

February 26, 2024

Sent Via Email

Christopher Carthy, Chairman
North Castle Planning Board
17 Bedford Road
Armonk, NY 10504

**Re: *111 Round Hill Realty LLC
Application for Subdivision, Site Plan,
Accessory Apartment Special Permit,
and Tree Removal Permit
10 and 20 Round Hill Way (109.01-1-49.4 and 49.5)***

Honorable Chair and Members of the Board:

I. INTRODUCTION

This firm, in collaboration with Lennon Architects, and Insite Engineering, Surveying & Landscape Architecture, P.C., represents 111 Round Hill Realty LLC (“Owner” or “Applicant”), owner of the property located at 10 and 20 Round Hill Way (“Property”). The Applicant is proposing to: (i) relocate the lot line between 10 Round Hill Way and 20 Round Hill Way; (ii) construct a single-family home on 10 Round Hill Way; and (iii) construct a single-family home, barn with accessory apartment and attached greenhouse, swimming pool, and tennis court on 20 Round Hill Way.

In order to achieve the foregoing, the Applicant requires subdivision approval for the lot line realignment, site plan/tree removal permit approvals for the proposed site improvements, and special permit approval for an accessory structure in excess of 800s.f. and the accessory apartment¹. The purpose of this letter is to transmit these applications and to request placement on your February 26th agenda for an initial presentation and, if your Board deems appropriate, referral to the Zoning Board of Appeals and the scheduling of the required public hearing.

II. DESCRIPTION OF SITE AND ZONING:

The Property is located at 10 and 20 Round Hill Way and is identified on the Tax Assessment map of the Town of North Castle as parcels 109.01-1-49.4 (“Lot 4”) and 109.01-1-49.5

¹ Note that the Applicant will also require approval from the ZBA with respect to the size of the accessory structure, having an accessory apartment in an accessory structure, and relief from the required waiting period to have an accessory apartment.

“Lot 5”). The Property is located in the R-2A single family residence district and is approximately 20.7 acres². Both lots are currently vacant, unimproved land.

III. SITE HISTORY

The Property was created as part of the Rolling Hills Subdivision, which was approved by the Planning Board in 2006. The Rolling Hills Subdivision Pat was recorded with the Westchester County Clerk as Map # 27849 on December 15, 2006. It should be mentioned that note 2 on Map 27849 provides that “[f]urther subdivision of Lots 1 through 5 is to be prohibited by deed restriction.” To that end, a Declaration of Covenants, Restrictions, and Easements was recorded with the Westchester County Clerk on February 28, 2007 in Control No. 470380020. The Declaration contains a “Prohibition Against Re-subdivision (Lots 3, 4, and 5)” that provides

Notwithstanding the fact that Lots 3, 4, and 5 presently or may continue in the future to each have a lot area of more than twice the minimum lot size permitted in the zoning district in which said Lots are located, Lots 3, 4, and 5 shall not be further subdivided or resubdivided so as to create any new building lots. *The foregoing shall not preclude a lot line adjustment or change or a subdivision or resubdivision the object of which is not to create a new building lot.* (emphasis added)

Accordingly, while there is a deed restriction which prohibits further subdivision or resubdivision, the Applicant’s proposal to realign the lot lines between Lot 4 and Lot 5 is clearly permitted so long as no new building lot is created.

In addition to the declaration discussed above, approximately 9.6 acres of the Property are burdened by a Conservation Easement. As shown on the enclosed plans, no work is being proposed in the Conservation Easement area.

IV. CURRENT PROPOSAL

As noted above, the Applicant is proposing to (i) relocate the lot line between Lot 4 and Lot 5; (ii) construct a single-family home on Lot 4; and (iii) construct a single-family home, barn with accessory apartment and greenhouse, swimming pool, and tennis court on Lot 5.

Lot Line Realignment: Currently, Lot 4 is 10.011 acres and Lot 5 is 10.673 acres. The Applicant is proposing to relocate the lot lines so that Lot 4 will end up being approximately 4.7 acres and Lot 5 will be approximately 16.0 acres. As shown on the Zoning Conformance Table enclosed herewith, both lots will remain fully compliant with the R-2A zoning district standards.

