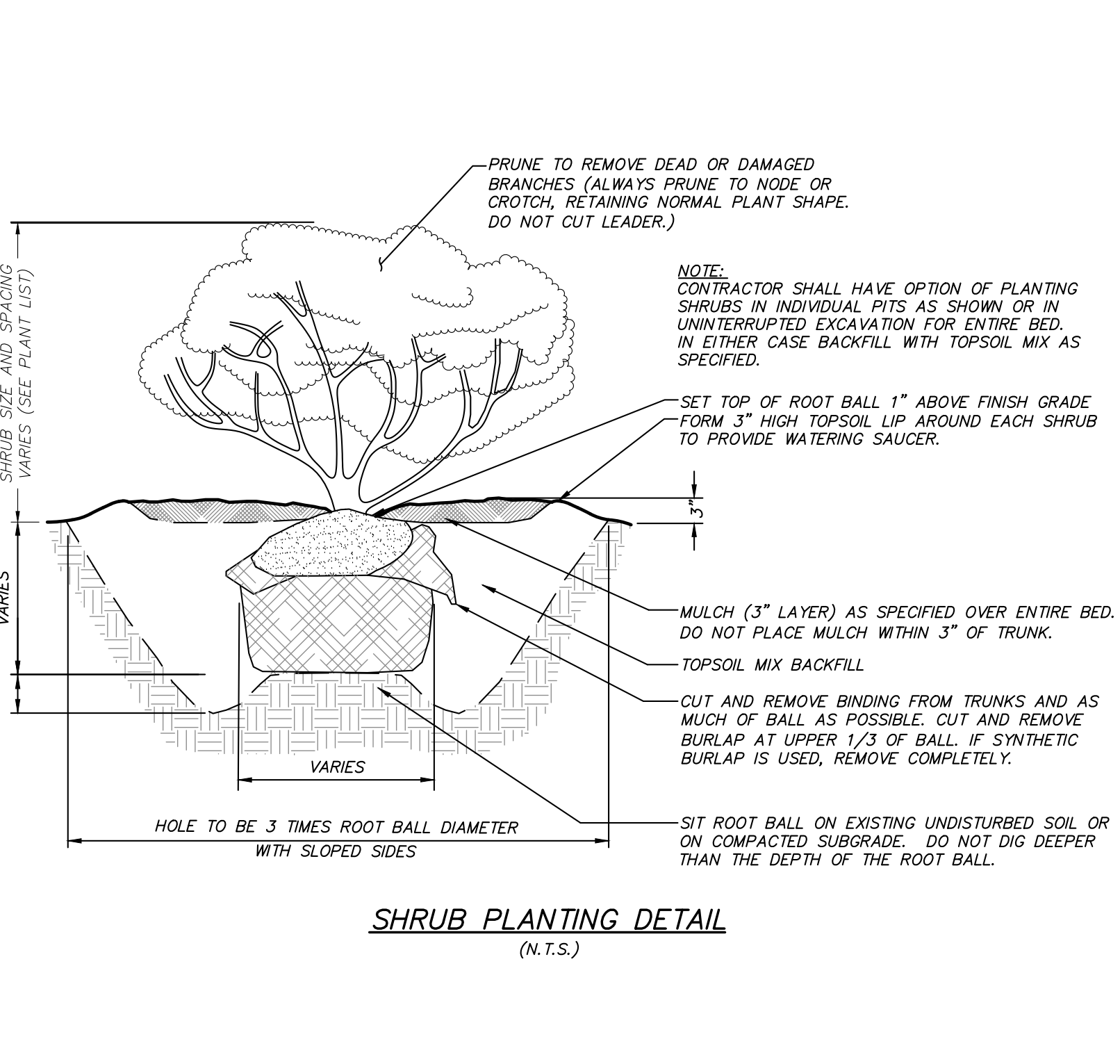
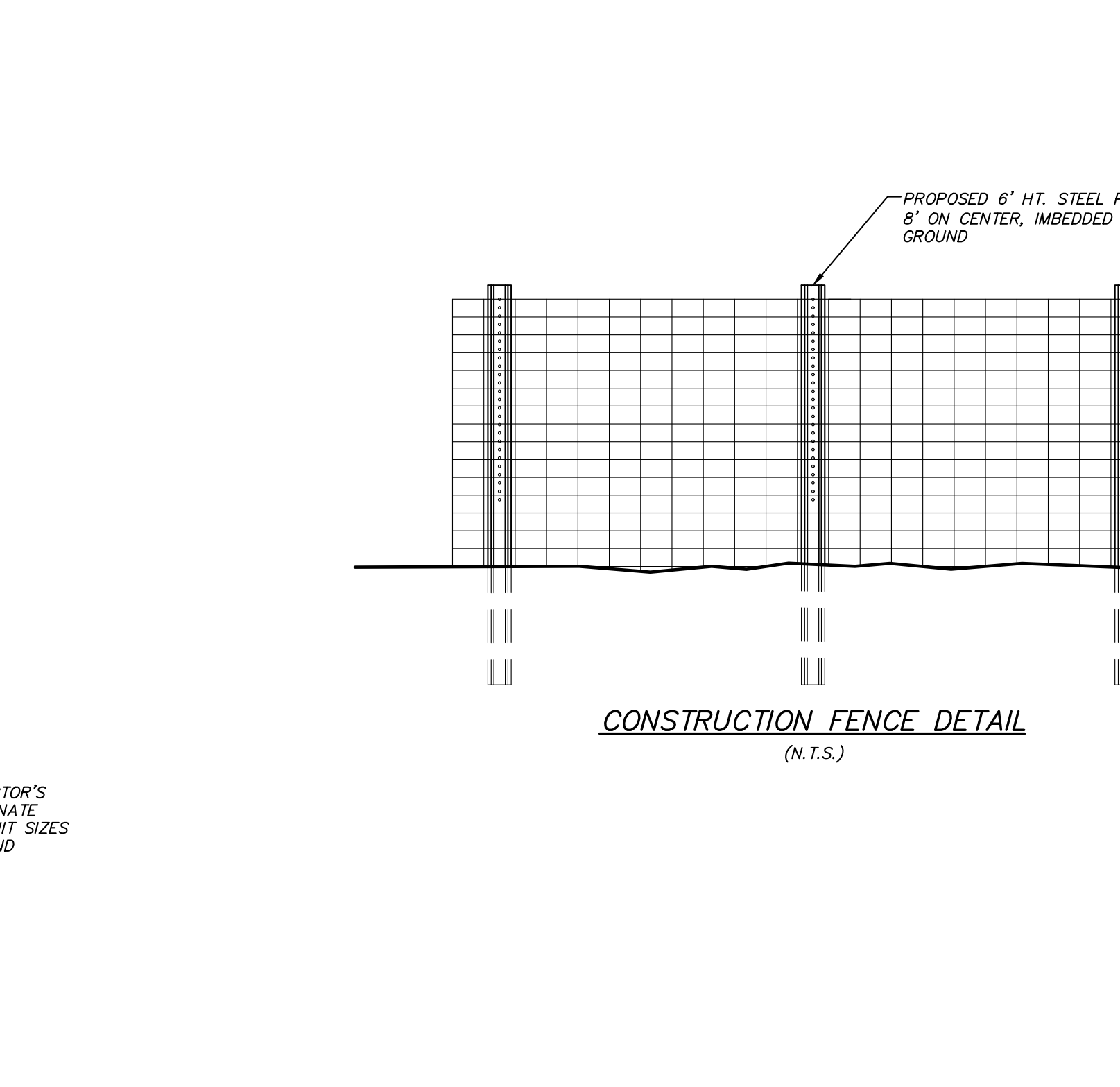
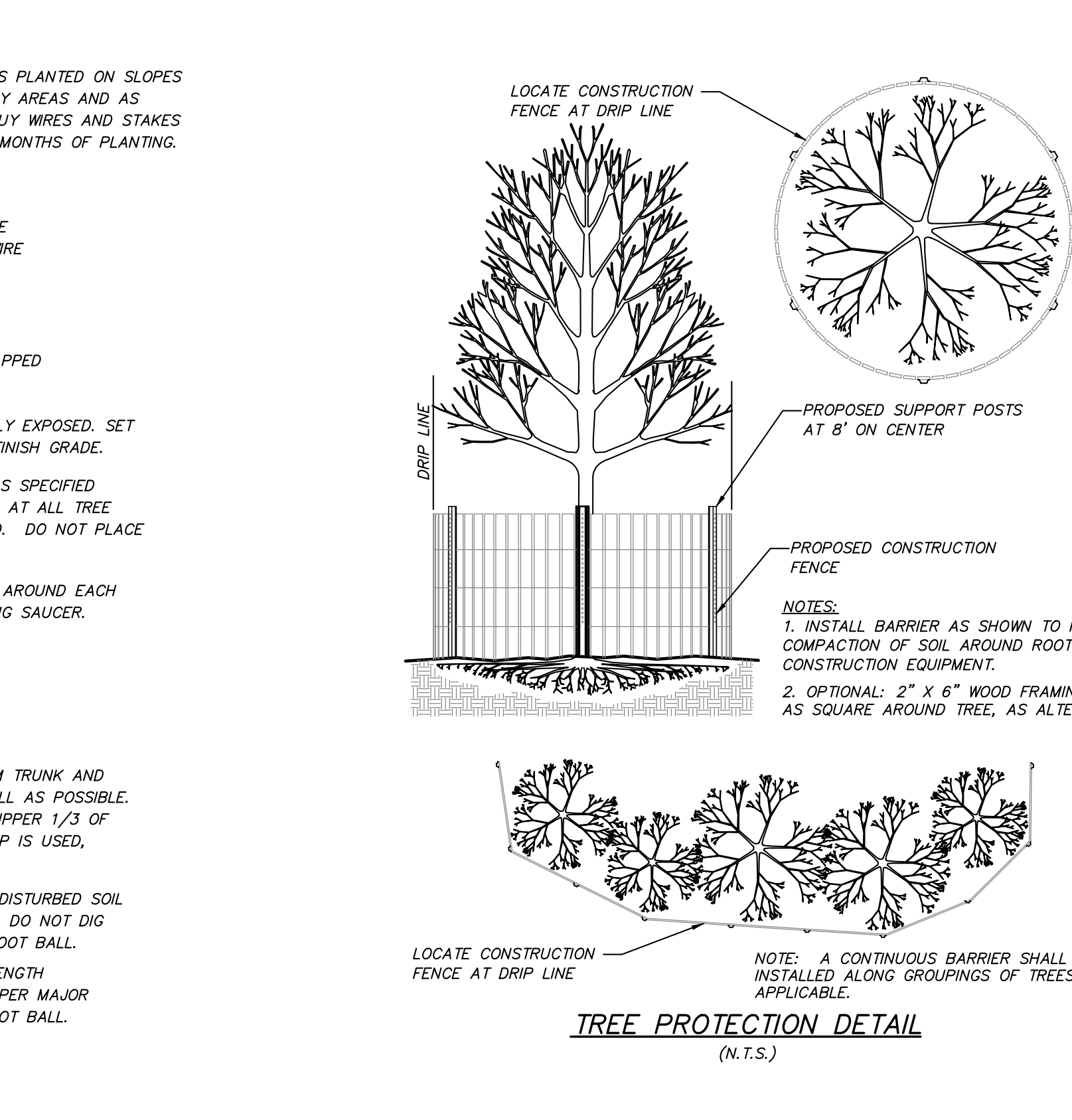
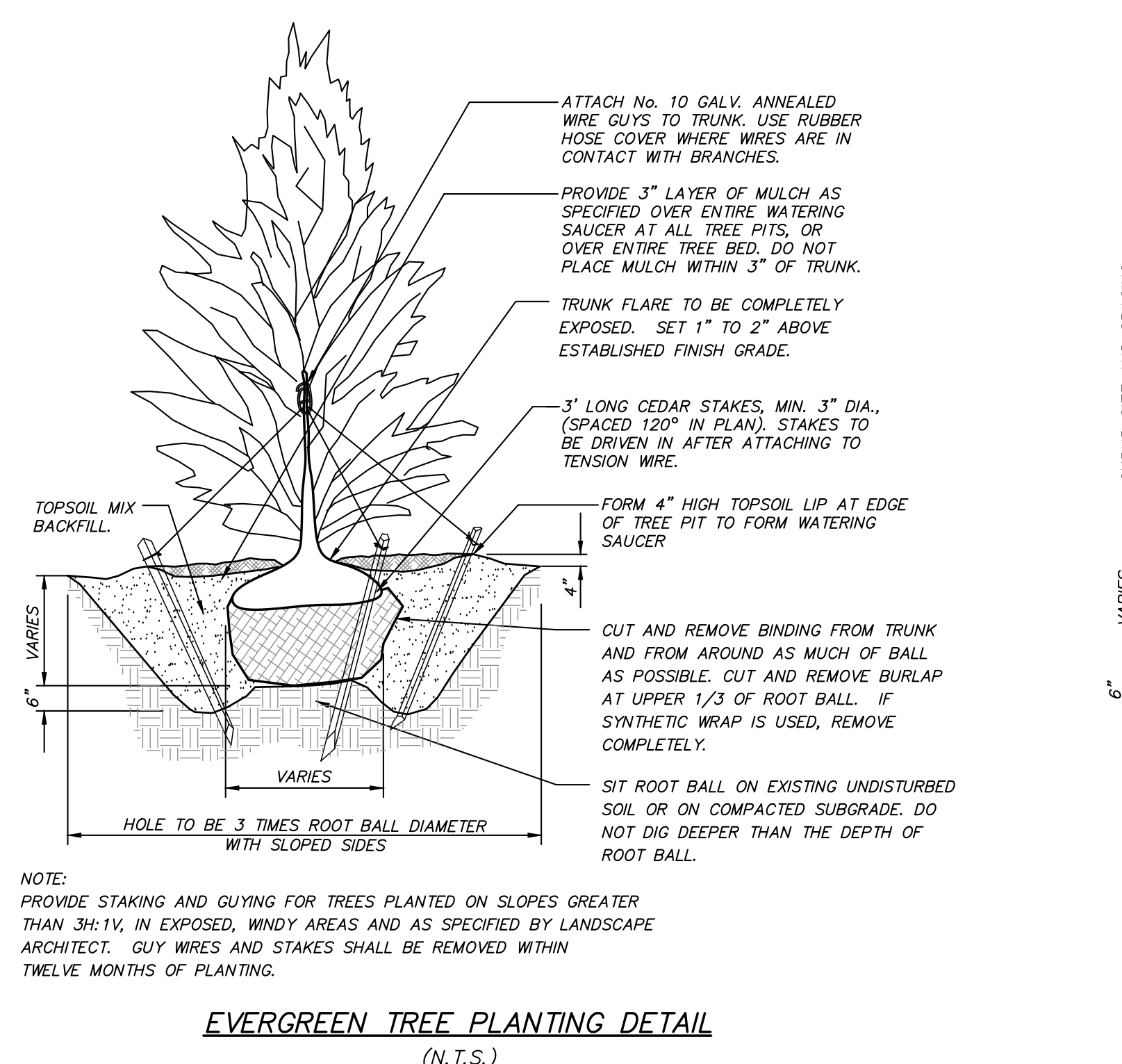
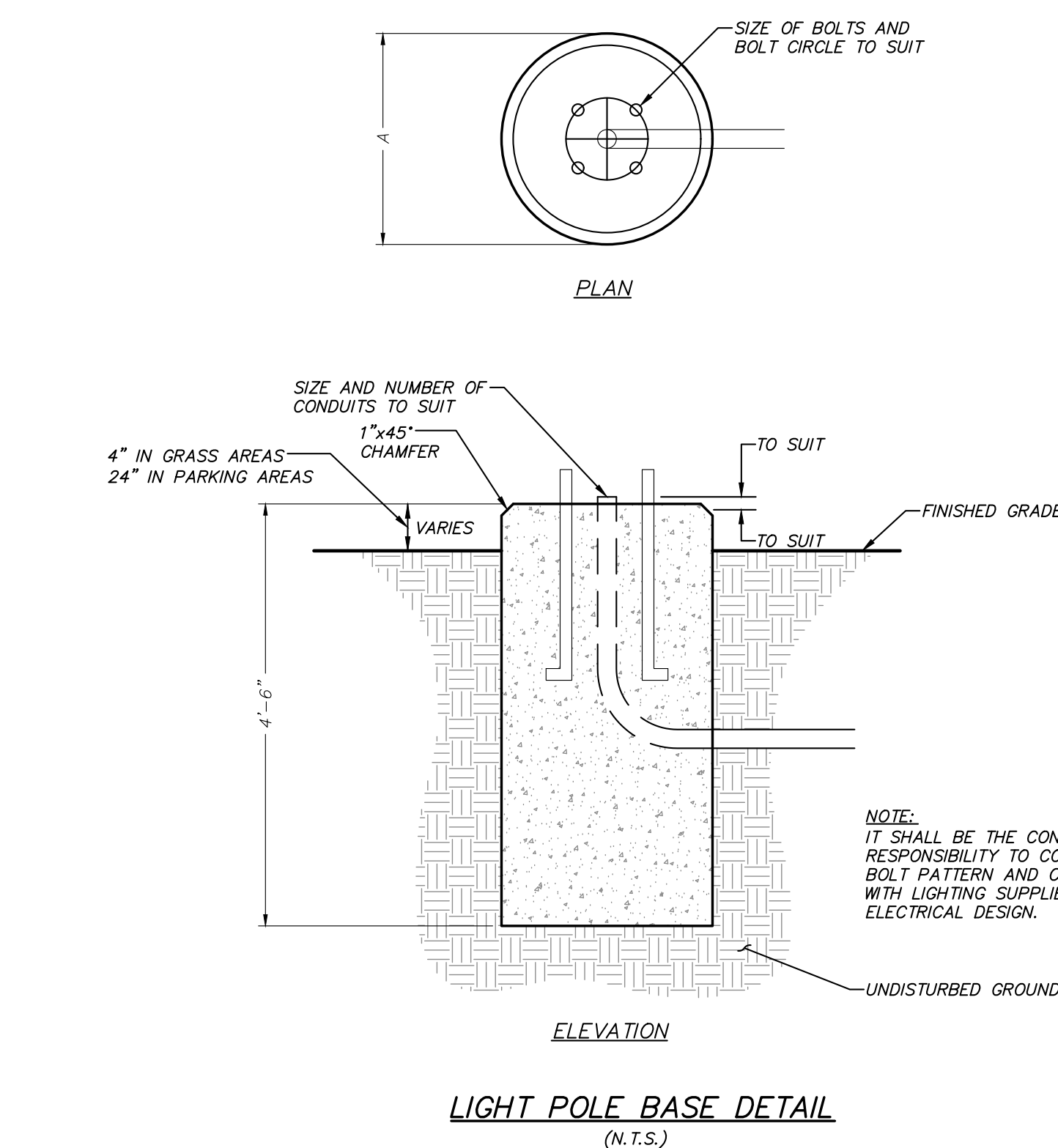
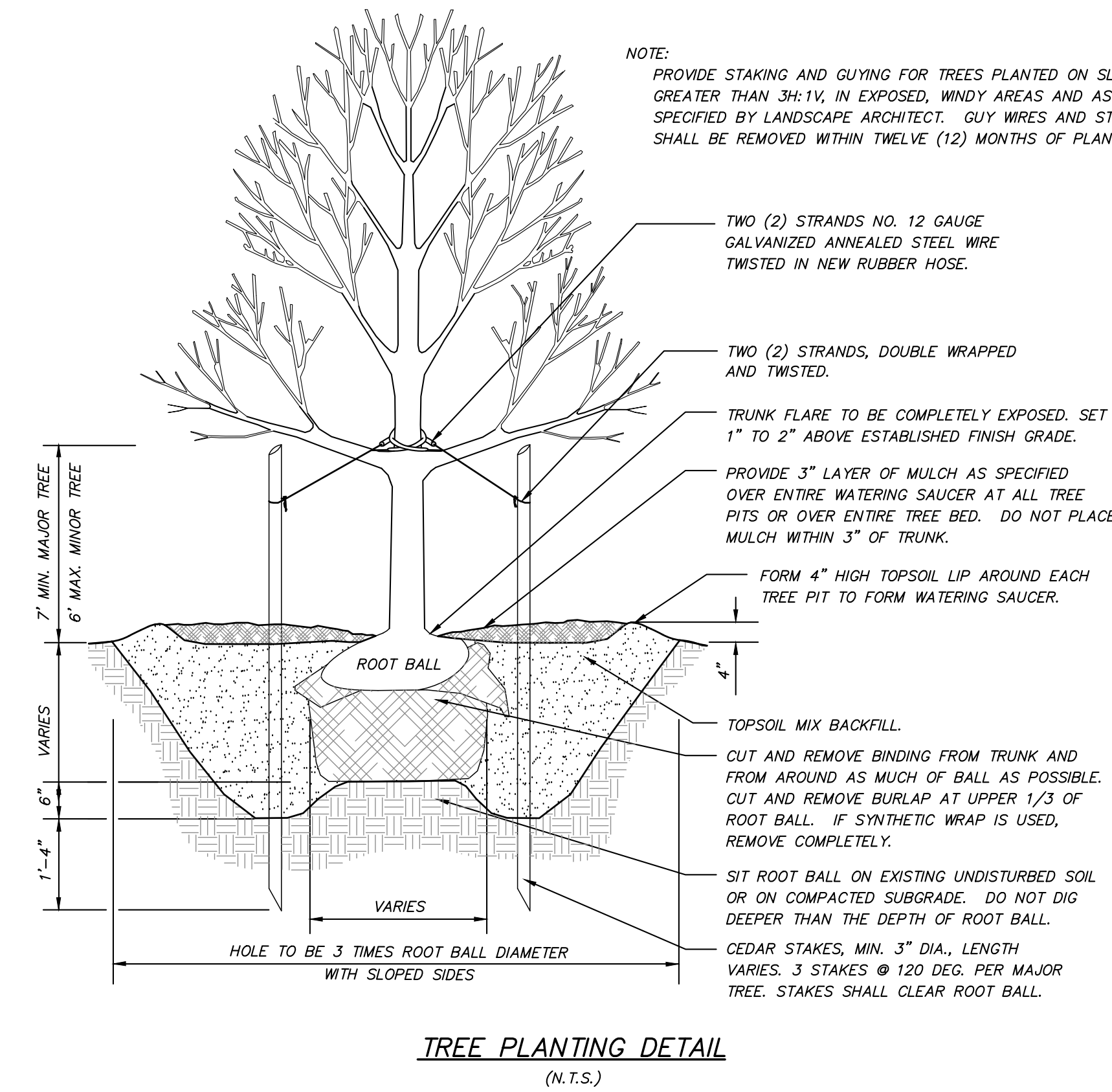
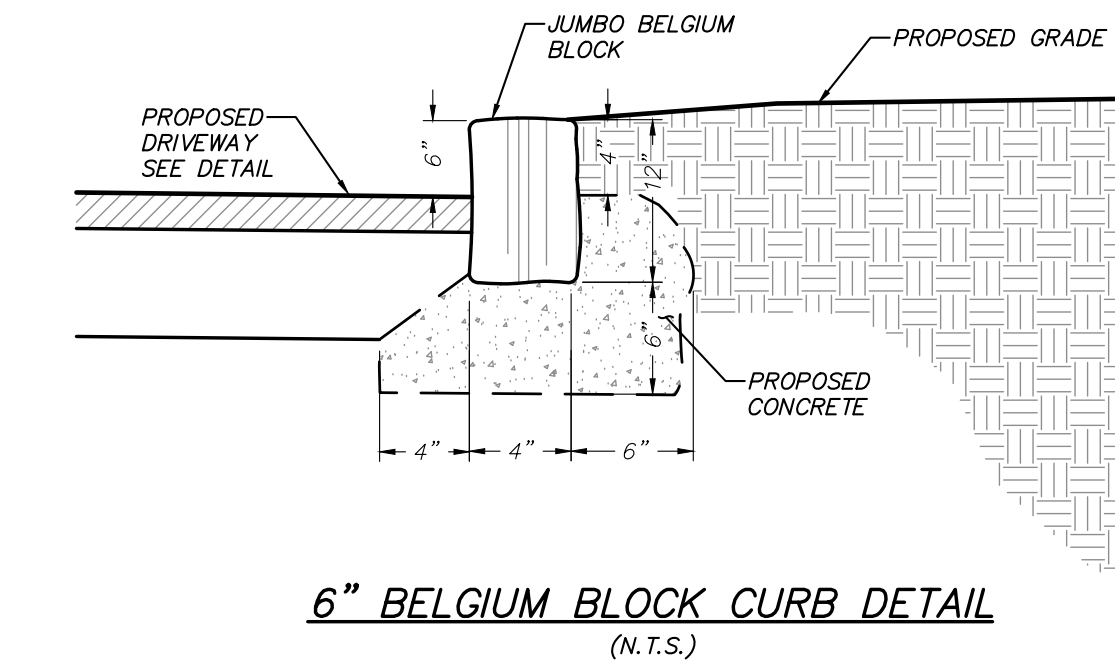
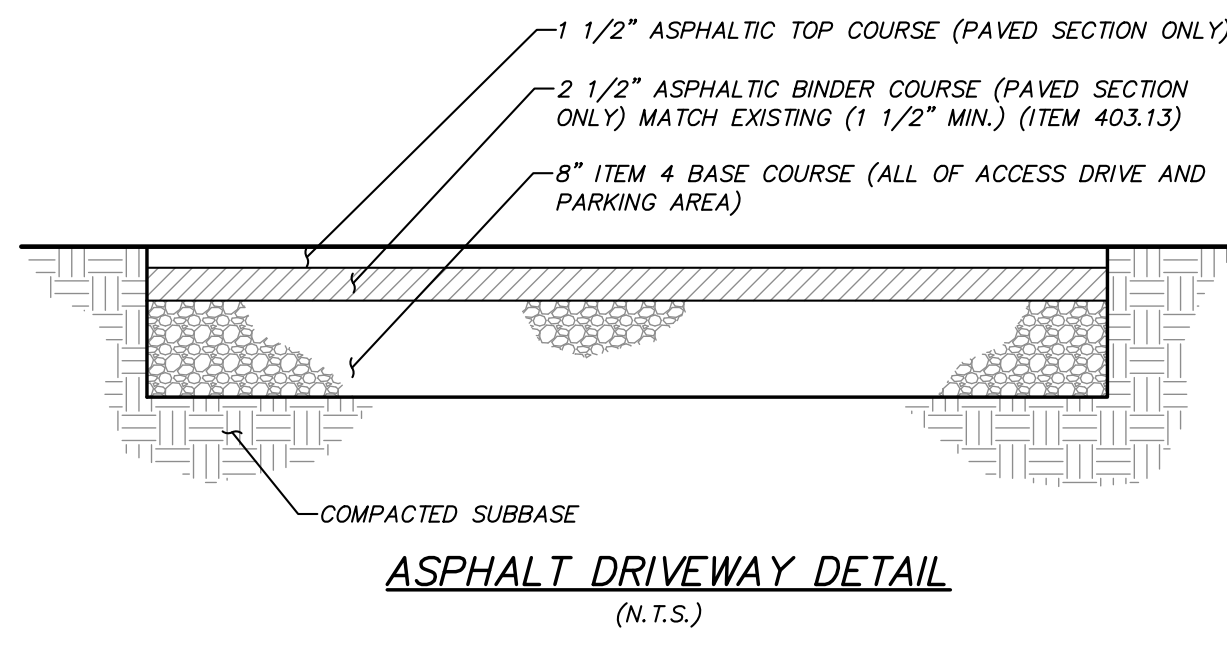


ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

NO.	DATE	REVISION	BY
PROJECT: 10 & 20 ROUND HILL ROAD <small>ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY</small>			
DRAWING: TREE REMOVALS PLAN			
PROJECT NUMBER	22222.100	PROJECT MANAGER	R.D.W.
DATE	2-26-24	DRAWN BY	T.S.M.
SCALE	1" = 60'	CHECKED BY	A.D.T.
DRAWING NO.			SHEET
TR-1.2			10
			12



3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com



GENERAL PLANTING NOTES:

- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
- No fertilizer shall be added in stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
- All plant material to be nursery grown.
- Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
- Plant material shall be taken from healthy nursery stock.
- All plants shall be grown under climate conditions similar to those in the locality of the project.
- Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
- The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
- Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
- All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.
- See Drawing D-X "Site Details" for Stormwater Basin plantings.

GENERAL SITE SEEDING NOTES:

- All proposed seeded areas to receive a 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - fertilizer applied at the manufacturer's recommended rate using Leasco 10-0-18 (no phosphorus) fertilizer or equivalent.
 - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005.
 - if the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
- The seed mixes as specified on these drawings are as follows:
 - A. Seed Mix for lawn areas and mow strips along roads at a rate of 100 lbs. per acre: Kentucky Bluegrass 20%, Creeping Red Fescue 40%, Perennial Ryegrass 20%, Annual Ryegrass 20%.
 - B. Seed Mix for Wildflower Meadow areas and SSTS area as shown on the drawings at a rate of 15 lbs. per acre: Low-Growing Wildflower & Grass Mix (ERNMX-156) from Ernst Conservation Seeds of Meadville, PA.
 - C. Seed Mix for Meadow areas as shown on the drawings, including tops of berms and backlopes of embankments of stormwater basins at a rate of 25 lbs. per acre: New England Conservation/Wildlife Mix from New England Wetland Plants, Inc. of Amherst, MA.
 - D. Seed Mix #2 for areas as shown on the drawings and slope areas 2:1 at a rate of 35 lbs. per acre: New England Erosion Control/Restoration Mix (for Dry Sites) from New England Wetland Plants, Inc. of Amherst, MA.
 - E. Seed Mix for Wildflower areas as shown on the drawings at a rate of 23 lbs. per acre: New England Wildflower Mix from New England Wetland Plants, Inc. of Amherst, MA.
 - F. Seed Mix for dry slopes along road sides as shown on the drawings at a rate of 35 lbs. per acre: New England Roadside Matrix Upland Seed Mix by New England Wetland Plants, Inc. of Amherst, MA.
 - G. Seed Mix for wet meadows and low areas along road side as shown on drawings at a rate of 35 lbs. per acre: New England Roadside Matrix Wet Meadow Seed Mix by New England Wetland Plants, Inc. of Amherst, MA.
- See Drawing D-X "Site Details" for Stormwater Basin seeding.

ZONING CONFORMANCE TABLE - ZONE R-2A

	REQUIRED / PERMITTED	PROVIDED	
		LOT 4	LOT 5
Required Lot Width:	150'	173' ±	1,153' ±
Required Lot Depth:	150'	1,197' ±	527' ±

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: 10 & 20 ROUND HILL ROAD
ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY

DRAWING: DETAILS

PROJECT NUMBER: 22222.100
DATE: 2-26-24
SCALE: 1" = 30'

PROJECT MANAGER: R.D.W.
DRAWN BY: T.S.M.
CHECKED BY: A.D.T.

DRAWING NO. SHEET: D-1 11

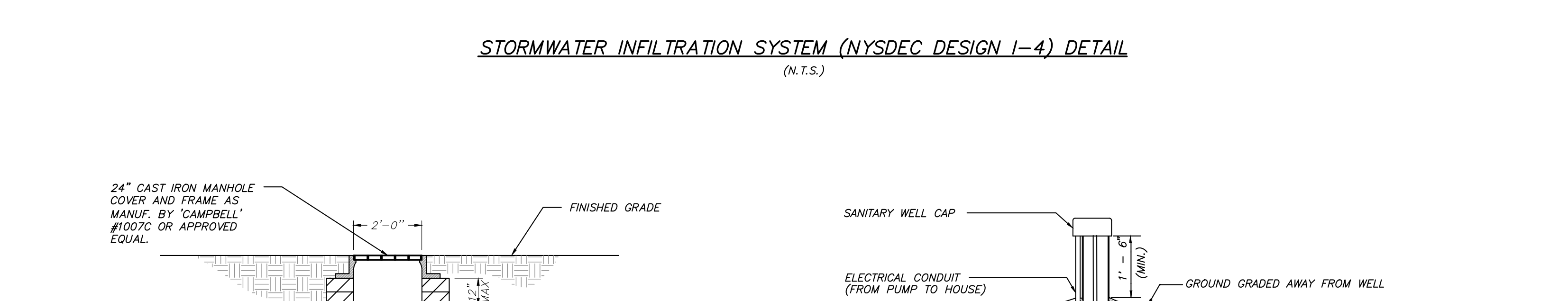
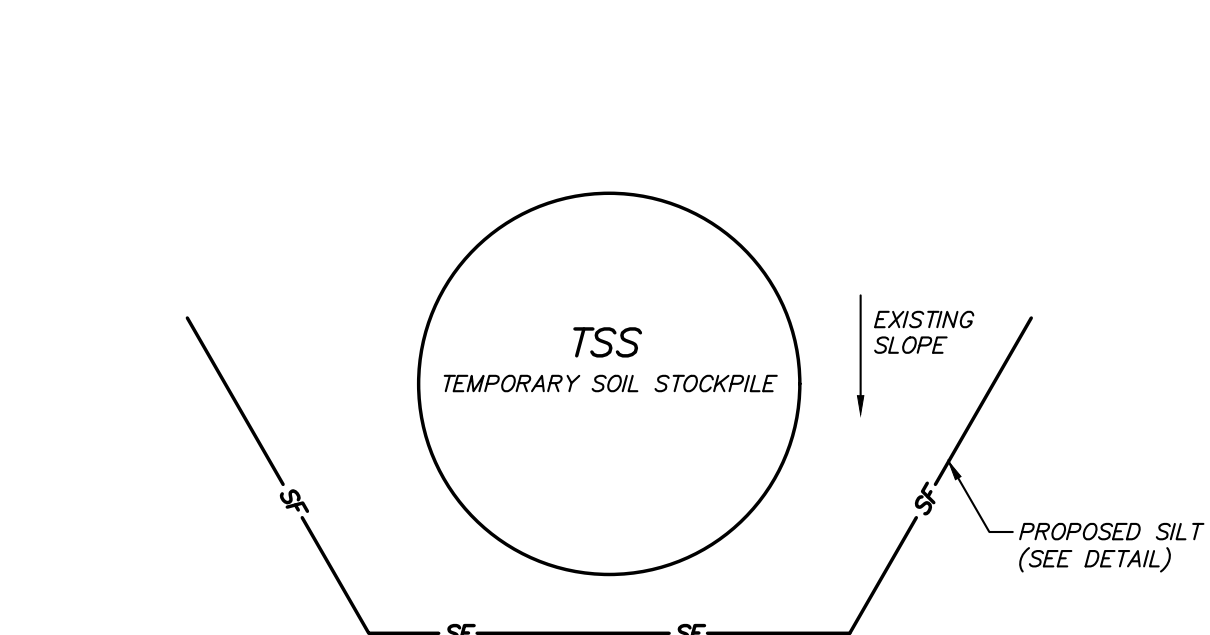
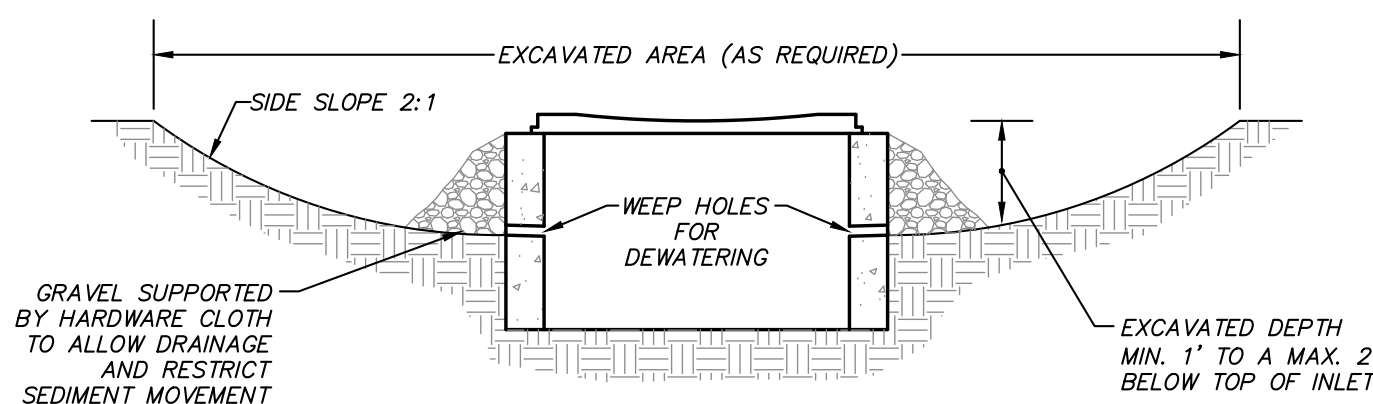
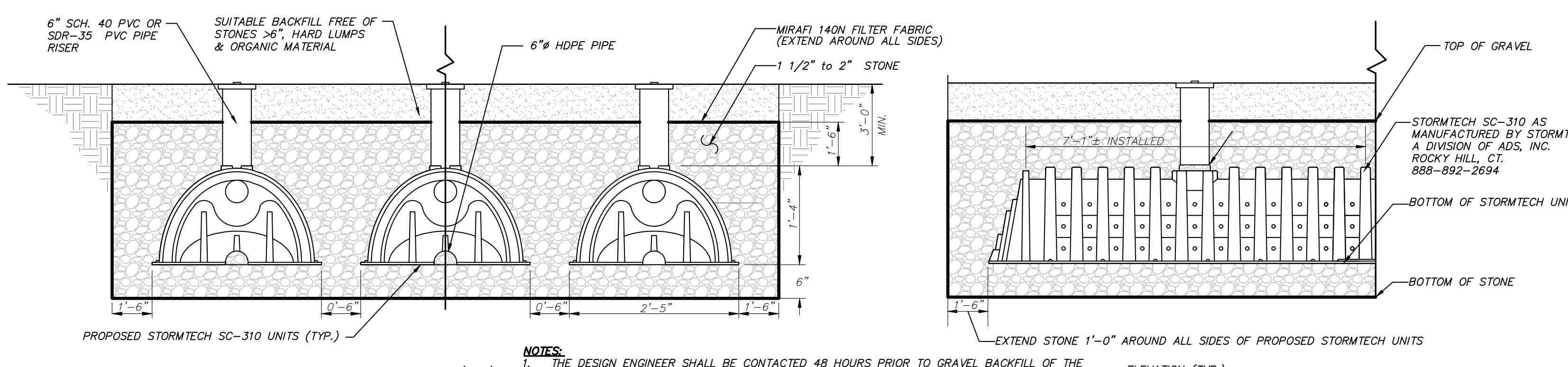
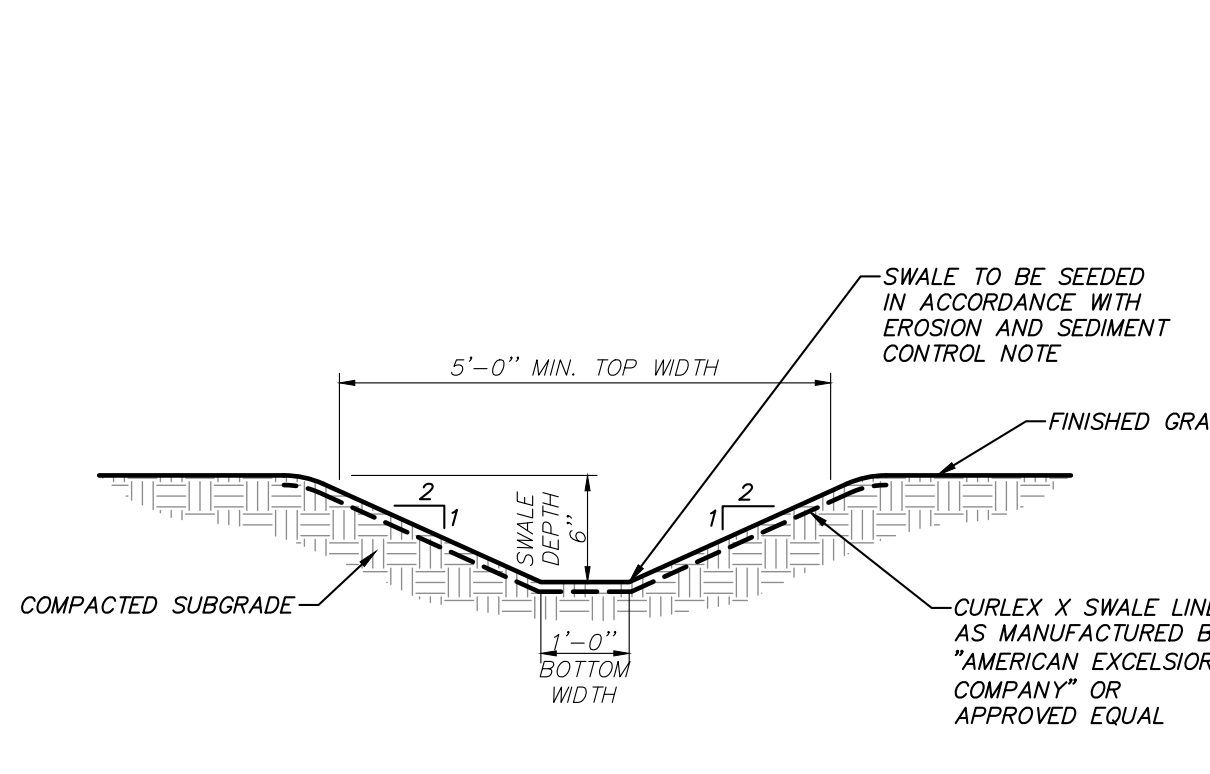
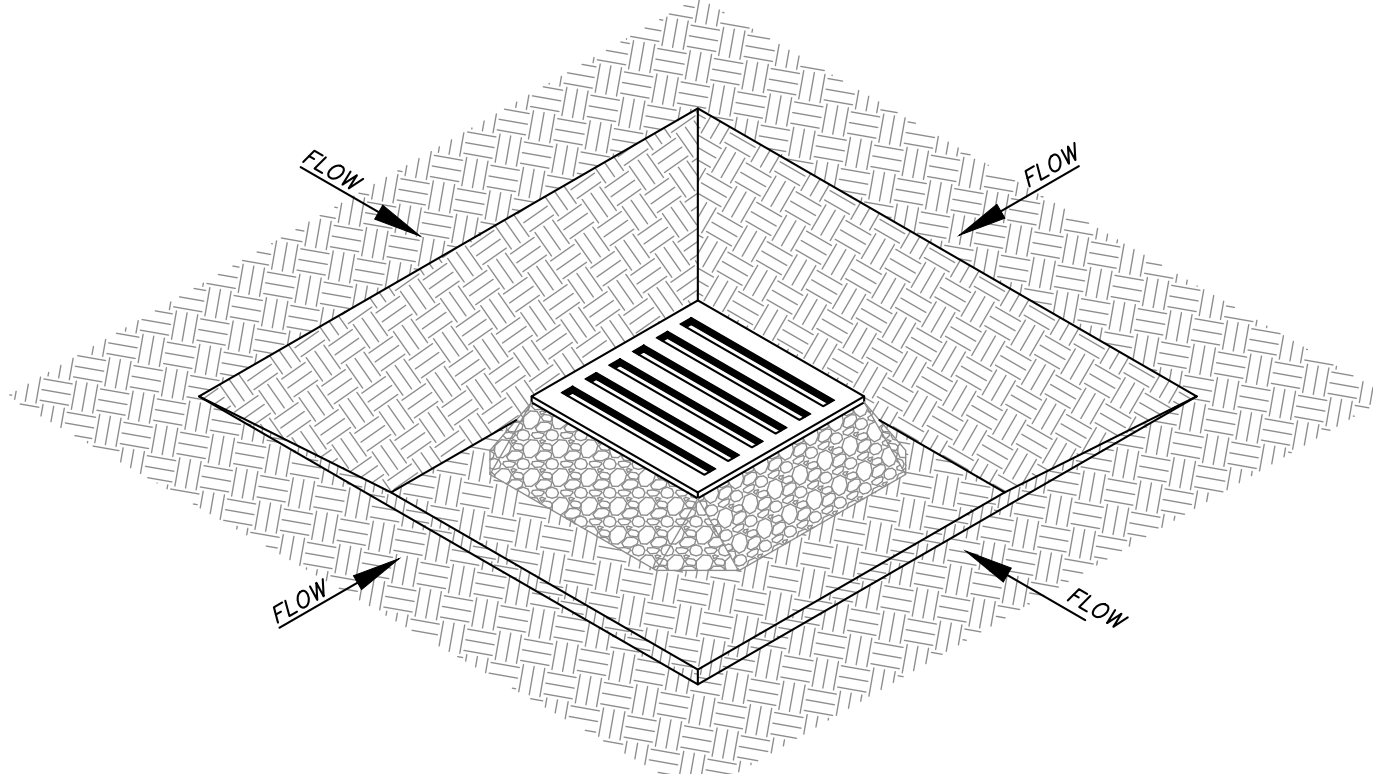
STATE OF NEW YORK PROFESSIONAL ENGINEER