Lot 4 Development: The Owner is proposing an approximately 7,169 s.f., 5-bedroom home, swimming pool, and associated site improvements. Access to Lot 4 will be provided via a shared driveway with Lot 5 directly from Round Hill Road.

² Currently, Lot 4 is approximately 10.011 acres and Lot 5 is approximately 10.673 acres.

Lot 5 Development: The Owner is proposing to develop Lot 5 with an approximately 11,277 s.f., 5-bedroom house with pool and tennis court. Additionally, a 2,779 s.f. accessory structure, which contains: (i) a 1,344 s.f. first floor barn; (ii) a 1,302 s.f., 2-bedroom accessory apartment above, a 132 s.f. covered porch, and a 216 s.f. attached greenhouse.

In support of this application, the following plans and documents are submitted herewith:

1. Site Development Plan Application and Checklist;
2. Special Use Permit Application and Checklist;
3. Preliminary Subdivision Approval Application and Checklist;
4. Gross Land Coverage Calculations Worksheet;
5. Gross Floor Area Calculations Worksheet;
6. Tree Removal Permit Application;
7. Site Plan Drawing Set, 12 sheets, dated February 12, 2024;
8. Lot 4 Residence Architectural Drawing Set, 14 Sheets;
9. Lot 5 Residence Architectural Drawing Set, 12 Sheets; and
10. Lot 5 Barn with Accessory Apartment Architectural Drawing Set, 11 Sheets.

V. CONSIDERATION FOR SPECIAL PERMIT APPROVAL

A. Necessity for Special Permit Approval: As set forth above, the Property is located in the R-2A zoning district. Pursuant to § 355-21 – Attachment 1, permitted accessory uses in the R-2A district include:

1. Private Barn/Greenhouse³: “Private gardenhouses, toolhouses, greenhouses, gatehouses, *garages* or similar private accessory uses *not over 1 story and 15 feet in height and limited to 800 square feet in area, except that the Planning Board may, by special permit, authorize the construction of accessory buildings not over 2 stories or 22 feet in height*, provided that any such individual accessory building does not exceed 25% of the floor area of the main building, and further provided that all such accessory buildings meet all required setbacks for main buildings in the district in which they are located and are not located within any front yard. (emphasis added)

In this case, the proposed Barn/Greenhouse will be in excess of 800 s.f. and 1 story, accordingly a special permit from your Board is required. The proposed residence on the Property is approximately 11,277s.f., therefore, the proposed approximately 2,779s.f. barn/greenhouse is roughly 24.6% of the floor area of the main building, which complies with maximum permitted by the zoning code. Additionally, the proposed barn meets all required setbacks and is not located within the front yard.

³ The Applicant is also proposing to include a 1-bedroom accessory apartment on the second floor of the barn/greenhouse, which is discussed separately in section V(A)(2) of this letter.

2. Accessory Apartment: “Accessory apartments, in single-family residence districts, subject to the requirements of § 355-40(K).”

Pursuant to § 355-40(K)(1),

“[i]t is the specific purpose and intent in allowing accessory apartments in single-family residence districts to provide opportunity and encouragement for the development of small rental housing units designed to meet the special housing needs of persons of low- and moderate-income especially the young and old, and of relatives of families living in North Castle. It is also the purpose and intent of this subsection to allow the more efficient use of the Town’s existing housing stock of dwellings and accessory buildings, to provide economic support for present families of limited income and thereby promote the protection and preservation of property values. Further, it is the purpose and intent of these regulations to assure the maintenance of the single-family character and property values of neighborhoods through resident-owner occupancy of lots and dwelling where an accessor apartment might be located. To help achieve these goals and to promote other objectives of this subsection, the following specific standards are set forth for such accessory apartment uses.”

Despite the fact that the Applicant will need variances from the ZBA: (i) so that the accessory apartment can be located in an accessory building and (ii) so that the accessory apartment be permitted prior to the required 4 year waiting period, it is respectfully submitted that this special permit application for an accessory apartment meets the specific purpose and intent of these regulations by utilizing a portion of the proposed accessory building as a small housing unit. The Owner does not intend to rent the accessory apartment. Instead, it’s intended use to provide temporary housing for family and friends when they come to visit or to provide housing for a caretaker in the future.