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

REQUIRED SWPPP CONTENTS PER GP-0-20-001:

1. Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plans (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP contents is provided in accordance with Part III.B.1.a-f of General Permit GP-0-20-001:

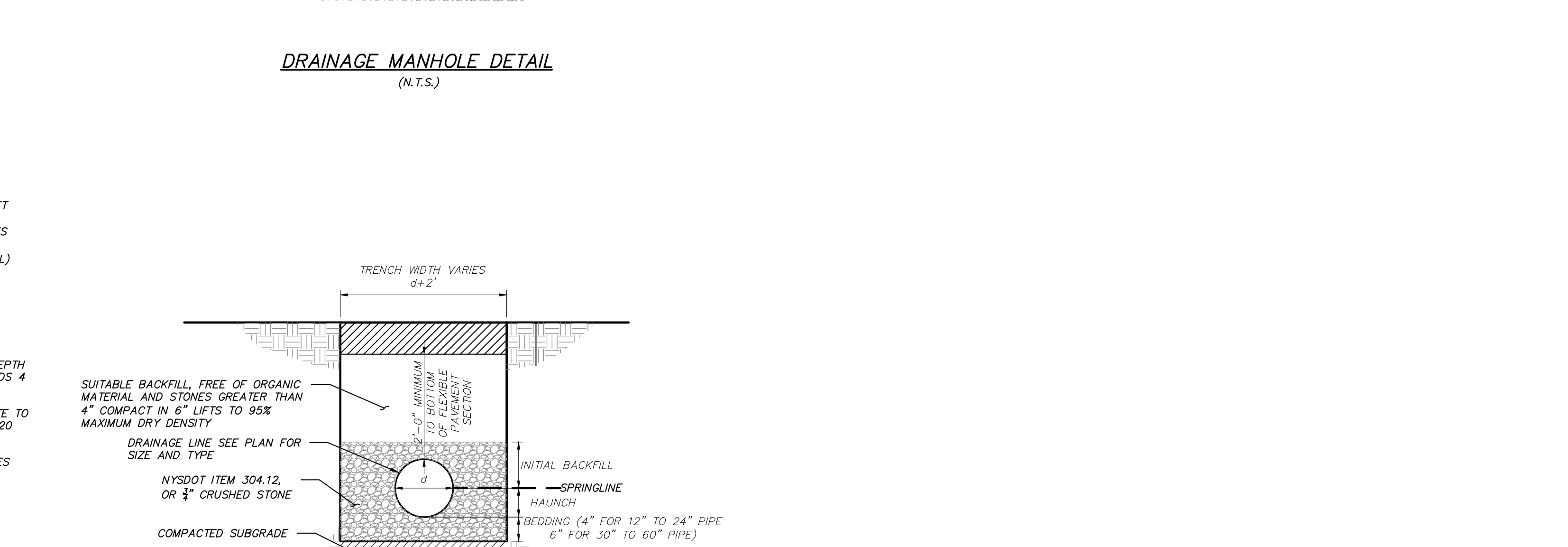
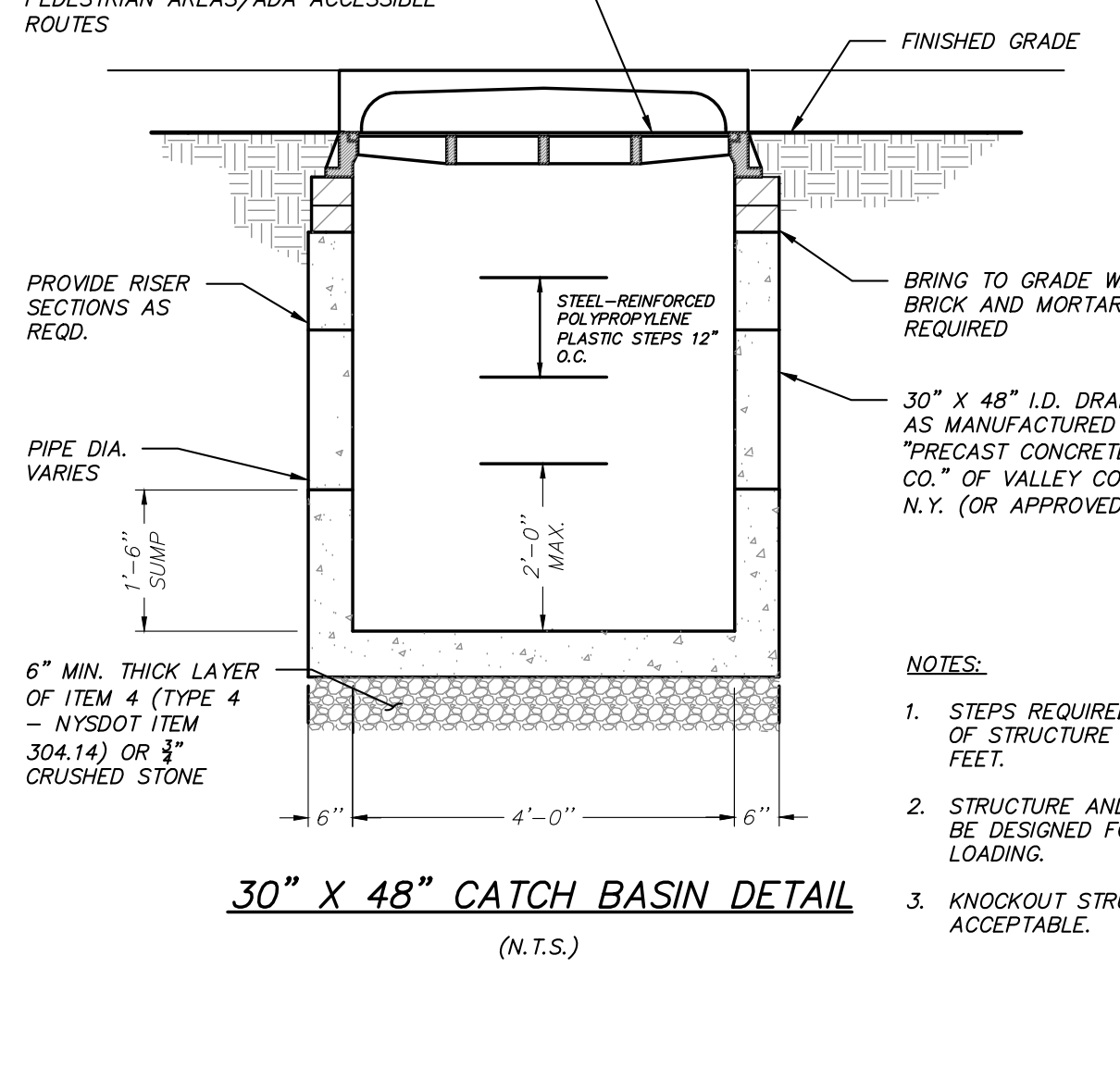
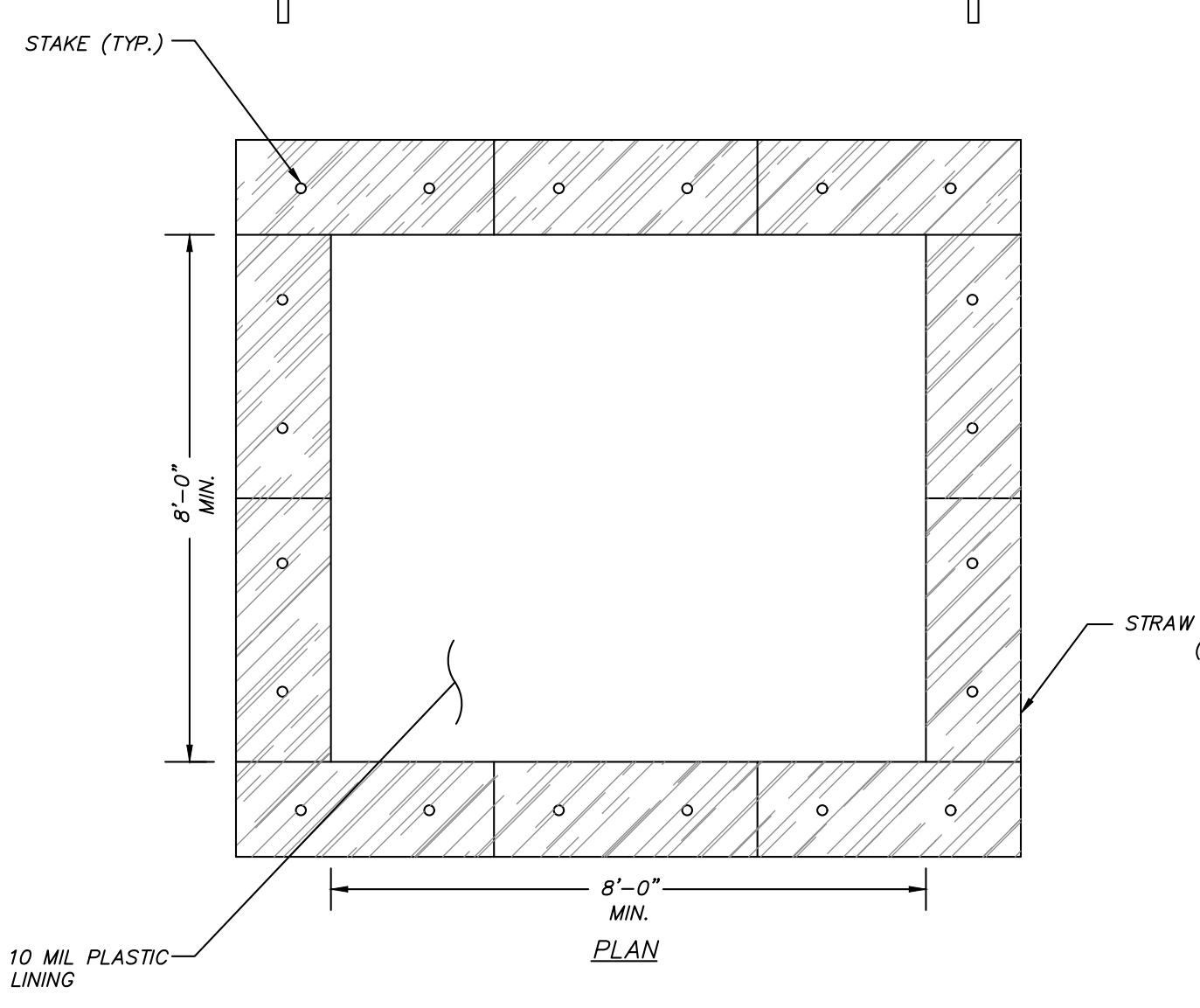
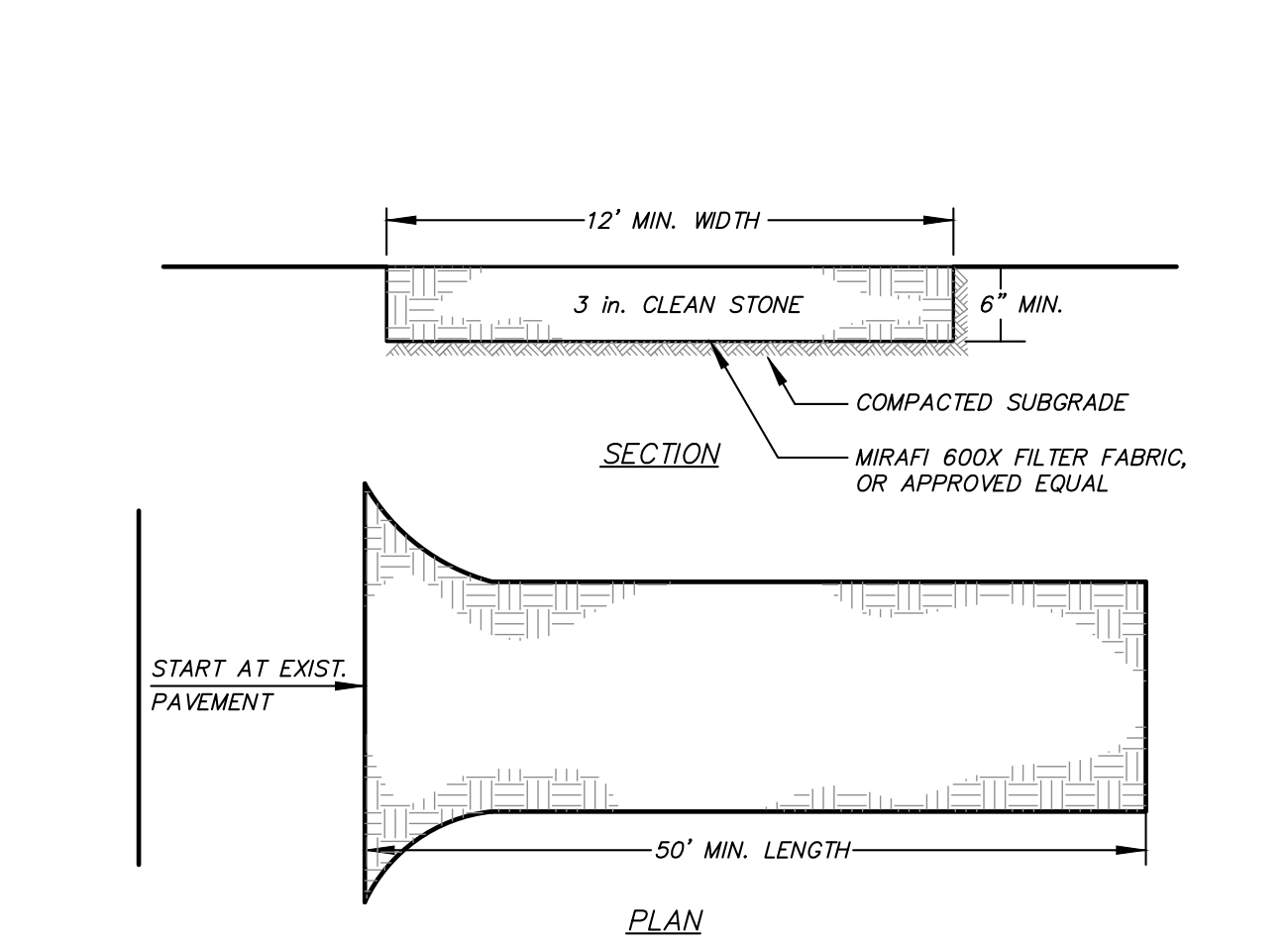
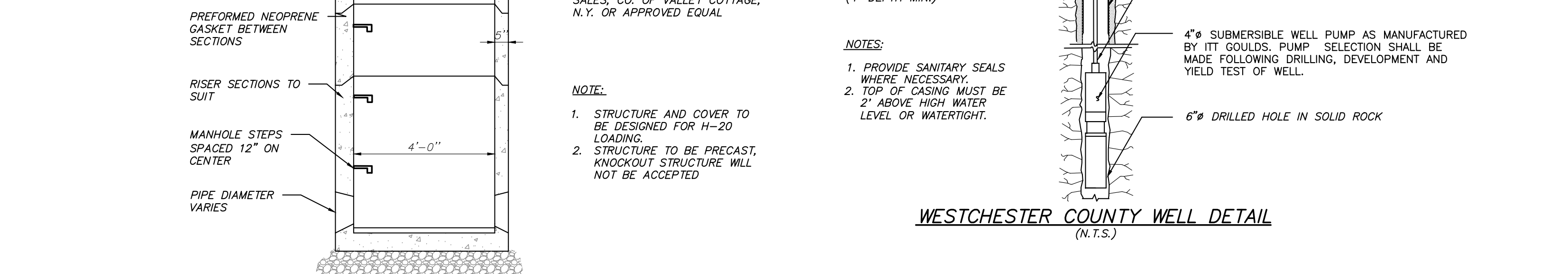
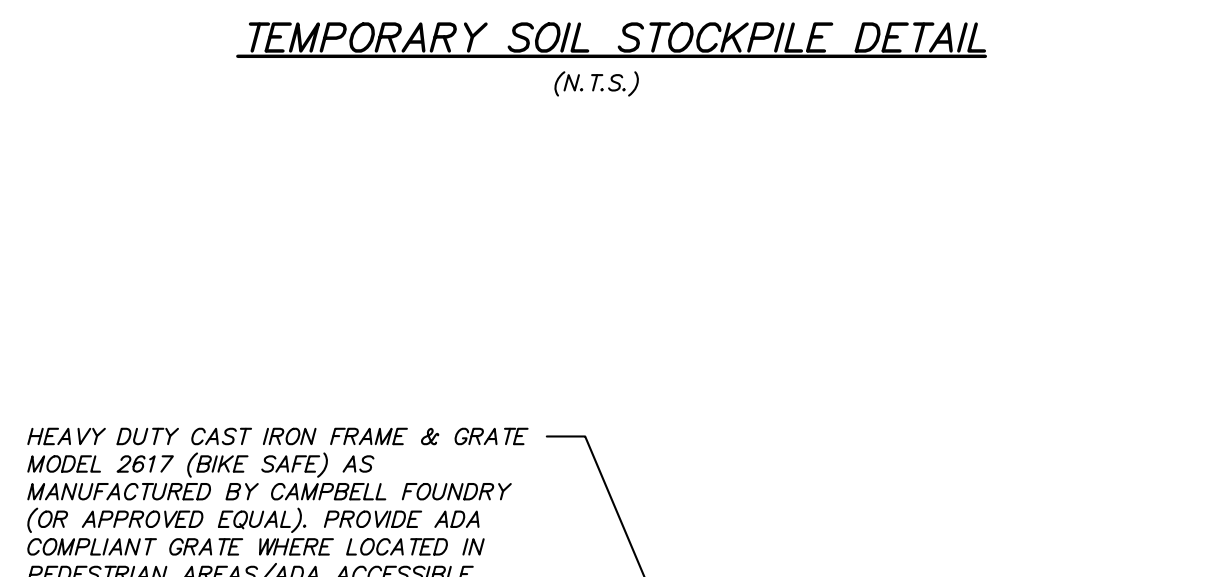
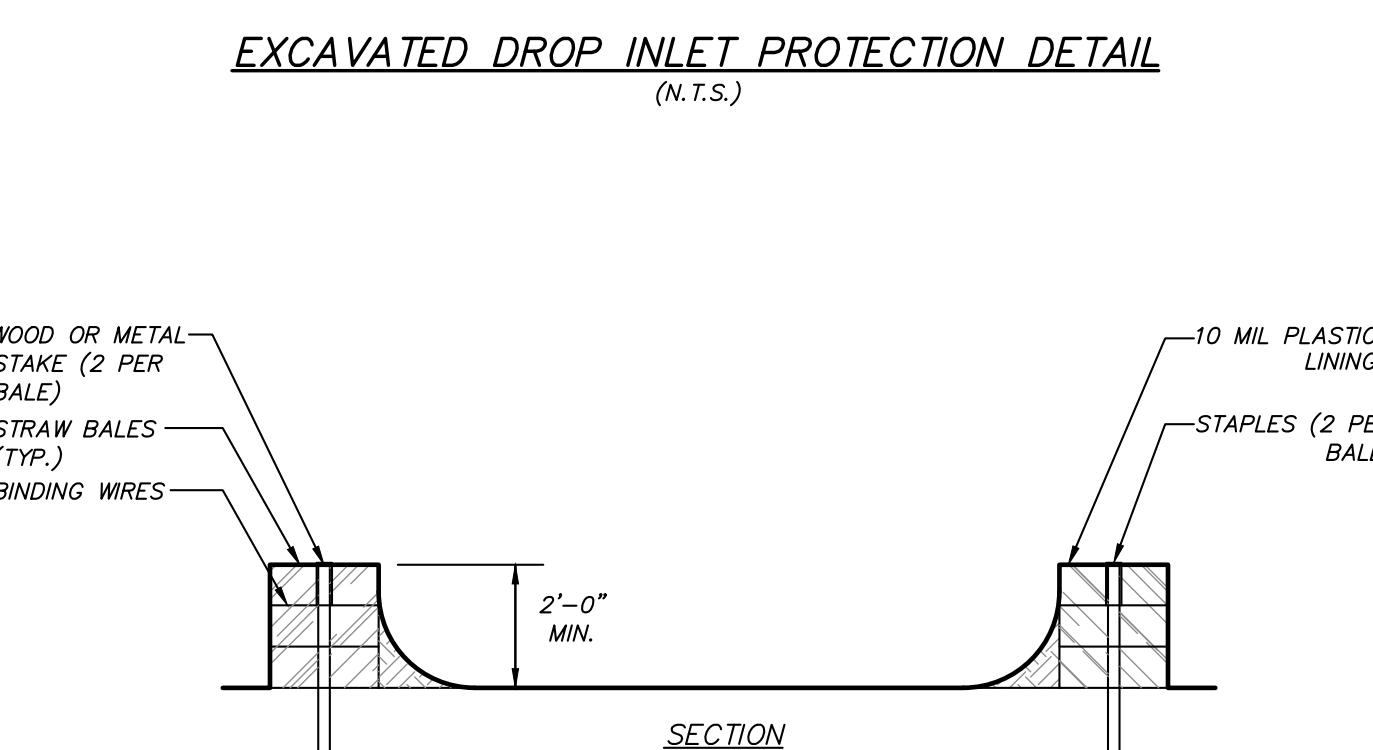
- a. Background information: The subject project consists of the construction of two single family dwellings, a barn with an accessory apartment, and associated improvements including two pools, a tennis court, and a common driveway.
 - b. Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
 - c. Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Charlton-Charfield complex (Crc. & Csd) and Charlton fine sandy loam (Cic & Cnc), Chaffee-Halls-Rock outcrop complex (Cuo), and Sun loam (Sh) as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "B", "C" and "D".
 - d. Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Sedimentation and Erosion Control Notes contained hereon outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
 - e. Description of erosion and sediment control practices: This plan, and details / notes shown hereon serve to satisfy this SWPPP requirement.
 - f. Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided hereon identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
 - g. Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.
 - h. The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
 - i. An inspection schedule: Inspections are to be performed once weekly and by a qualified professional as required by the General Permit GP-0-20-001. In addition the NYSDEC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.
 - j. A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter/debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall never be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
 - k. A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
 - l. Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."
2. Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, New York State Stormwater Management Design Manual ("Design Manual"). Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.2.a-f and III.B.3:
- a. Identification of all post-construction stormwater management practices to be constructed as part of the project; This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
 - b. A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice; This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
 - c. A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in conformance with the design criteria, identification of any design criteria that are not required, the required analysis is provided in the report titled Stormwater Pollution Prevention Plan for 10 & 20 Round Hill Road.
 - d. Soil testing results and locations. This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for 10 & 20 Round Hill Road.
 - e. Infiltration testing results. This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for 10 & 20 Round Hill Road.
 - f. An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continued and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.



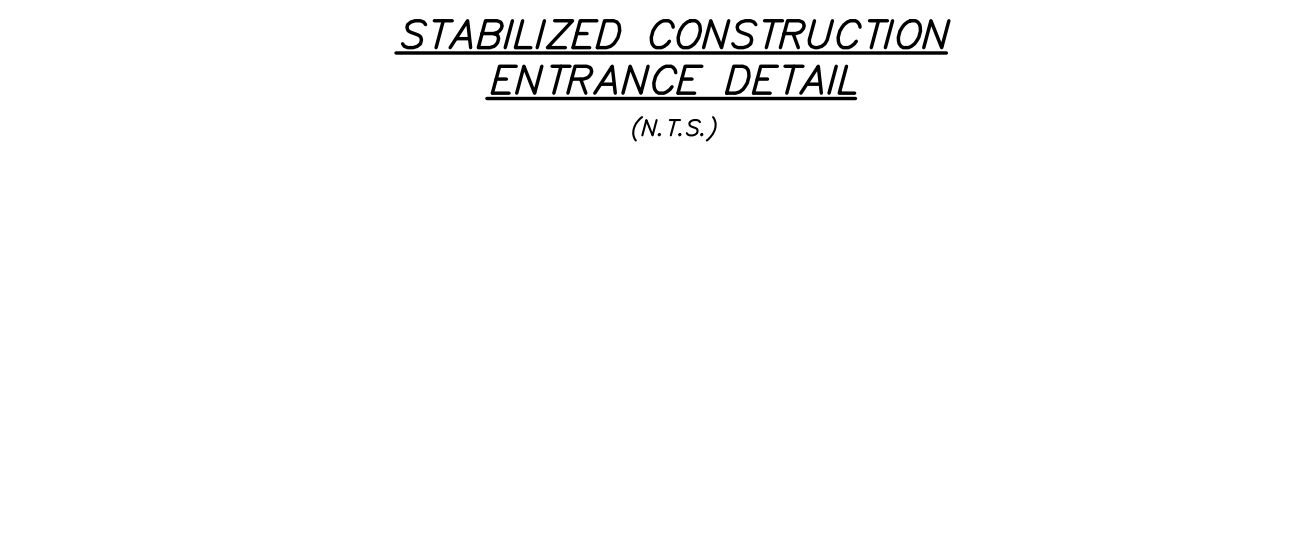
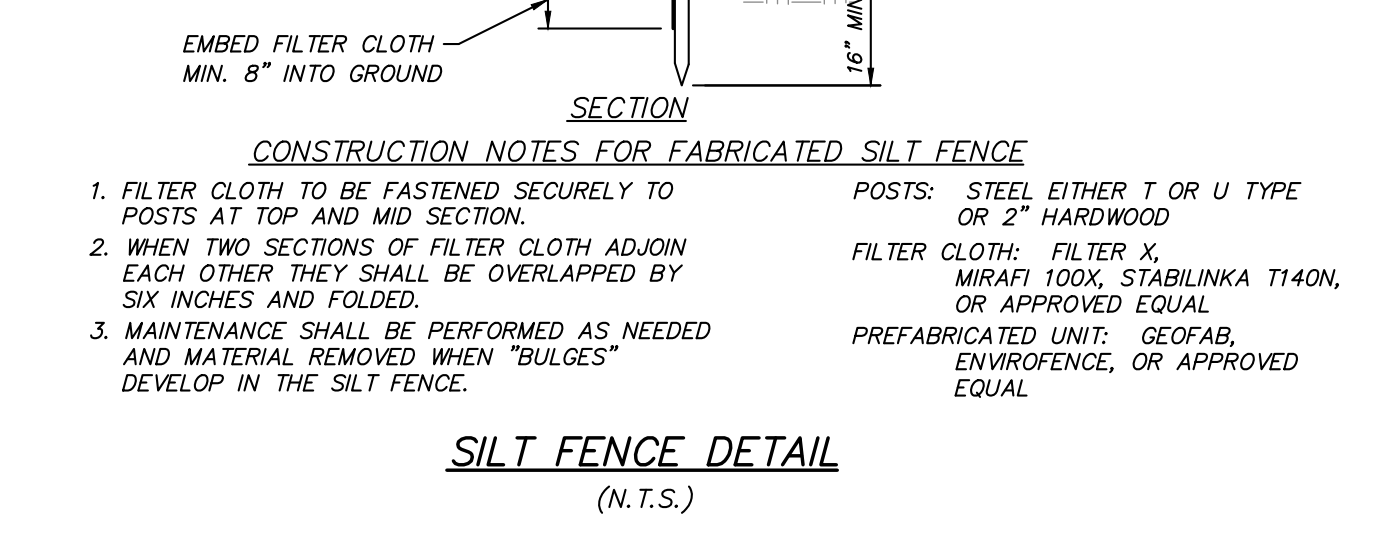
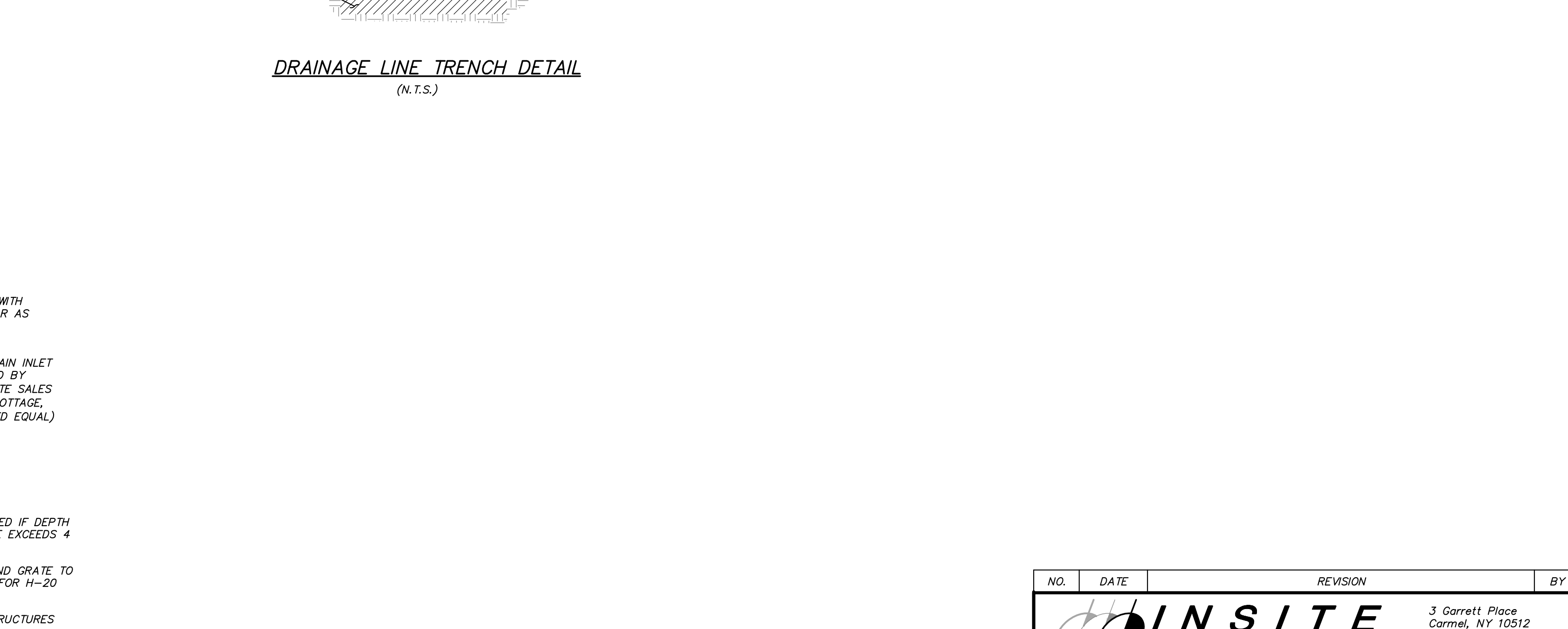
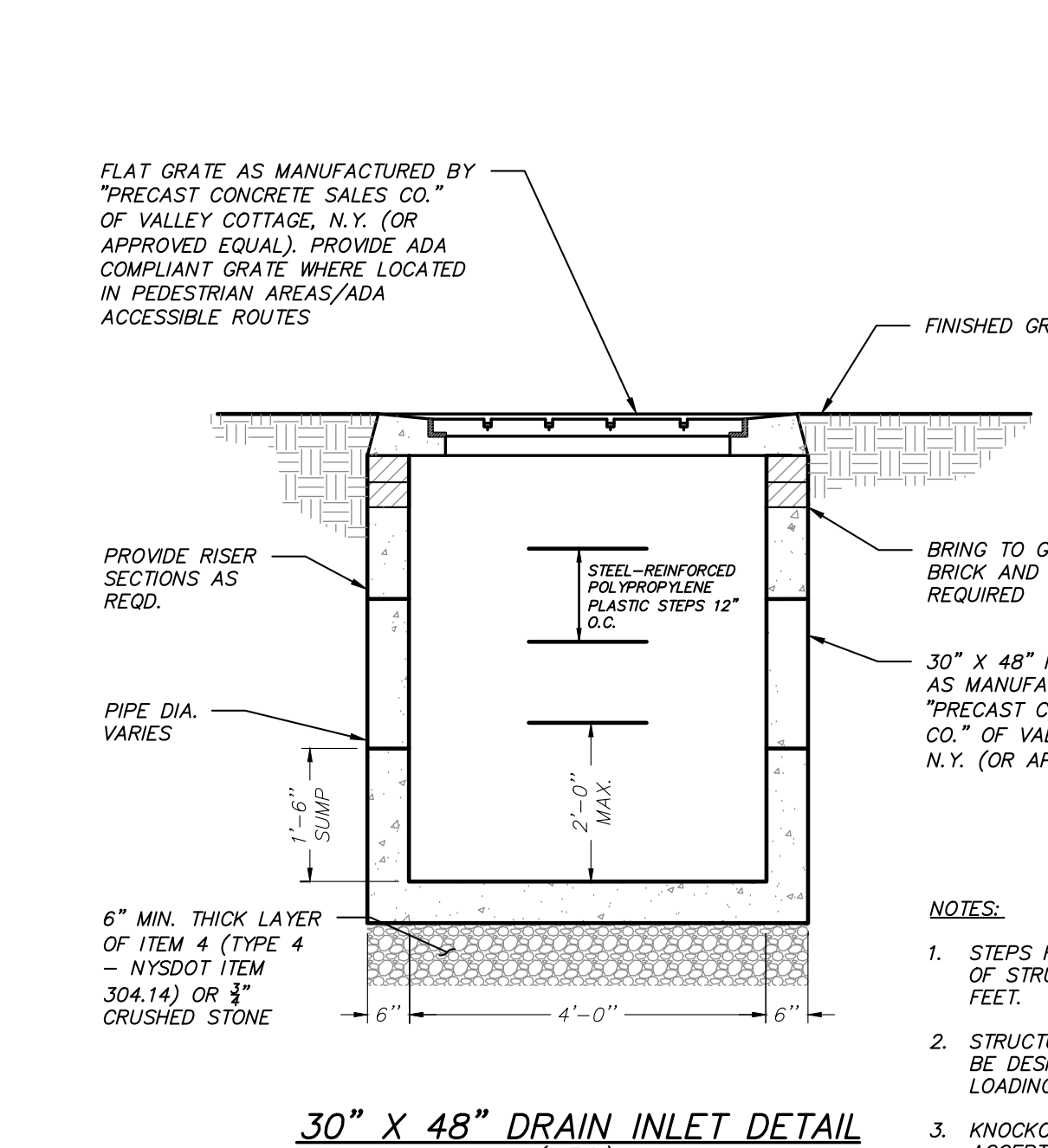
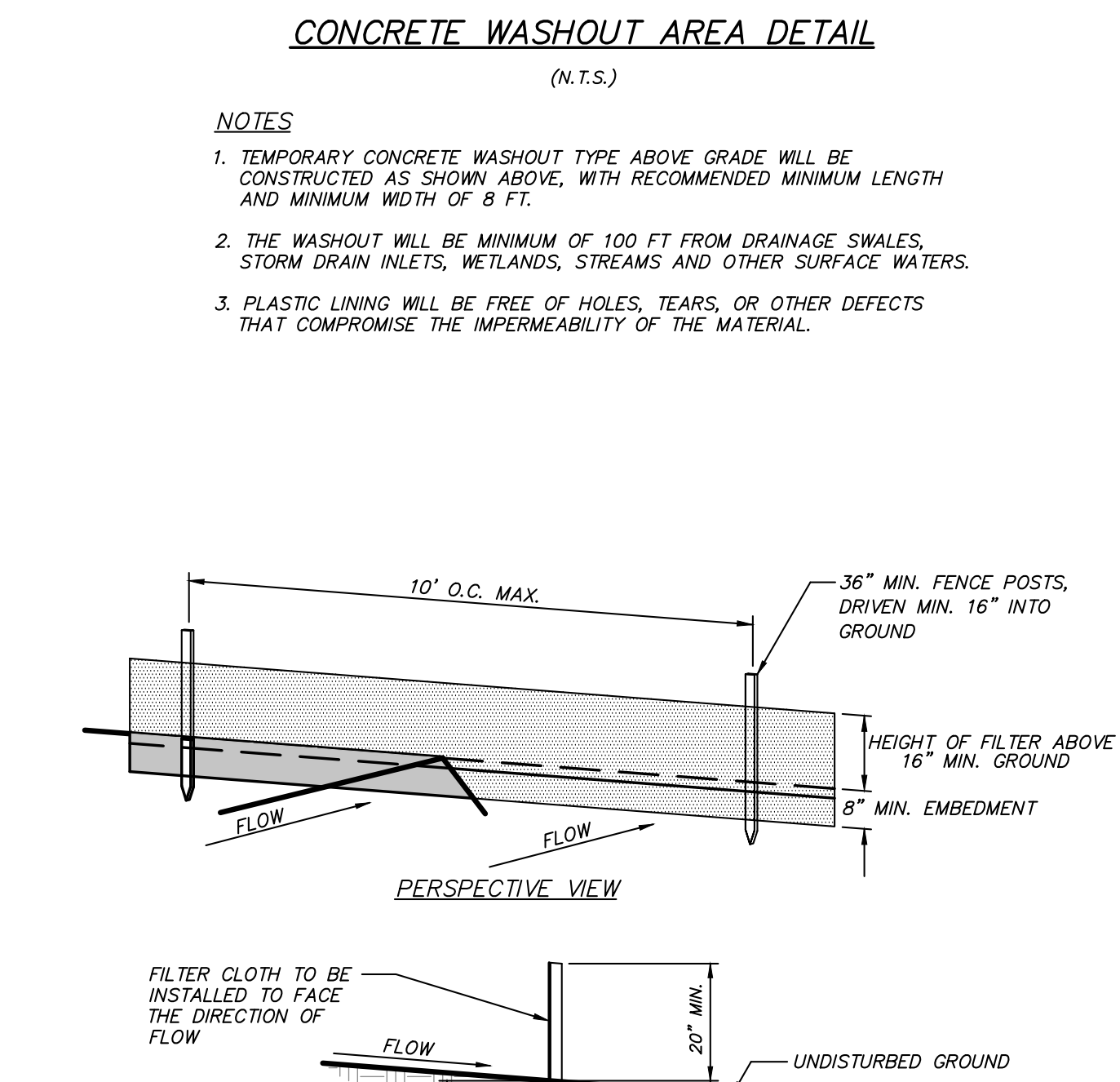
- 1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION
- 2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN
- 3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL
- 4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING
- 5. MAXIMUM DRAINAGE AREA = 1 ACRE

- 1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
- 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
- 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDDED WITH K31 PERENNIAL TALL FESCUE.
- 4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

- 1. STRUCTURE AND COVER TO BE DESIGNED FOR H-20 LOADING.
- 2. STRUCTURE TO BE PRECAST, KNOCKOUT STRUCTURE WILL NOT BE ACCEPTED.