B. North Castle Specific Conditions and Standards Applicable to Accessory Apartments: As provided for in § 355-40(K)(1), there are certain specific standards that must be met prior to the granting of a special permit for an accessory apartment. Those standards are contained in §355-40(K)(3)-(11) and are listed below, followed by an explanation of how each is met.

1. *Occupancy. The owner of the lot on which the accessory apartment is located shall occupy either of the dwelling units on the premises. Owner occupancy of one of the dwelling units shall continue for the duration of the special permit.*

Upon completion of the single-family home and issuance of a Certificate of Occupancy, the Owner will occupy the single-family residence on the Property and will continue living there for the duration of the special permit.

2. *Accessory apartments are only permitted in any of the single-family residence districts. Accessory apartments may be located in a principal residence or accessory building,*

provided that such building existed prior to October 11, 1984, and conforms to the other requirements of this chapter, unless a variance therefor shall have been granted by the Zoning Board of Appeals.

In this case, the Property is located in the R-2A single-family residence district and the accessory apartment is being proposed in an accessory building. Because the accessory building that is being proposed as part of this application was not in existence prior to 1984 a variance will be required from the ZBA in order to locate an accessory apartment in the accessory building.

3. *No accessory apartment shall be permitted until four years after the issuance of a certificate of occupancy for the principal dwelling, and no accessory apartment shall be permitted in a structure until at least two years after the current owner has acquired title to the property, whichever comes later.*

As provided above, the Property is currently vacant land, so no certificates of occupancy have been issued. Further, the Owner took title to the Property in August of 2023. Therefore, the required two years of ownership has not yet been met.

Notwithstanding the foregoing, it is respectfully submitted that the proposed accessory apartment meets the stated intent and goals of § 355-40(K)(1) in that it will provide a small housing unit for relatives and could be used as a small rental unit in the future. Further, there is no negative impact associated with allowing the Owner to utilize an accessory apartment on the Property prior to meeting these seemingly arbitrary time limits. Accordingly, it is requested that the Planning Board refer this application to the ZBA for the required variance from these time limits.

4. *There shall be no more than one accessory apartment per lot.*

There will only be one accessory apartment on the Property.

5. *No accessory apartment shall be permitted in any dwelling unit utilized as a boarding house previously established under the provisions of Chapter 355.*

The accessory structure will be brand new and, accordingly, was never utilized as a boarding house.

6. *No accessory apartment shall be permitted on any lot currently utilized as an office of a professional person or home occupation, as defined in § 355-4 and regulated in § 355-21.*

The Property is not currently utilized as an office of a professional person or home occupation.

7. *Any principal or accessory building in which an accessory apartment is proposed shall meet all applicable setback requirements and other standards for the district in which it is located.*

Both the principal and accessory building in which the accessory apartment is proposed meet all applicable setback requirements and most other standards for the R-2A district.

8. *Off-street parking for accessory apartments in residence districts shall be provided in accordance with the requirements of Article IX. Where practicable, the Planning Board shall require that off-street parking for accessory apartments be located in the side or rear yard of the lot and in no case less than 20 feet from the front property line.*

Pursuant to Article IX, accessory apartments require 1 parking space per bedroom or 2 per dwelling unit. In this case two parking spaces are provided. The parking for the accessory apartment is located in the side yard and is not less than 20 feet from the property line.

9. *If an accessory apartment is located in a principal dwelling, the entry to the unit and its design shall be such that the appearance of the dwelling shall remain as a single-family residence.*

In this case, the accessory apartment is not located in the principal dwelling unit.