- INSTALLATION NOTES**
- 1. STONE SIZE - USE 3" STONE
 - 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
 - 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - 4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
 - 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 - 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
 - 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

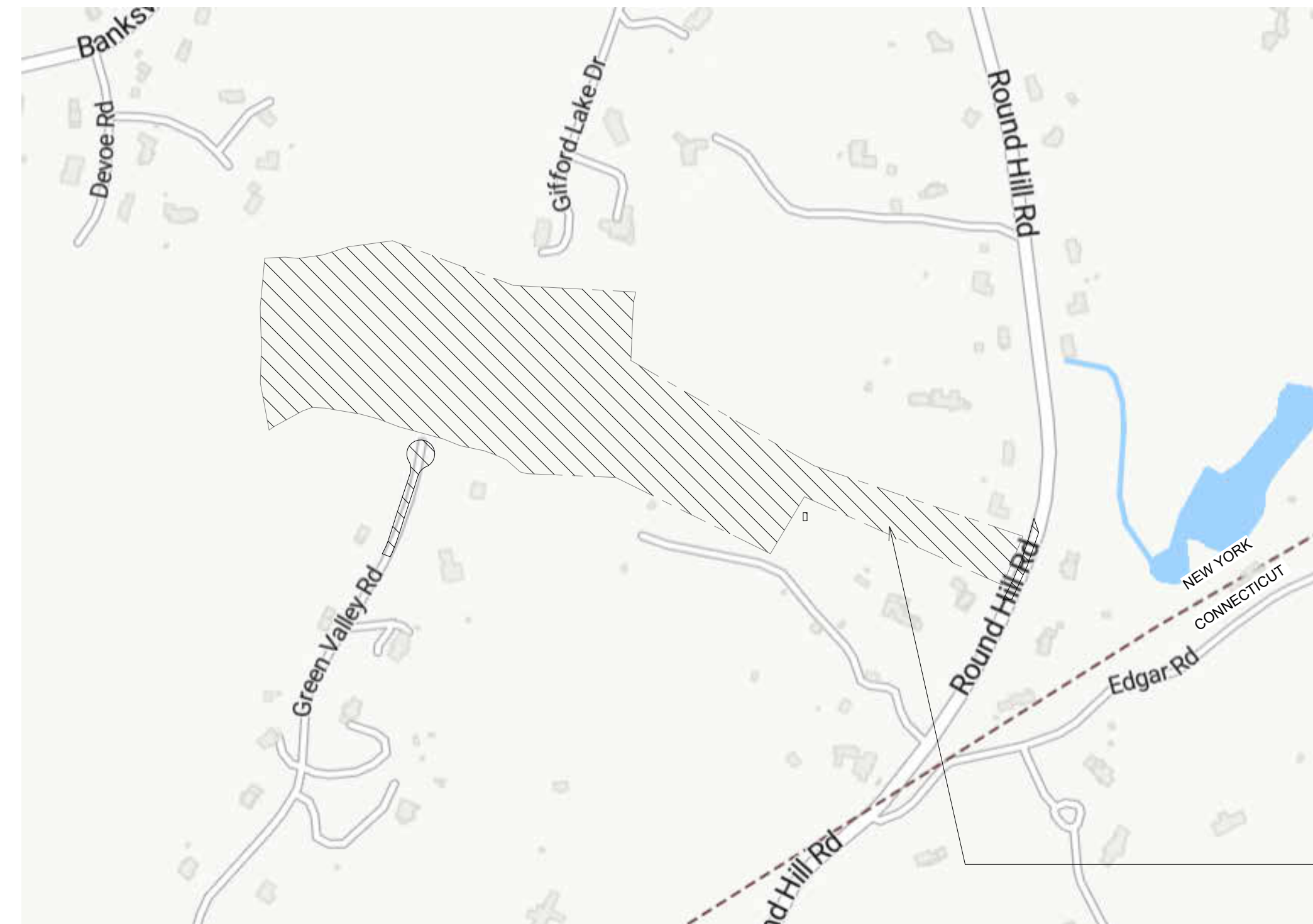


NO.	DATE	REVISION	BY
 INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: 10 & 20 ROUND HILL ROAD			
DRAWING: DETAILS			
PROJECT NUMBER	22222.100	PROJECT MANAGER	R.D.W.
DATE	2-26-24	DRAWN BY	T.S.M.
SCALE	1" = 60"	CHECKED BY	A.D.T.
DRAWING NO.	D-2	SHEET	12

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

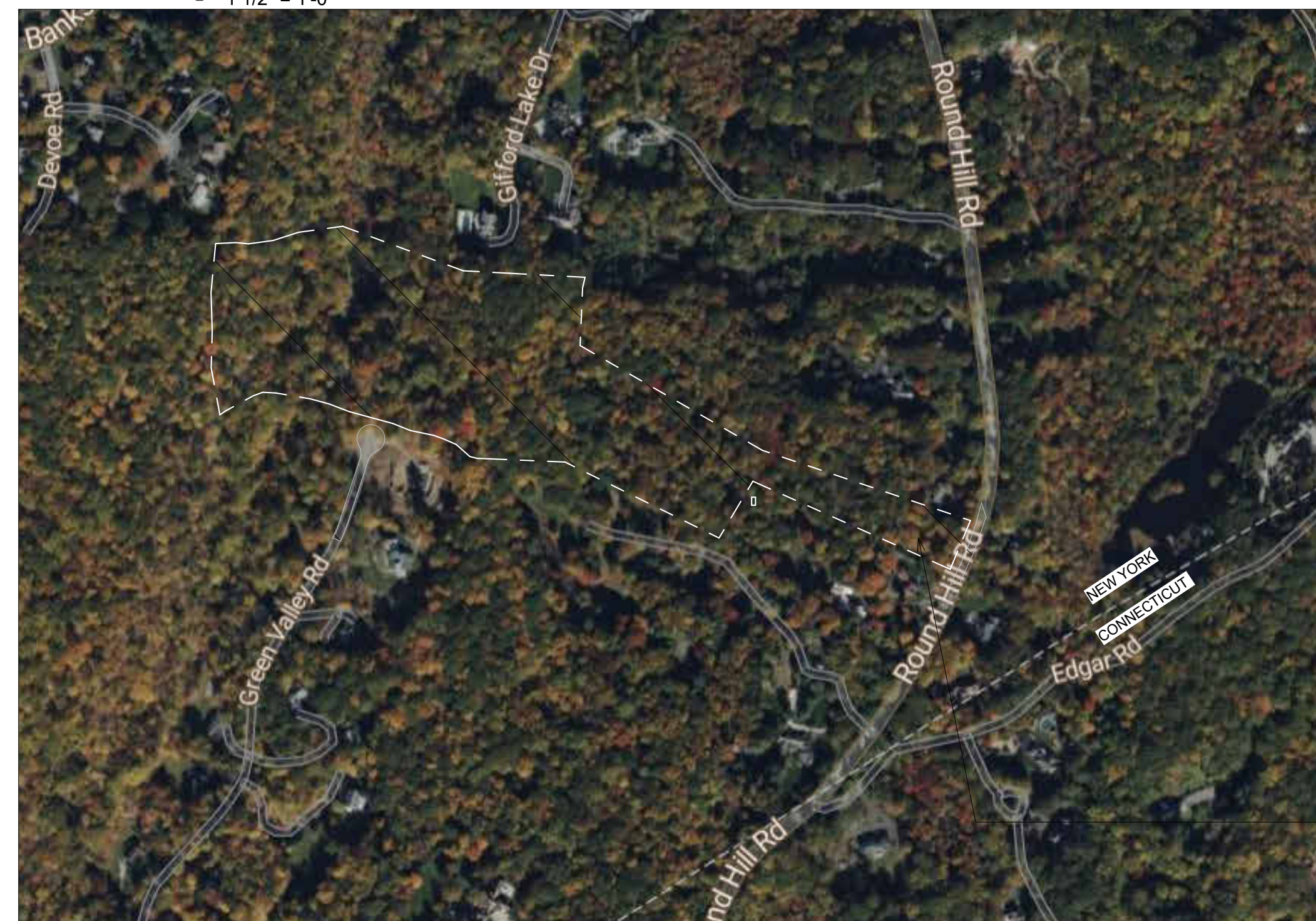
PROPERTY INFORMATION

ADDRESS: 111 ROUND HILL ROAD, ARMONK, NY 10504
 MUNICIPALITY: TOWN OF NORTH CASTLE
 MAP: WESTCHESTER COUNTY MAP NO. 27849
 TAX MAPS: 109.01-1-49.5 & 109.01-1-1-49.4
 LOT(S): 4 & 5
 LOT AREA: (20.7 ACRES) **LOT 4: 4.7 ACRES** LOT 5: 16 ACRES
 ZONE: R-2A
 DOC CONTROL: 632203318
 SCOPE OF WORK: NEW TWO STORY SINGLE FAMILY HOME WITH LOT SUBDIVISION



PROPERTY LOCATION

① LOCATION MAP
1 1/2" = 1'-0"



PROPERTY LOCATION

② SATELLITE MAP
1 1/2" = 1'-0"

ZACHARY HARWIN, RA

CONTACT INFO

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 ROUND HILL ROAD REALTY LLC

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 EMAIL: zacharyharwin@gmail.com

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 TERRY LENNON
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 Ridgefield, CT 06877
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 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

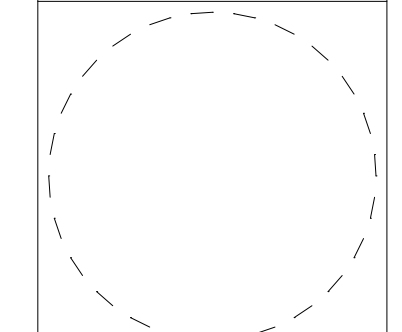
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No.	Description	Date

DEPT OF BUILDINGS NO.
--- ---

FILING TYPE: **PROFESSIONAL SEAL**
 IF REQUIRED



Project Number Project Number

LOT 4 RESIDENCE

111 ROUND HILL ROAD
ARMONK, NY

BLOCK: LOT:

DRAWING TITLE

COVER SHEET

DRAWING NO.

A000

Drawn By: Author Sheet: of

DRAWING INDEX

Sheet Number	Sheet Name
A000	COVER SHEET
A013	AREA DIAGRAMS (GROSS)
A014	AREA DIAGRAMS (CALCULATED)
A015	ROOF HEIGHTS CALCULATION
A100	CELLAR PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A104	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A300	BUILDING SECTION
A301	BUILDING SECTION
A900	EXTERIOR 3D VIEWS
A901	HOME RENDERING

ZACHARY HARWIN, RA

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KEY PLAN

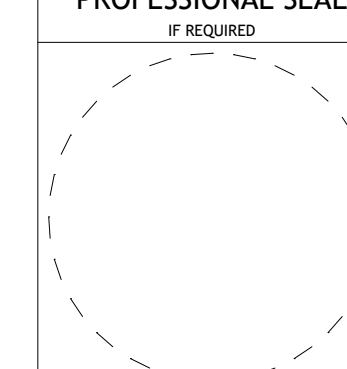
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No.	Description	Date

DEPT OF BUILDINGS NO.
... ..

FILING TYPE: **PROFESSIONAL SEAL**
IF REQUIRED



Project Number: _____ Project Number: _____

LOT 4 RESIDENCE

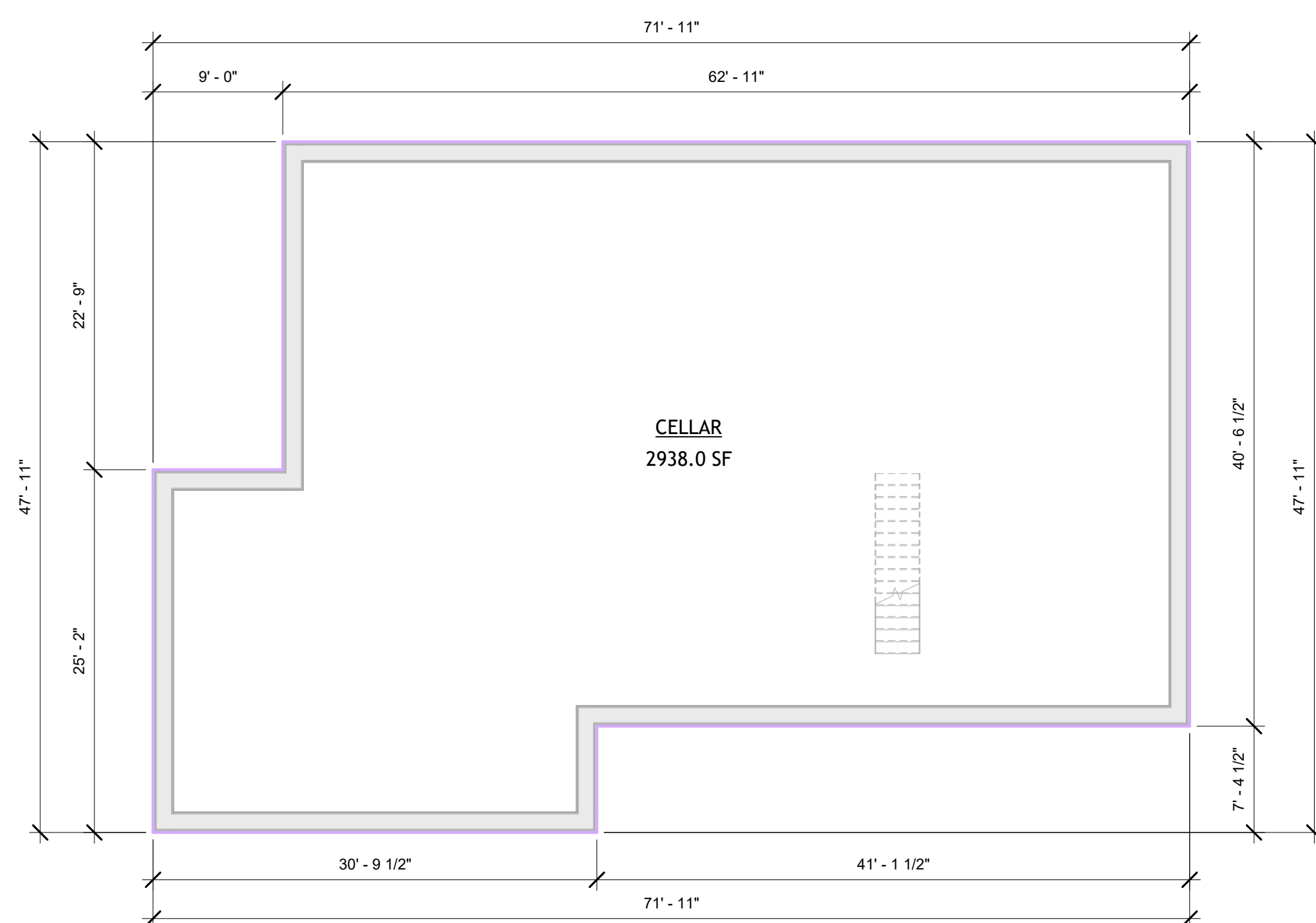
**111 ROUND HILL ROAD
ARMONK, NY**

BLOCK: _____ LOT: _____

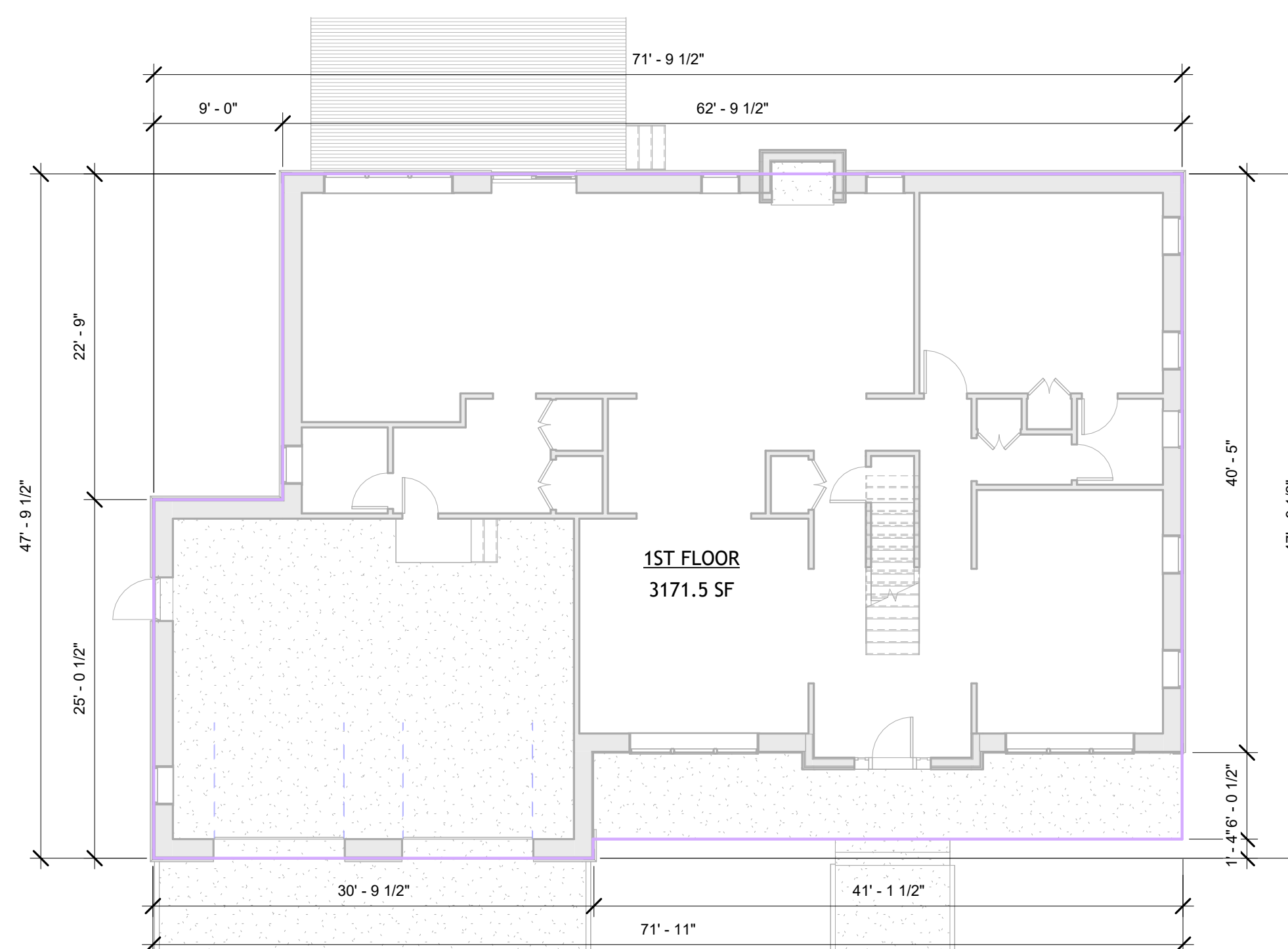
DRAWING TITLE
**AREA DIAGRAMS
(GROSS)**
DRAWING NO.

A013

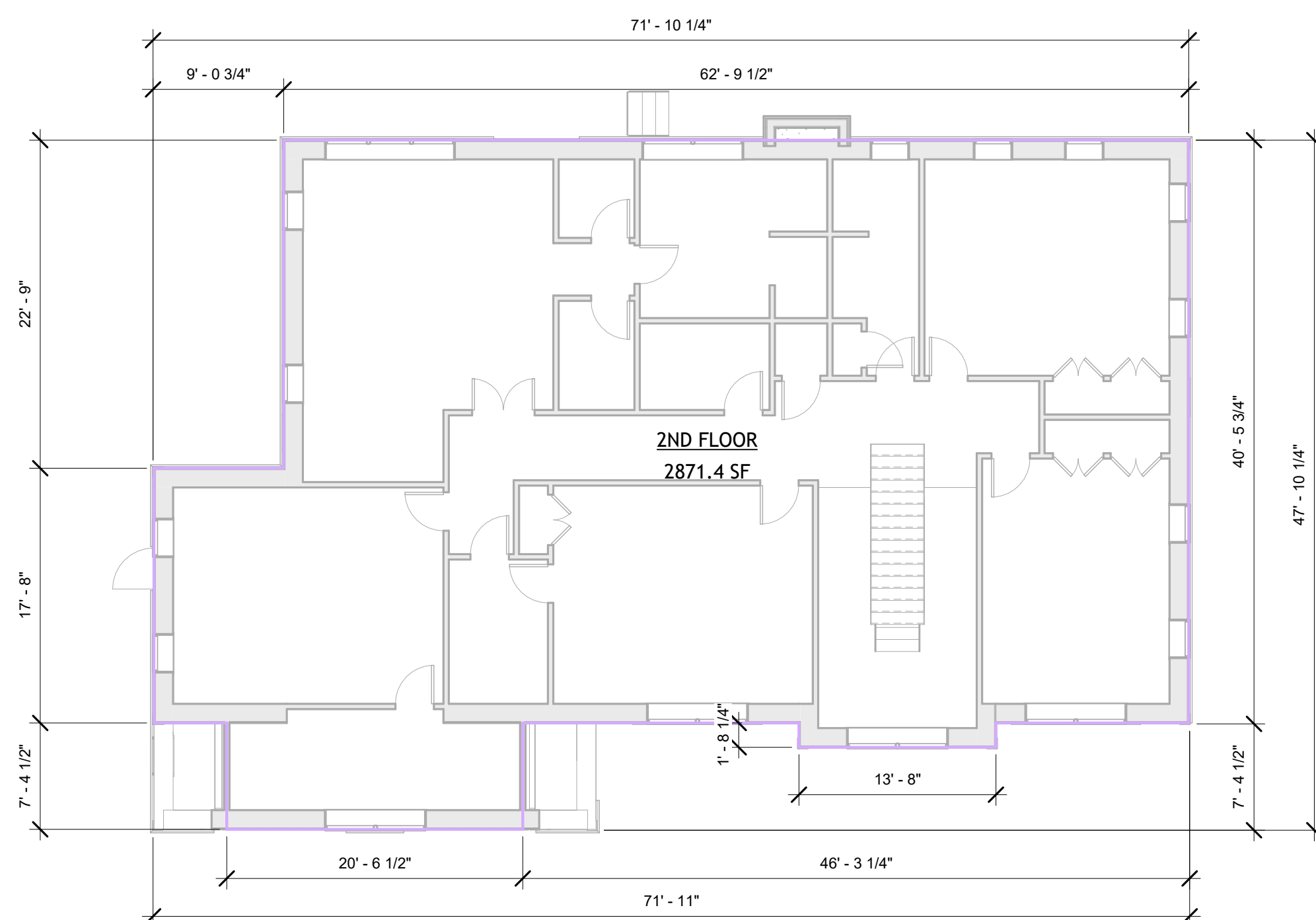
Drawn By: Author Sheet: _____ of _____



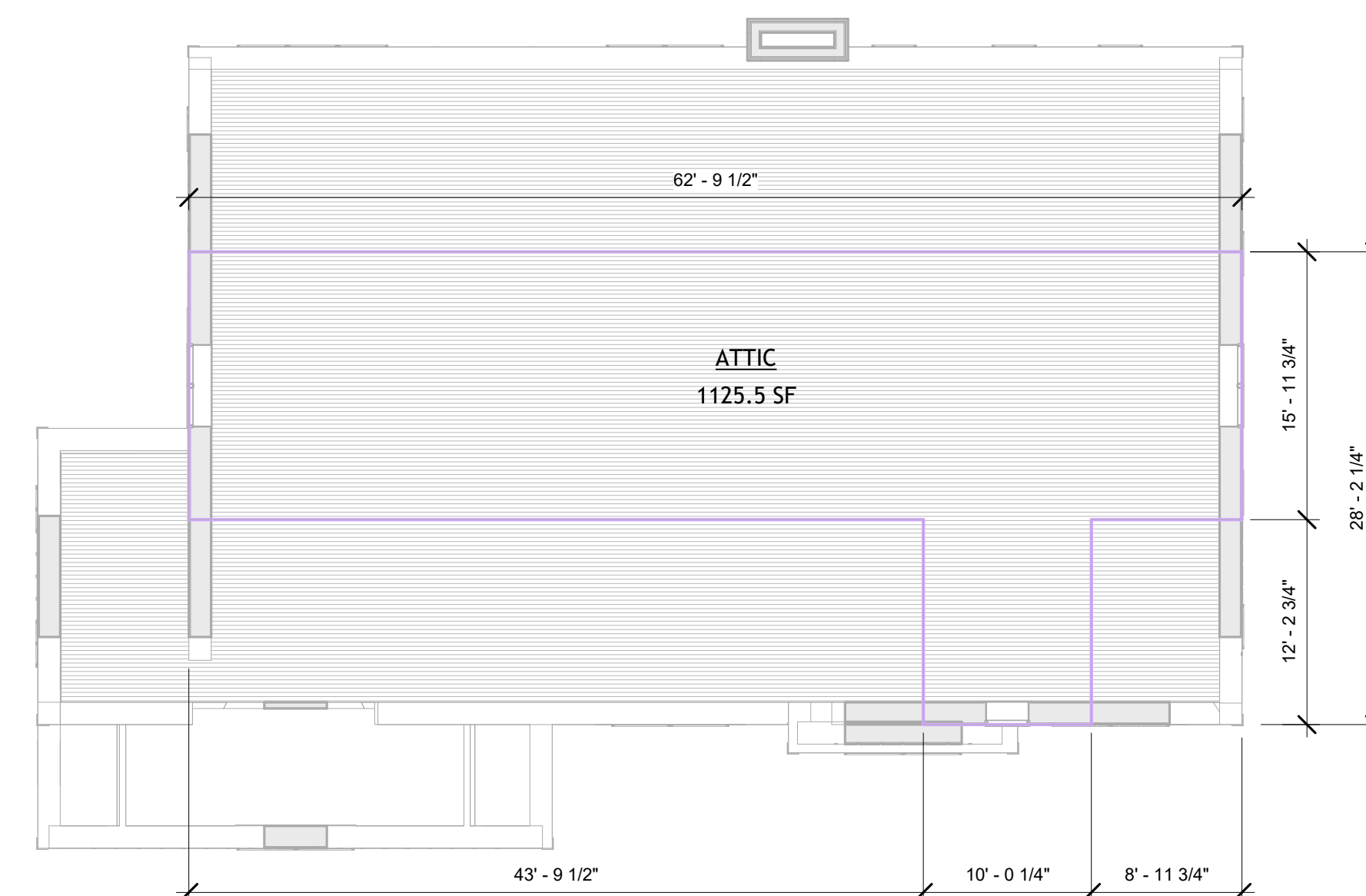
① CELLAR
1/8" = 1'-0"



② First Floor Finish Level
1/8" = 1'-0"



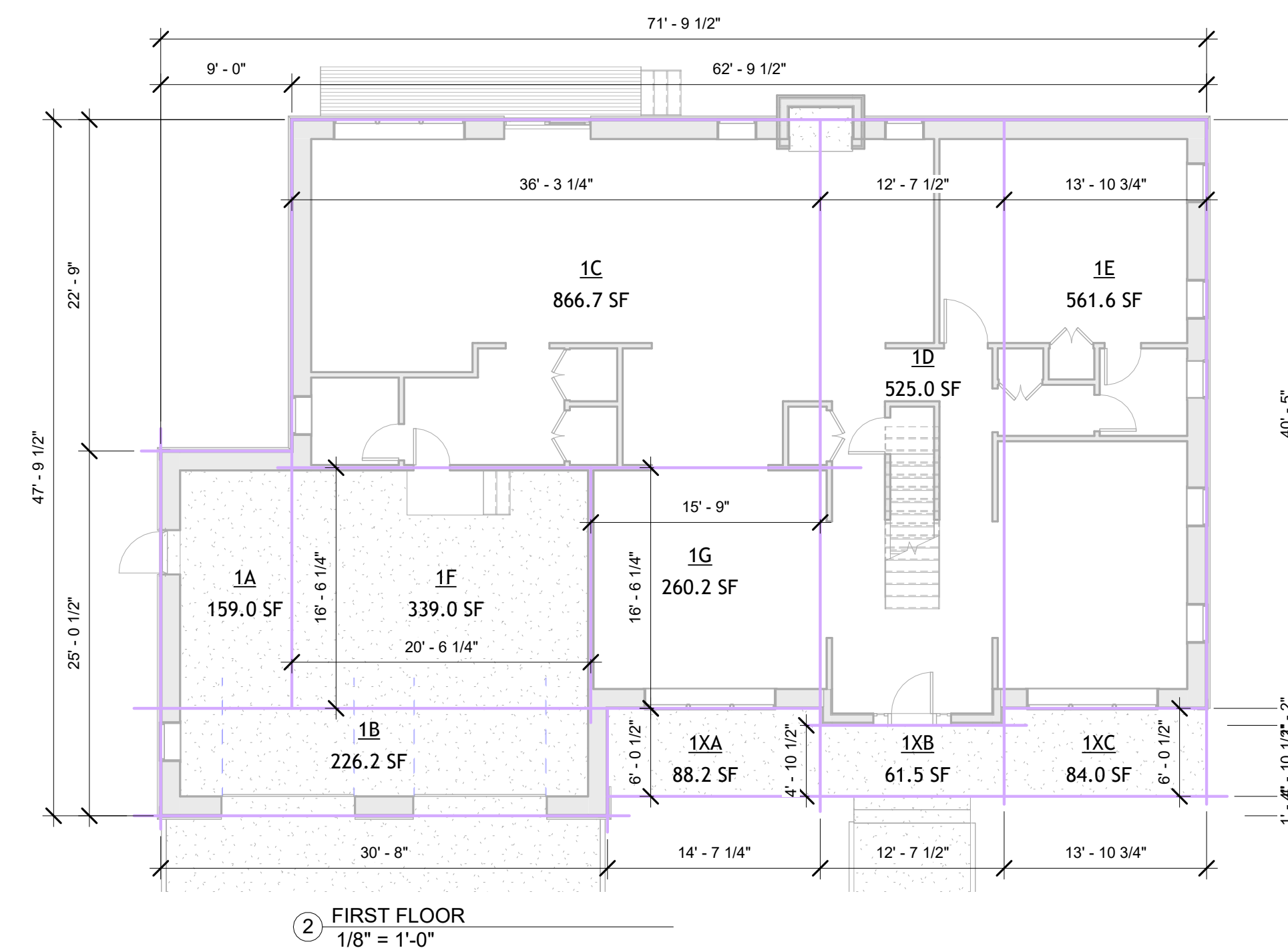
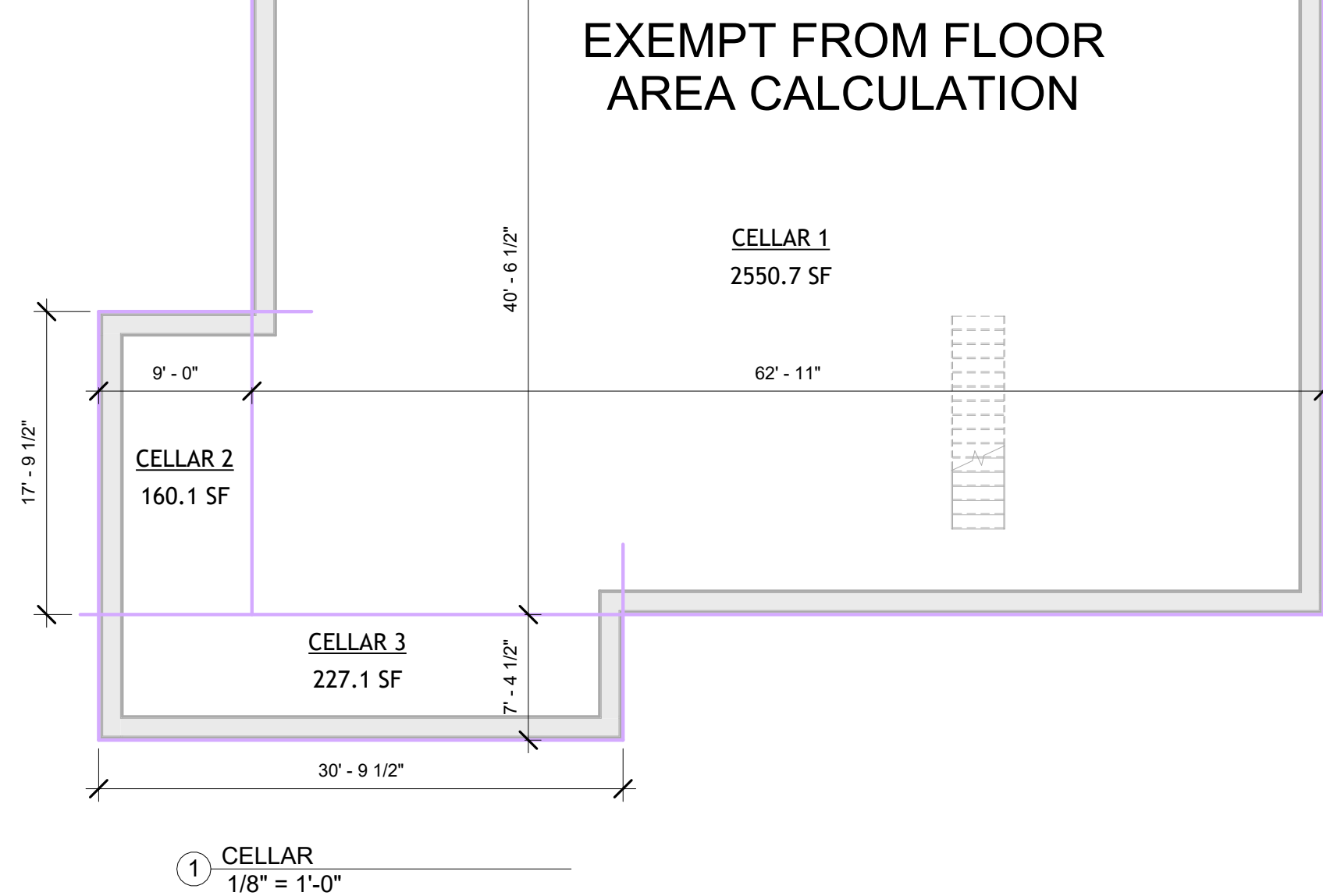
③ Second Floor
1/8" = 1'-0"



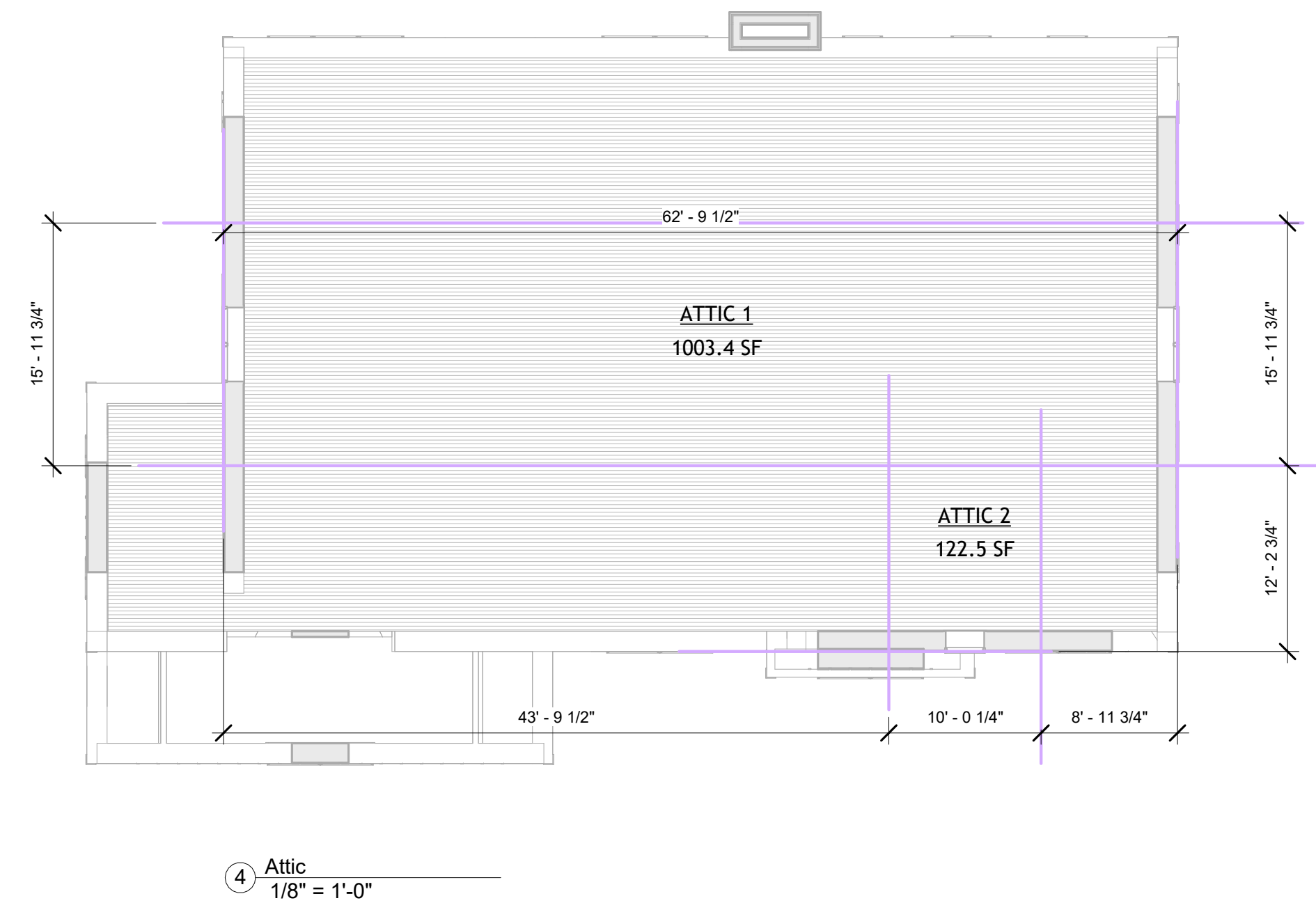
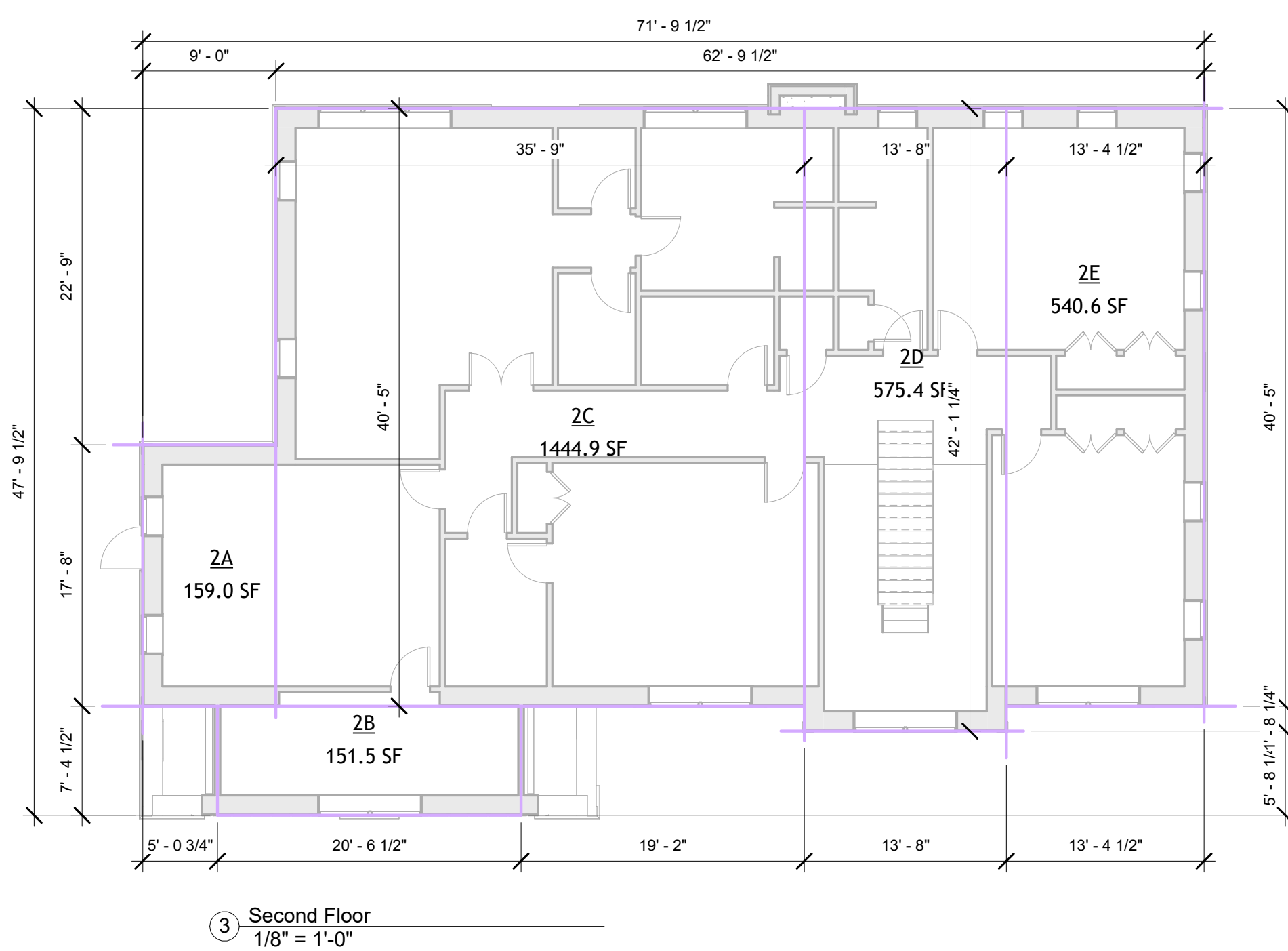
④ Attic
1/8" = 1'-0"

Area Schedule (Gross Building)		
Name	Area	Comments
CELLAR	2938.0 SF	EXEMPT FROM FLOOR AREA
1ST FLOOR	3171.5 SF	
2ND FLOOR	2871.4 SF	
ATTIC	1125.5 SF	AREA WITH 7'6" CEILING
Grand total: 4	10106.3 SF	

FLOOR AREAS			
Level	Name	Area	Comments
First Floor Finish Level	1A	159.0 SF	GARAGE
First Floor Finish Level	1B	226.2 SF	GARAGE
First Floor Finish Level	1C	866.7 SF	
First Floor Finish Level	1D	525.0 SF	
First Floor Finish Level	1E	561.6 SF	
First Floor Finish Level	1XA	88.2 SF	COVERED PORCH
First Floor Finish Level	1XB	61.5 SF	COVERED PORCH
First Floor Finish Level	1XC	84.0 SF	COVERED PORCH
First Floor Finish Level	1G	260.2 SF	
First Floor Finish Level	1F	339.0 SF	GARAGE
Second Floor	2A	159.0 SF	
Second Floor	2B	151.5 SF	
Second Floor	2C	1444.9 SF	
Second Floor	2D	575.4 SF	
Second Floor	2E	540.6 SF	
Attic	ATTIC 1	1003.4 SF	AREA WITH 7'6" CEILING
Attic	ATTIC 2	122.5 SF	AREA WITH 7'6" CEILING
Grand total:	17	7168.7 SF	



Area Schedule (CALCULATED) FIRST FLOOR			
Level	Name	Area	Comments
First Floor Finish Level	1A	159.0 SF	GARAGE
First Floor Finish Level	1B	226.2 SF	GARAGE
First Floor Finish Level	1C	866.7 SF	
First Floor Finish Level	1D	525.0 SF	
First Floor Finish Level	1E	561.6 SF	
First Floor Finish Level	1XA	88.2 SF	COVERED PORCH
First Floor Finish Level	1XB	61.5 SF	COVERED PORCH
First Floor Finish Level	1XC	84.0 SF	COVERED PORCH
First Floor Finish Level	1G	260.2 SF	
First Floor Finish Level	1F	339.0 SF	GARAGE
Grand total:	10	3171.5 SF	



Area Schedule (CALCULATED) SECOND FLOOR			
Level	Name	Area	Comments
Second Floor	2A	159.0 SF	
Second Floor	2B	151.5 SF	
Second Floor	2C	1444.9 SF	
Second Floor	2D	575.4 SF	
Second Floor	2E	540.6 SF	
Grand total:	5	2871.4 SF	

Area Schedule (CALCULATED) ATTIC			
Level	Name	Area	Comments
Attic	ATTIC 1	1003.4 SF	AREA WITH 7'6" CEILING
Attic	ATTIC 2	122.5 SF	AREA WITH 7'6" CEILING
Grand total:	2	1125.9 SF	

ZACHARY HARWIN, RA

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KEY PLAN

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No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE: PROFESSIONAL SEAL IF REQUIRED

Project Number: Project Number

LOT 4 RESIDENCE

111 ROUND HILL ROAD
ARMONK, NY

BLOCK: LOT: DRAWING TITLE

AREA DIAGRAMS
(CALCULATED)

A014

Drawn By: Author Sheet: of

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KEY PLAN

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DEPT OF BUILDINGS NO.