10. *The minimum size of an accessory apartment within a principal dwelling shall be 300 square feet. Where the gross floor area of the dwelling is less than or equal to 2,000 square feet, the accessory apartment shall in no case exceed 33% of such area. Where the gross floor area of the dwelling is greater than 2,000 square feet, the permitted maximum size of the accessory apartment may be increased by 25% of the gross floor area in excess of 2,000 square feet. In cases of accessory apartments established prior to October 11, 1984, upon recommendation of the Building Inspector, the Planning Board may, at its option, increase these percentages to no more than 35% and 27%, respectively. The minimum size of an accessory apartment located in an accessory building shall be at least 300 gross square feet. There shall be no more than two bedrooms per accessory apartment. (Emphasis added)*

In this case, the accessory apartment is located in an accessory building and is approximately 1,300 square feet, thereby meeting and exceeding the minimum required size of 300 square feet. Additionally, there is only 1 bedroom in the accessory apartment.

- C. North Castle General Conditions and Standards:** Article VII of the Zoning Code of the Town of North Castle establishes the general procedures for Planning Board review of an application for special use permits. Specifically, § 355-37 requires that before granting a special use permit, six “conditions and standards” must be met. Additionally, § 355-38 permits the Planning Board to “attach such conditions and safeguards to any proposed use

and development plan as are, in [the Board's] opinion, necessary to ensure initial and continual conformance to all applicable standards and requirements." The six "conditions and standards" are set forth below, followed by an explanation of how each standard is met.

1. *The location and size of the use, the nature and intensity of the operations involved in it or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to the streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located and that it complies with all special requirements for such uses established in [Chapter 355 of the North Castle Zoning Code].*

The accessory structure, including the accessory apartment, that is proposed in connection with the single-family home will be located on the northern portion of the Property. The building will be fully compliant with all required setbacks. Additionally, the proposed location for the accessory building is located at an elevation of 234.5 and is approximately 200 feet from the nearest single-family home. The 20 foot +/- existing hill separating the structures, existing mature trees between the accessory structure and neighboring properties and the proposed additional plantings provides appropriate screening. Moreover, the addition of an approximately 2,779s.f. barn/greenhouse with accessory apartment on a property that is over 15 acres, with the vast majority of the site being maintained in its present wooded state precisely how the Property was anticipated to be developed and will be in harmony with the appropriate and orderly development of the R-2A district.

2. *The location, nature and height of buildings, walls, fences and the nature and extent of existing or proposed plantings on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.*

The Property is approximately 15 acres and heavily wooded. The location of the accessory structure with accessory apartment, coupled with the existing trees, topography, and proposed plantings, will provide adequate screening from adjoining properties. It is respectfully submitted that the location, nature and height of the existing structures will not hinder or discourage the appropriate development and use of adjacent land and buildings. The properties located to the north, east, and west are already improved with single-family homes. Further, the property to the south (Lot 4) is owned by the Applicant and is similarly proposed to be developed with a single-family home.

3. *Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would be the operations of any permitted uses not requiring a special permit.*

The accessory building and apartment will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would the operations of any permitted uses not requiring a special permit.

- 4. Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum convenience and safety.*

The parking area proposed for the accessory building and apartment is of adequate size, is properly located, and is suitably screened from adjoining residential uses. Further, the entrance and exit drive is convenient and safe.

- 5. Where required, the provisions of Chapter 177 [of the North Castle Code], Flood Damage Prevention.*

The Town Flood Hazard Ordinance is not applicable to the Applicant's proposal, as no changes are proposed to the site.

- 6. The [Planning] Board finds that the proposed special permit use will not have a significant adverse effect on the environment.*

It is respectfully submitted that the approval of an accessory apartment located in an accessory structure will not have an adverse effect on the environment.

VI. CONCLUSION

Enclosed herewith please find the subdivision, site plan, and special permit application forms and Short Environmental Assessment Form respectively, together with the application fee of \$1,025.00.

Kindly place this matter on the Planning Board's Marh 11, 2024 agenda for an initial presentation and, if your Board deems appropriate, referral to the ZBA for the required variances and the scheduling of the required public hearing.

Please don't hesitate to contact me if you have questions.

Very truly yours,

Kory Salomone



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Application for Site Development Plan Approval

Application Name

10 & 20 Round Hill Way Site Plan



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastlenv.com

PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

jill hoberman
jill hoberman (Feb 26, 2024 10:33 EST)

Applicant Signature

Date:

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: 111 Round Hill Realty LLC

Mailing Address: 1325 Harbor Road, Hewlett, NY 11557

Telephone: 212-463-0900 Fax: _____ e-mail blueeyes0401@aol.com

Name of Applicant (if different): _____

Address of Applicant: _____

Telephone: _____ Fax: _____ e-mail _____

Interest of Applicant, if other than Property Owner:

Is the Applicant (if different from the property owner) a Contract Vendee?