No. Description Date

FILING TYPE LOT: PROFESSIONAL SEAL IF REQUIRED

Project Number Project Number

LOT 4 RESIDENCE
111 ROUND HILL ROAD
ARMONK, NY

DRAWING TITLE

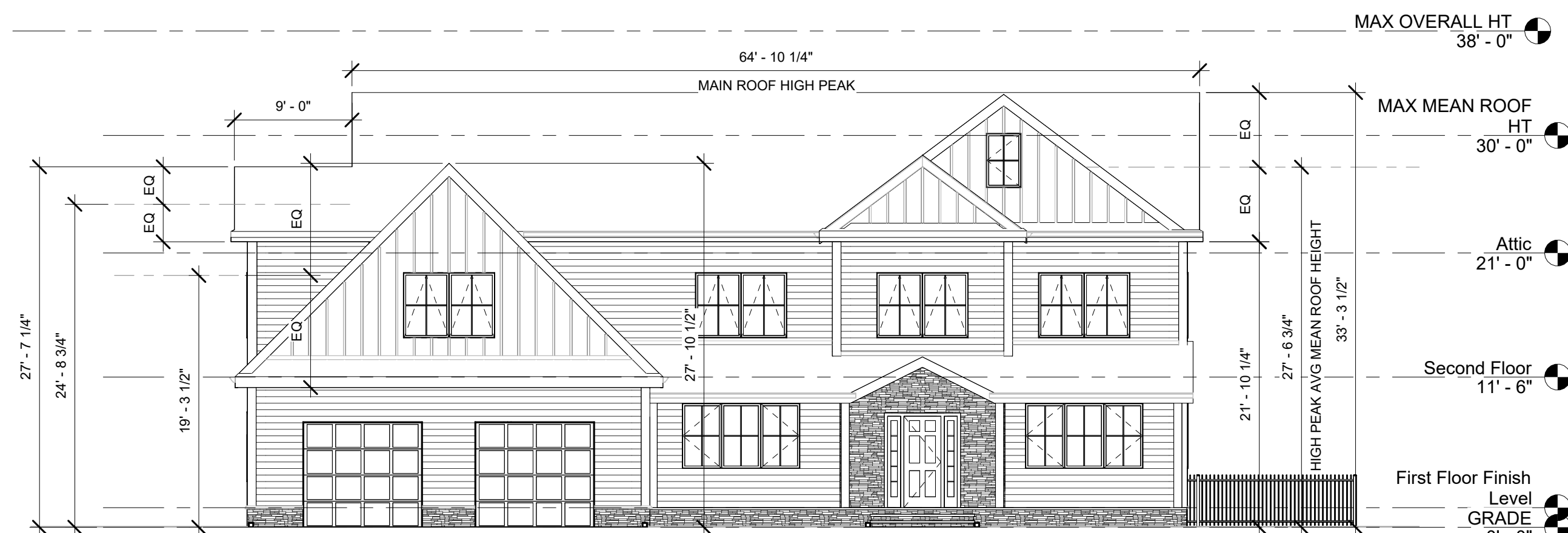
ROOF HEIGHTS
CALCULATION

DRAWING NO.

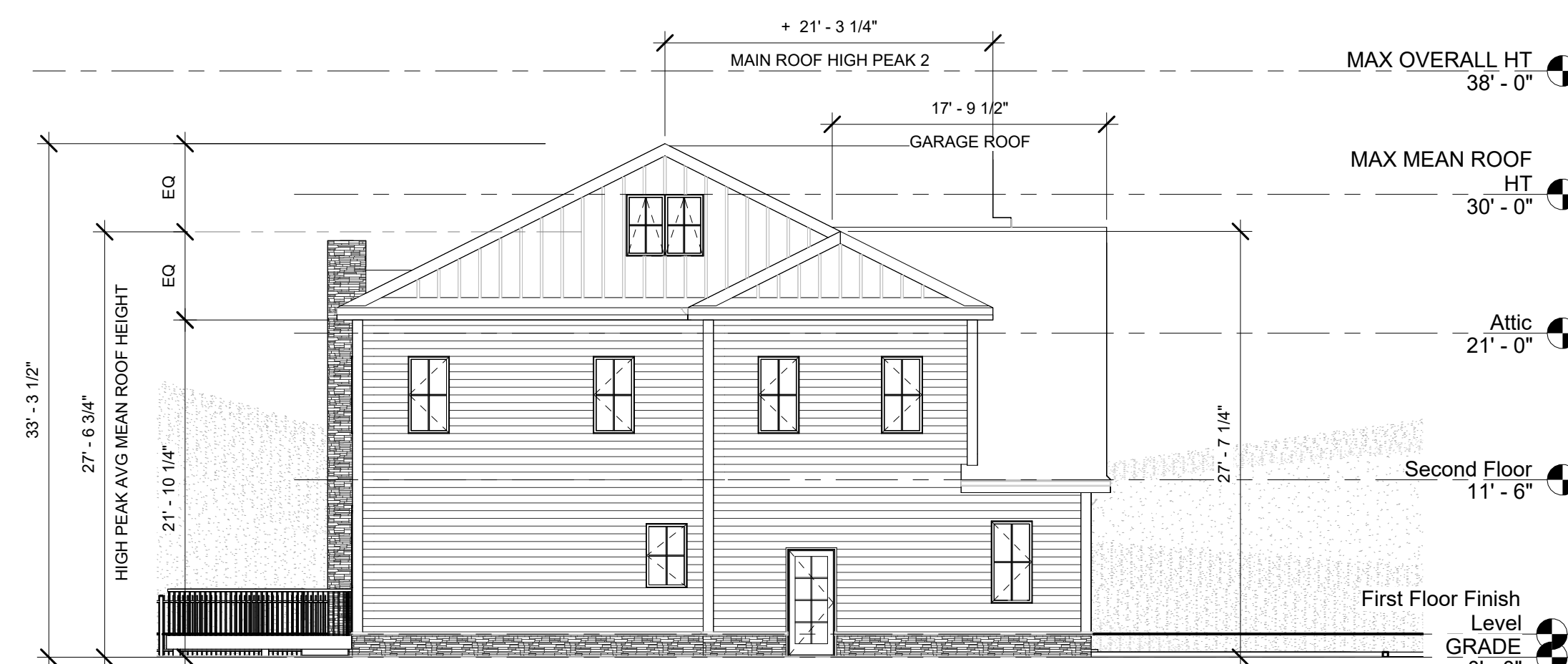
A015

Drawn By: Author Sheet: of

2/26/2024 7:19:05 AM



1 NORTH DIMS
1/8" = 1'-0"



2 EAST DIMS
1/8" = 1'-0"



3 SOUTH DIMS
1/8" = 1'-0"



4 WEST DIMS
1/8" = 1'-0"

LOT 4 RESIDENCE

ROOF PEAK LENGTHS

	FEET	INCHES	HEIGHT	
GARAGE ROOF	7	9 1 / 2	7.79167 FT	7.6%
MAIN ROOF HIGH PEAK	64	10 1 / 4	64.8542 FT	63.0%
MAIN ROOF HIGH PEAK 2	21	3 1 / 4	21.2708 FT	20.7%
MAIN ROOF LOW PEAK	9	0 0 / 0	9 FT	8.7%
TOTAL LENGTH			102.917 FT	100.0%

MEAN LEVEL ROOF HEIGHTS

	FEET	INCHES	HEIGHT		
GARAGE ROOF	19	3 1 / 2	19.2917 FT	X	7.6% = 1.46054 FT
MAIN ROOF HIGH PEAK	27	6 3 / 4	27.5625 FT	X	63.0% = 17.3688 FT
MAIN ROOF HIGH PEAK 2	27	6 3 / 4	27.5625 FT	X	20.7% = 5.69662 FT
MAIN ROOF LOW PEAK	24	8 3 / 4	24.7292 FT	X	8.7% = 2.16255 FT

AVERAGE MEAN ROOF HEIGHT 26.6886 FT

ZACHARY HARWIN, RA

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KEY PLAN

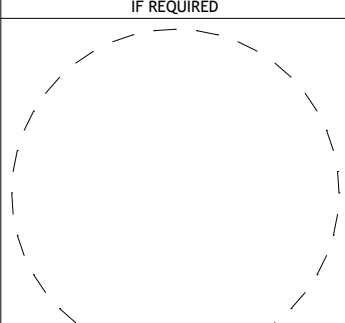
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No.	Description	Date

DEPT OF BUILDINGS NO.
 --- ---

FILING TYPE: PROFESSIONAL SEAL
 IF REQUIRED



Project Number Project Number

LOT 4 RESIDENCE

111 ROUND HILL ROAD
 ARMONK, NY

BLOCK: LOT:

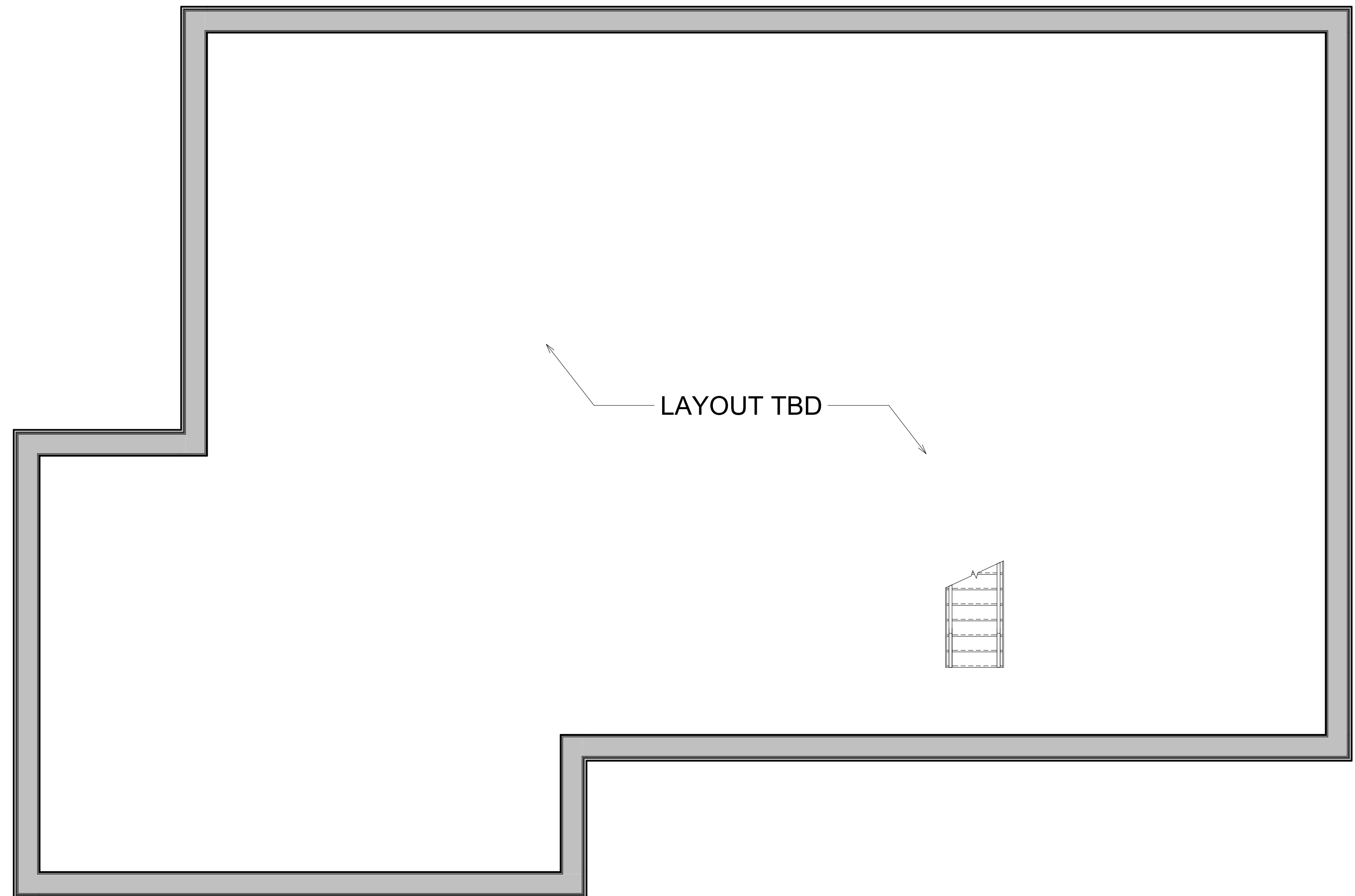
DRAWING TITLE

CELLAR PLAN

DRAWING NO.

A100

Drawn By: Author Sheet: of



① CELLAR FLOOR PLAN
 1/4" = 1'-0"

2/26/2024 7:19:06 AM

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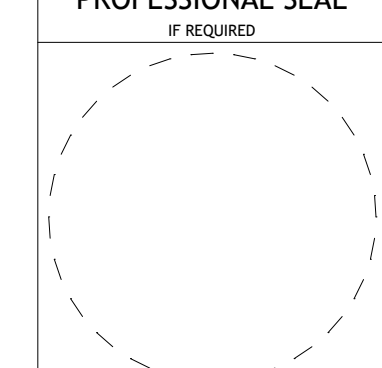
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No.	Description	Date

DEPT OF BUILDINGS NO.

PROFESSIONAL SEAL
 IF REQUIRED



Project Number Project Number

LOT 4 RESIDENCE

111 ROUND HILL ROAD
 ARMONK, NY

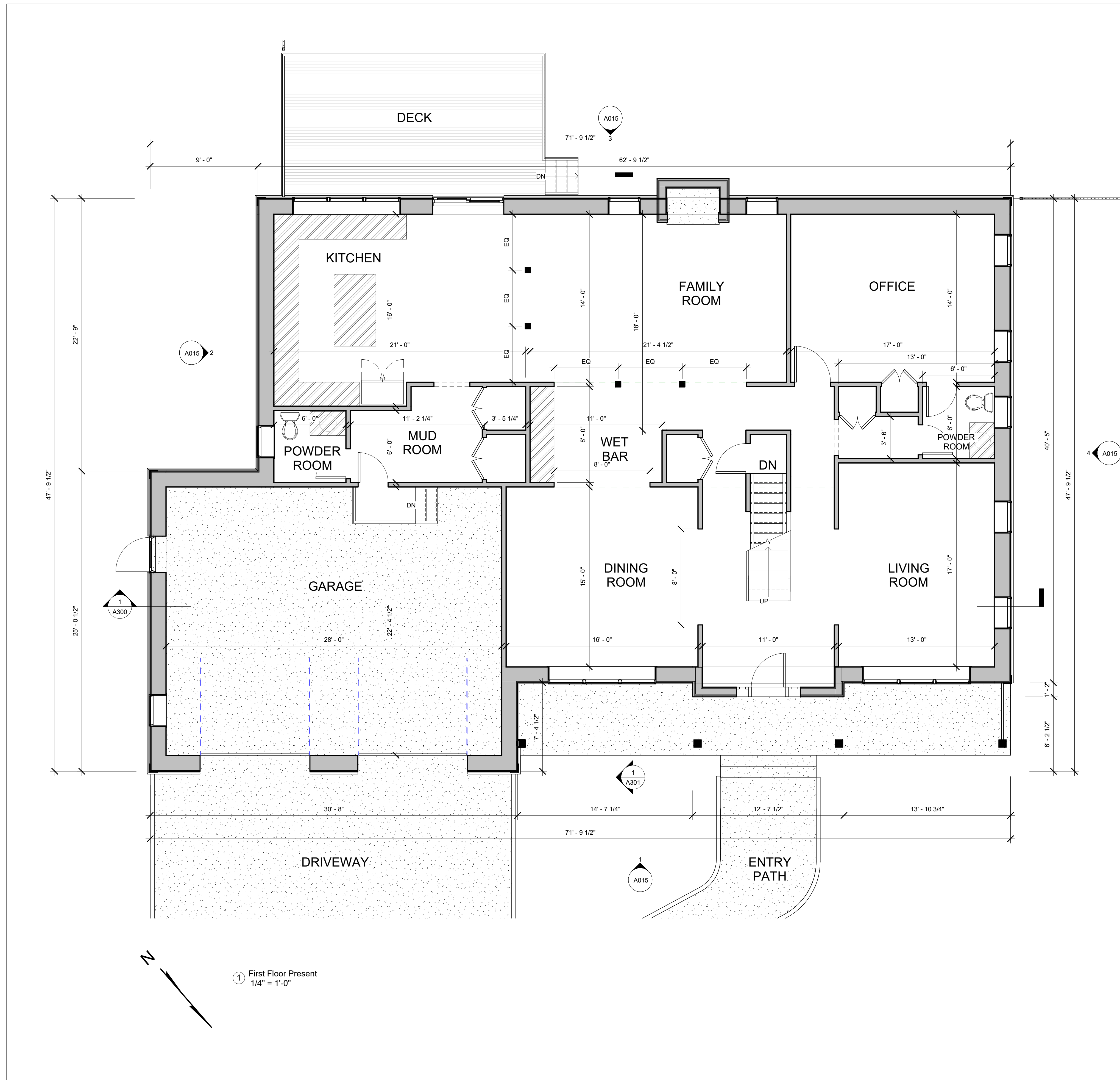
BLOCK: LOT: DRAWING TITLE

FIRST FLOOR PLAN

DRAWING NO.
A101

Drawn By: Author Sheet: of

2/26/2024 7:19:06 AM



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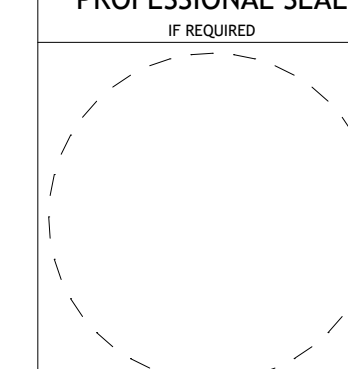
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No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE: _____

PROFESSIONAL SEAL
IF REQUIRED



Project Number Project Number

LOT 4 RESIDENCE

111 ROUND HILL ROAD
ARMONK, NY

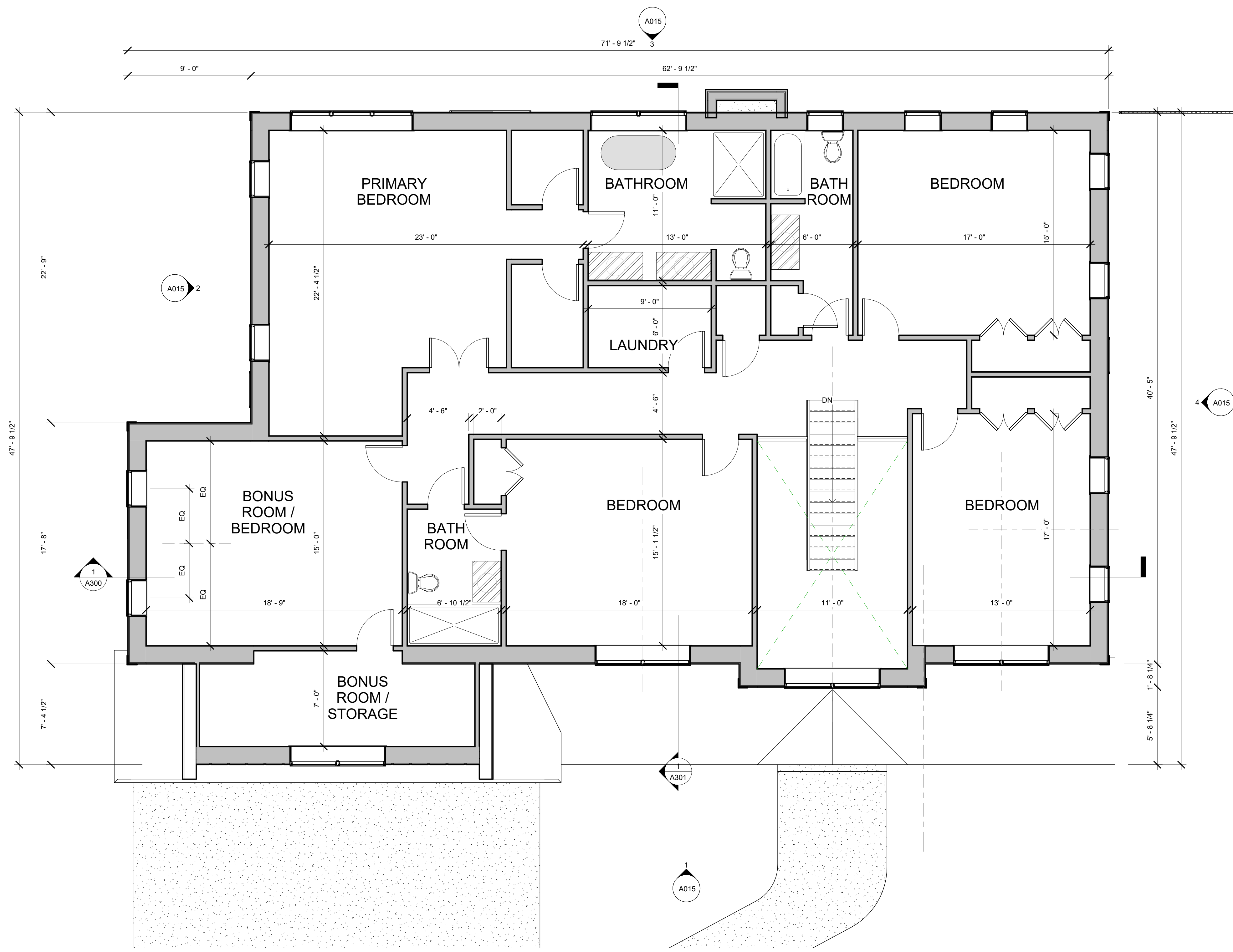
BLOCK: _____ LOT: _____

DRAWING TITLE

DRAWING NO.
A102

Drawn By: Author Sheet: of

2/26/2024 7:19:07 AM



1 Second Floor
1/4" = 1'-0"

ZACHARY HARWIN, RA

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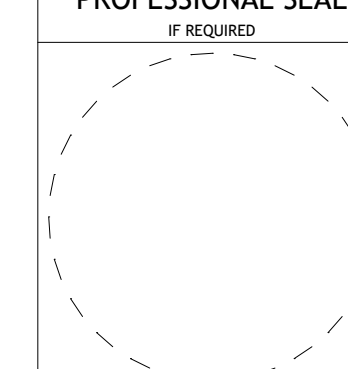
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No.	Description	Date

DEPT OF BUILDINGS NO.
... ..