Yes

No

If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan: Richard D. Williams, Jr. P.E. (Insite Engineering)

Address: _____

Telephone: _____ Fax: _____ e-mail RWilliams@insite-eng.com

Name of Other Professional: _____

Address: _____

Telephone: _____ Fax: _____ e-mail _____

Name of Attorney (if any): Kory Salomone, Esq., Zarin & Steinmetz LLP

Address: 81 Main Street, Suite 415, White Plains, NY 10601

Telephone: 914-220-9804 Fax: _____ e-mail ksalomone@zarin-steinmetz.com

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: *jill hoberman* Date: _____
jill hoberman (Feb 26, 2024 10:33 EST)

Signature of Property Owner: *jill hoberman* Date: _____
jill hoberman (Feb 26, 2024 10:33 EST)

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 10 & 20 Round Hill Way

Location (in relation to nearest intersecting street):

 feet (north, south, east or west) of

Abutting Street(s):

Tax Map Designation (NEW): Section 109.01 Block 1 Lot 49.4 & 49.5

Tax Map Designation (OLD): Section 1 Block 09 Lot 13.-7 & 13.-8

Zoning District: R2A Total Land Area 20.7 acres

Land Area in North Castle Only (if different)

Fire District(s) #3 School District(s) Byram Hills

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?
No X Yes (adjacent) Yes (within 500 feet)
If yes, please identify name(s):

The boundary of any existing or proposed County or State park or any other recreation area?
No X Yes (adjacent) Yes (within 500 feet)

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?
No X Yes (adjacent) Yes (within 500 feet)

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?
No X Yes (adjacent) Yes (within 500 feet)

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?
No X Yes (adjacent) Yes (within 500 feet)

The boundary of a farm operation located in an agricultural district?
No X Yes (adjacent) Yes (within 500 feet)

Does the Property Owner or Applicant have an interest in any abutting property?
No X Yes

If yes, please identify the tax map designation of that property:

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: Single Family Residence

Gross Floor Area: Existing _____ S.F. Proposed 21,225+- S.F.

Proposed Floor Area Breakdown:

Retail 0 S.F.; Office 0 S.F.;

Industrial 0 S.F.; Institutional 0 S.F.;

Other Nonresidential 0 S.F.; Residential 21,225+- S.F.;

Number of Dwelling Units: _____

Number of Parking Spaces: Existing 0 Required 6 Proposed 6

Number of Loading Spaces: Existing 0 Required 0 Proposed 0

Earthwork Balance: Cut 18,000+- C.Y. Fill 18,000+- C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No x Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No _____ Yes X

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No x Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No x Yes _____

(If yes, application for a State Wetlands Permit may also be required.)







site_devel_2022

Final Audit Report

2024-02-26

Created:	2024-02-12
By:	Tracy Russo (trusso@zarin-steinmetz.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAuWNqAHtSHfS9dIHrDn0yWpGdTtuExaZw

"site_devel_2022" History

-  Document created by Tracy Russo (trusso@zarin-steinmetz.com)
2024-02-12 - 12:41:49 PM GMT - IP address: 69.126.206.207
-  Document emailed to blueeyes0401@aol.com for signature
2024-02-12 - 12:42:16 PM GMT
-  Email viewed by blueeyes0401@aol.com
2024-02-26 - 3:19:33 PM GMT - IP address: 209.73.183.24
-  Signer blueeyes0401@aol.com entered name at signing as jill hoberman
2024-02-26 - 3:33:22 PM GMT - IP address: 108.46.209.150
-  Document e-signed by jill hoberman (blueeyes0401@aol.com)
Signature Date: 2024-02-26 - 3:33:24 PM GMT - Time Source: server- IP address: 108.46.209.150
-  Agreement completed.
2024-02-26 - 3:33:24 PM GMT