FILED TYPE: **PROFESSIONAL SEAL**
IF REQUIRED



Project Number Project Number

LOT 4 RESIDENCE

**111 ROUND HILL ROAD
ARMONK, NY**

BLOCK: LOT:

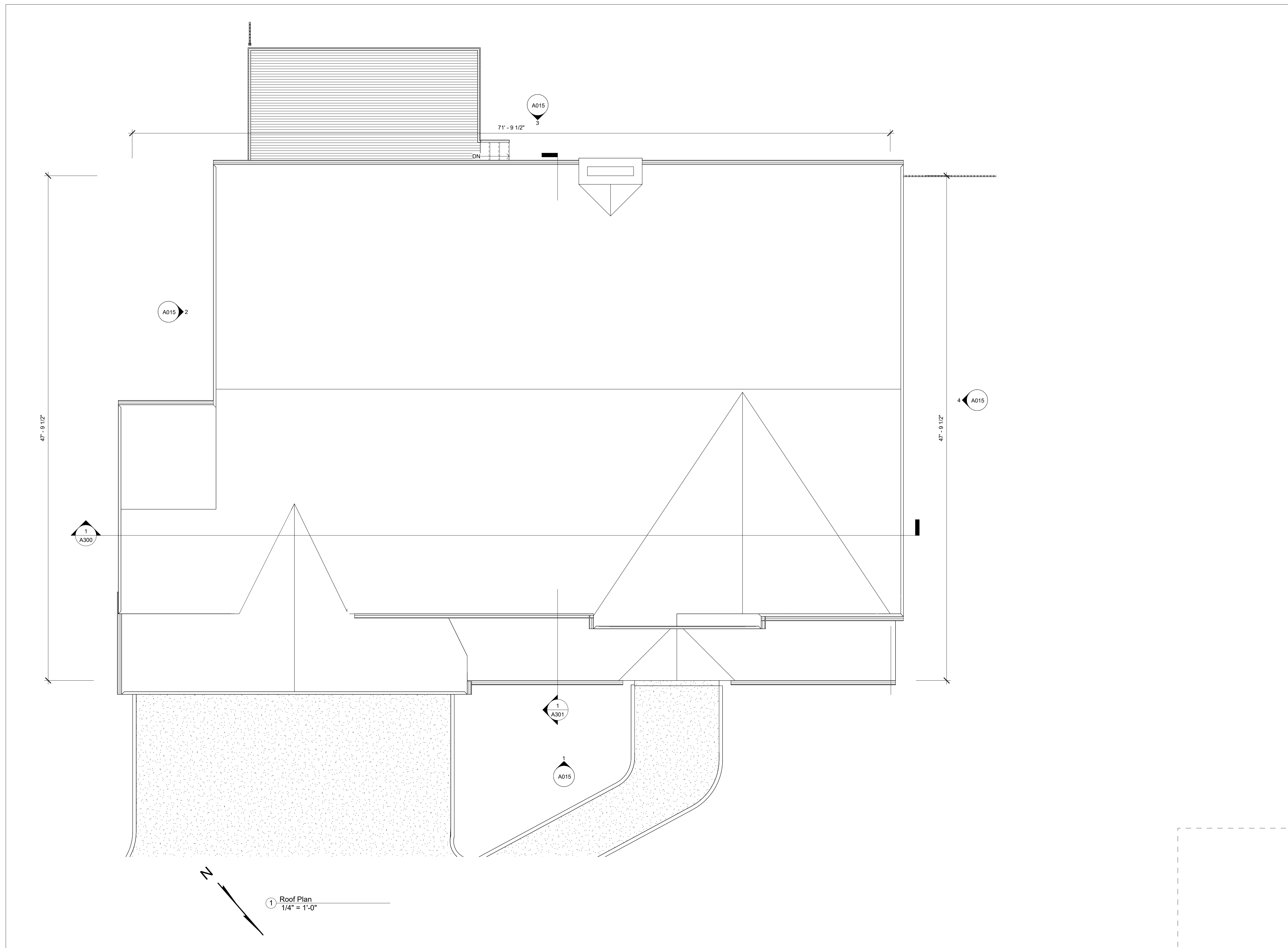
DRAWING TITLE

ROOF PLAN

DRAWING NO.

A104

Drawn By: Author Sheet: of



2/26/2024 7:19:07 AM

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KEY PLAN

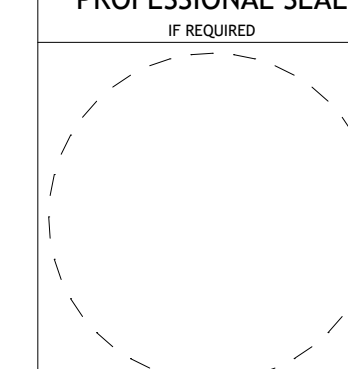
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No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE: PROFESSIONAL SEAL IF REQUIRED



Project Number: Project Number

LOT 4 RESIDENCE

111 ROUND HILL ROAD
 ARMONK, NY

BLOCK: LOT: DRAWING TITLE

ELEVATIONS







DRAWING NO.

A200

Drawn By: Author Sheet: of



MATERIAL LEGEND

-  WOOD SIDING
-  STONE BASE
-  ROOF
-  FASCIA TRIM
-  CORNER BOARD TRIM
-  PEDIMENT SIDING & TRIM

2/26/2024 7:19:09 AM

ZACHARY HARWIN, RA

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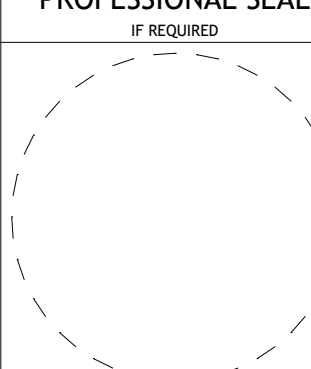
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No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE

PROFESSIONAL SEAL
IF REQUIRED



Project Number Project Number

LOT 4 RESIDENCE

111 ROUND HILL ROAD
ARMONK, NY

BLOCK: LOT:

DRAWING TITLE

ELEVATIONS

DRAWING NO.

A201

Drawn By: Author Sheet: of

2/26/2024 7:19:13 AM



1 SOUTH
1/4" = 1'-0"



2 EAST
1/4" = 1'-0"

MATERIAL LEGEND

	WOOD SIDING
	STONE BASE
	ROOF
	FASCIA TRIM
	CORNER BOARD TRIM
	PEDIMENT SIDING & TRIM

ZACHARY HARWIN, RA

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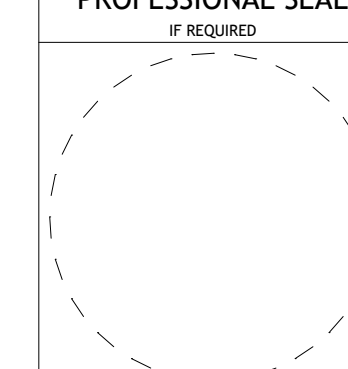
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No.	Description	Date

DEPT OF BUILDINGS NO.
.....

FILING TYPE: **PROFESSIONAL SEAL**
IF REQUIRED



Project Number: _____ Project Number: _____

LOT 4 RESIDENCE

**111 ROUND HILL ROAD
ARMONK, NY**

BLOCK: _____ LOT: _____

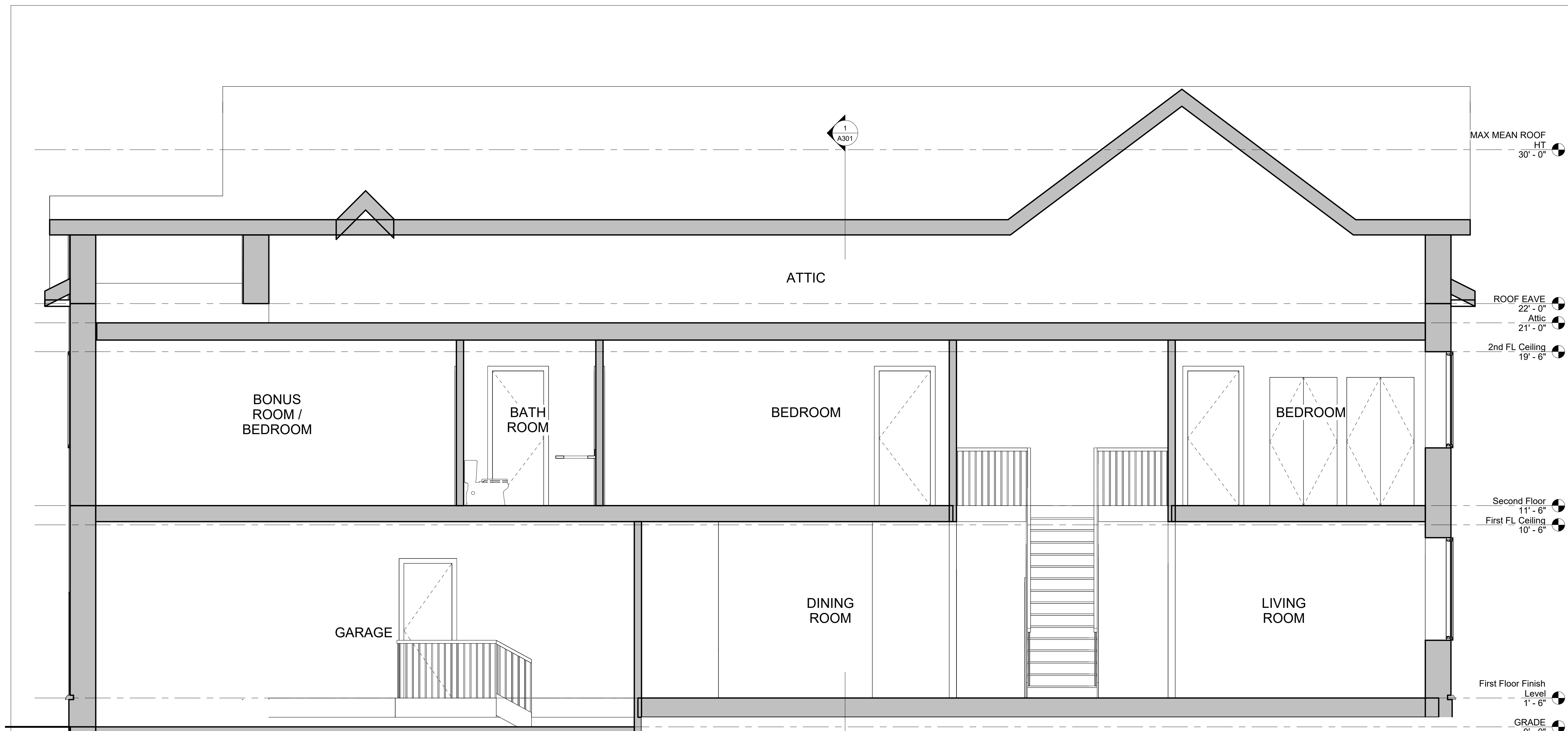
DRAWING TITLE

BUILDING SECTION

DRAWING NO.

A300

Drawn By: Author Sheet: _____ of _____



① HOUSE CROSS SECTION
3/8" = 1'-0"

2/26/2024 7:19:14 AM

ZACHARY HARWIN, RA

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No.	Description	Date

DEPT OF BUILDINGS NO.
--- ---

FILING TYPE: **PROFESSIONAL SEAL**
IF REQUIRED

Project Number Project Number

LOT 4 RESIDENCE

**111 ROUND HILL ROAD
ARMONK, NY**

BLOCK: LOT:

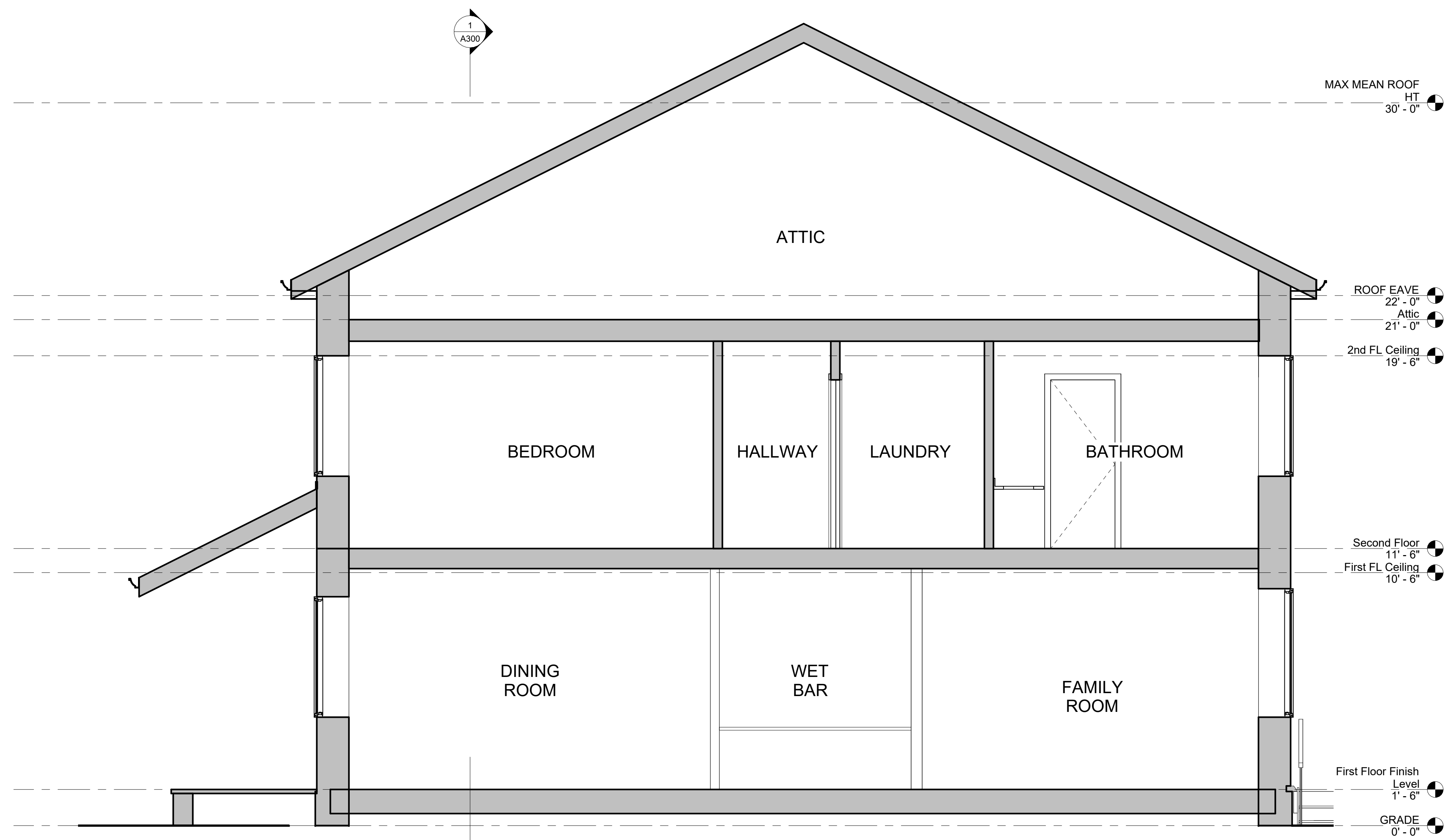
DRAWING TITLE

BUILDING SECTION

DRAWING NO.

A301

Drawn By: Author Sheet: of



① BUILDING CROSS SECTION
3/8" = 1'-0"

2/26/2024 7:19:15 AM



1 FRONT VIEW



2 Bird's Eye View 1



4 REAR VIEW



3 Rear View 2

ZACHARY HARWIN, RA

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No.	Description	Date

DEPT OF BUILDINGS NO.
 --- --- ---

FILING TYPE: **PROFESSIONAL SEAL**
 IF REQUIRED

Project Number: _____ Project Number: _____

LOT 4 RESIDENCE
 111 ROUND HILL ROAD
 ARMONK, NY

BLOCK: _____ LOT: _____
 DRAWING TITLE

EXTERIOR 3D VIEWS

DRAWING NO.
A900

Drawn By: Author Sheet: _____ of _____



① FRONT VIEW RENDER

ZACHARY HARWIN, RA

CONTACT INFO

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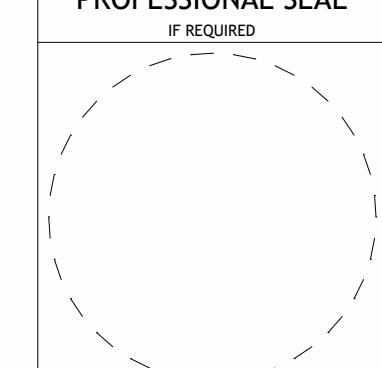
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No.	Description	Date

DEPT OF BUILDINGS NO.
 --- --- ---

FILE TYPE: **PROFESSIONAL SEAL**
 IF REQUIRED



Project Number Project Number

LOT 4 RESIDENCE

111 ROUND HILL ROAD
ARMONK, NY

BLOCK: LOT:

DRAWING TITLE

HOME RENDERING

DRAWING NO.

A901

Drawn By: Author Sheet: of

2/26/2024 7:20:09 AM



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 111 ROUND HILL ROAD - LOT 4 Date: 2024-02-26

Tax Map Designation or Proposed Lot No.: 1-9-13-7

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>163,452 SF</u>
2.	Maximum permitted floor area (per Section 355-26.B(4)):	<u>13,175 SF</u>
3.	Amount of floor area contained within first floor: _____ existing + _____ proposed =	<u>2,213.5 SF</u>
4.	Amount of floor area contained within second floor: _____ existing + _____ proposed =	<u>2,871.4 SF</u>
5.	Amount of floor area contained within garage: _____ existing + _____ proposed =	<u>724.2 SF</u>
6.	Amount of floor area contained within porches capable of being enclosed: _____ existing + _____ proposed =	<u>233.7 SF</u>
7.	Amount of floor area contained within basement (if applicable – see definition): _____ existing + _____ proposed =	<u>0 SF</u>
8.	Amount of floor area contained within attic (if applicable – see definition): _____ existing + _____ proposed =	<u>1,125.9 SF</u>
9.	Amount of floor area contained within all accessory buildings: _____ existing + _____ proposed =	<u>0 SF</u>
10.	Proposed floor area : Total of Lines 3 – 9 =	<u>7,168.7 SF</u>

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

Date



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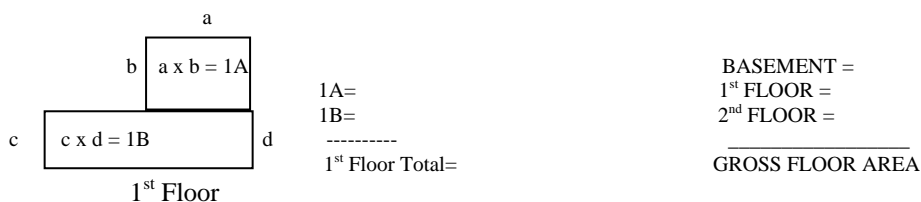
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GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below (or schematic illustration with areas calculated with CAD).



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 340, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

LOT 4 RESIDENCE

ROOF PEAK LENGTHS

	FEET	INCHES	HEIGHT	
GARAGE ROOF	7	9 1 / 2	7.79167 FT	7.6%
MAIN ROOF HIGH PEAK	64	10 1 / 4	64.8542 FT	63.0%
MAIN ROOF HIGH PEAK 2	21	3 1 / 4	21.2708 FT	20.7%
MAIN ROOF LOW PEAK	9	0 0 / 0	9 FT	8.7%
 TOTAL LENGTH			 102.917 FT	 100.0%

MEAN LEVEL ROOF HEIGHTS

	FEET	INCHES	HEIGHT				
GARAGE ROOF	19	3 1 / 2	19.2917 FT	X	7.6%	=	1.46054 FT
MAIN ROOF HIGH PEAK	27	6 3 / 4	27.5625 FT	X	63.0%	=	17.3688 FT
MAIN ROOF HIGH PEAK 2	27	6 3 / 4	27.5625 FT	X	20.7%	=	5.69662 FT
MAIN ROOF LOW PEAK	24	8 3 / 4	24.7292 FT	X	8.7%	=	2.16255 FT

AVERAGE MEAN ROOF HEIGHT	26.6886 FT
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