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Application for Special Use Permit Approval

Application Name

10 Round Hill Way - Accessory Apartment



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

jill hoberman

jill hoberman (Feb 26, 2024 10:34 EST)

Applicant Signature

Date:

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: 111 Round Hill Realty LLC
Mailing Address: 1325 Harbor Road, Hewlett, NY 11557
Telephone: 212-463-0900 Fax: _____ e-mail blueeyes0401@aol.com

Name of Applicant (if different): _____
Address of Applicant: _____
Telephone: _____ Fax: _____ e-mail _____
Interest of Applicant, if other than Property Owner:

Is the Applicant (if different from the property owner) a Contract Vendee?
Yes No
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan: Richard D. Williams, Jr. P.E. (Insite Engineering)
Address: _____
Telephone: 845-225-9690 x118 Fax: _____ e-mail RWilliams@insite-eng.com

Name of Other Professional: Kory Salomone, Esq., Zarin & Steinmetz LLP
Address: 81 Main Street, Suite 415, White Plains, NY 10601
Telephone: 914-220-9804 Fax: _____ e-mail ksalomone@zarin-steinmetz.com

Name of Attorney (if any): _____
Address: _____
Telephone: _____ Fax: _____ e-mail _____

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses of publication and the giving of public notice as required, and further acknowledges that he/she shall be responsible for reimbursing the Town for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the expenses of publication and the giving of public notice as well as professional consultant review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: *jill hoberman* Date: _____
jill hoberman (Feb 26, 2024 10:34 EST)

Signature of Property Owner: *jill hoberman* Date: _____
jill hoberman (Feb 26, 2024 10:34 EST)

MUST HAVE BOTH SIGNATURES

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Type of Special Use Permit:

Accessory Apartment X

Accessory Structure over 800 square feet _____

Gross Floor Area: Existing 0 S.F. Proposed 1,302* S.F. ***Not Counting Barn**

Number of Parking Spaces: Existing 0 Proposed 6

Earthwork Balance: Cut 18,000+- C.Y. Fill 118,000+- C.Y. 0+- **C.Y. Export ±**

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No _____ Yes X

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No X Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The special use permit application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) PDF set of the special use permit application package in a single PDF file.
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SPECIAL USE PERMIT SITE PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the special use permit plan for the Planning Board to review his/her proposal. Applicants are advised to review Chapter 355 Article VII of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for special use permit approval.

The application for special use permit approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**.

The information to be included on a site development plan shall include:

Legal Data:

- _____ Name of the application or other identifying title.
- _____ Name and address of the Property Owner and the Applicant, (if different).
- _____ Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- _____ Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- _____ Existing zoning, fire, school, special district and municipal boundaries.
- _____ Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- _____ Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- _____ Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- _____ Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- _____ North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- _____ A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- _____ Location use and design of existing buildings, identifying first floor elevation, and other structures.
- _____ Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- _____ Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- _____ Location, type, direction, power and time of use of existing outdoor lighting.
- _____ Existing topographical contours with a vertical interval of two (2) feet or less.
- _____ Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- _____ Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- _____ Proposed location, use and architectural design of all buildings, including proposed floor plans and elevations.
- _____ Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- _____ Proposed sight distance at all points of vehicular access.
- _____ Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- _____ Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- _____ Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- _____ Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- _____ Location, type, direction, power and time of use of proposed outdoor lighting.

- _____ Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- _____ The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- _____ Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- _____ Proposed soil erosion and sedimentation control measures.
- _____ For all proposed plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- _____ For all proposed plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- _____ For all proposed plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

The special use permit application package shall also include a narrative document that demonstrates compliance with the following:

- _____ The location and size of the use, the nature and intensity of the operations involved in it or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located and that it complies with all special requirements for such use.
- _____ The location, nature and height of buildings, walls, fences and the nature and extent of existing or proposed plantings on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.
- _____ Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would be the operations of any permitted uses not requiring a special permit.
- _____ Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum convenience and safety.
- _____ Where required, The provisions of the Town Flood Hazard Ordinance shall be met.
- _____ The proposed special permit use will not have a significant adverse effect on the environment.







special_use_2022(1)

Final Audit Report

2024-02-26

Created:	2024-02-12
By:	Tracy Russo (trusso@zarin-steinmetz.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAACgn0vRaZgww2fCXevNIMNoPIdNdRcwaL

"special_use_2022(1)" History

-  Document created by Tracy Russo (trusso@zarin-steinmetz.com)
2024-02-12 - 12:39:41 PM GMT- IP address: 69.126.206.207
-  Document emailed to blueeyes0401@aol.com for signature
2024-02-12 - 12:40:18 PM GMT
-  Email viewed by blueeyes0401@aol.com
2024-02-26 - 3:19:27 PM GMT- IP address: 209.73.183.24
-  Signer blueeyes0401@aol.com entered name at signing as jill hoberman
2024-02-26 - 3:34:30 PM GMT- IP address: 108.46.209.150
-  Document e-signed by jill hoberman (blueeyes0401@aol.com)
Signature Date: 2024-02-26 - 3:34:32 PM GMT - Time Source: server- IP address: 108.46.209.150
-  Agreement completed.
2024-02-26 - 3:34:32 PM GMT

Short Environmental Assessment Form

Part 1 - Project Information

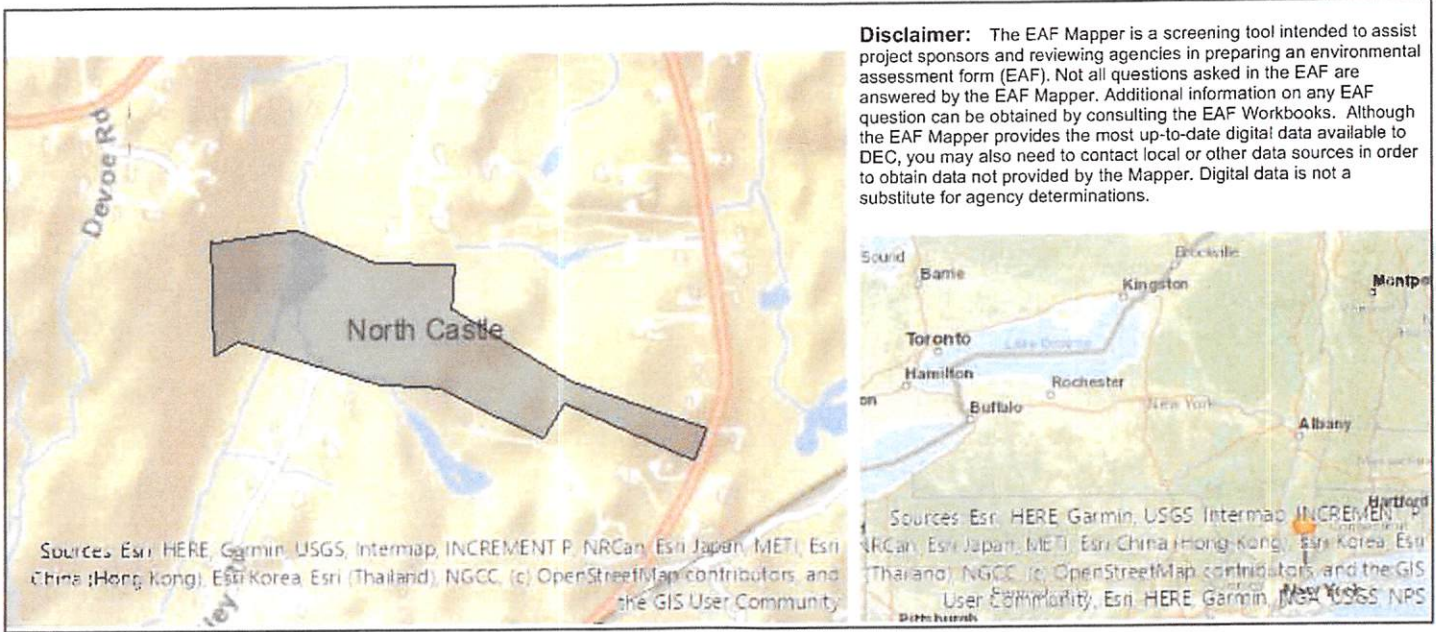
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

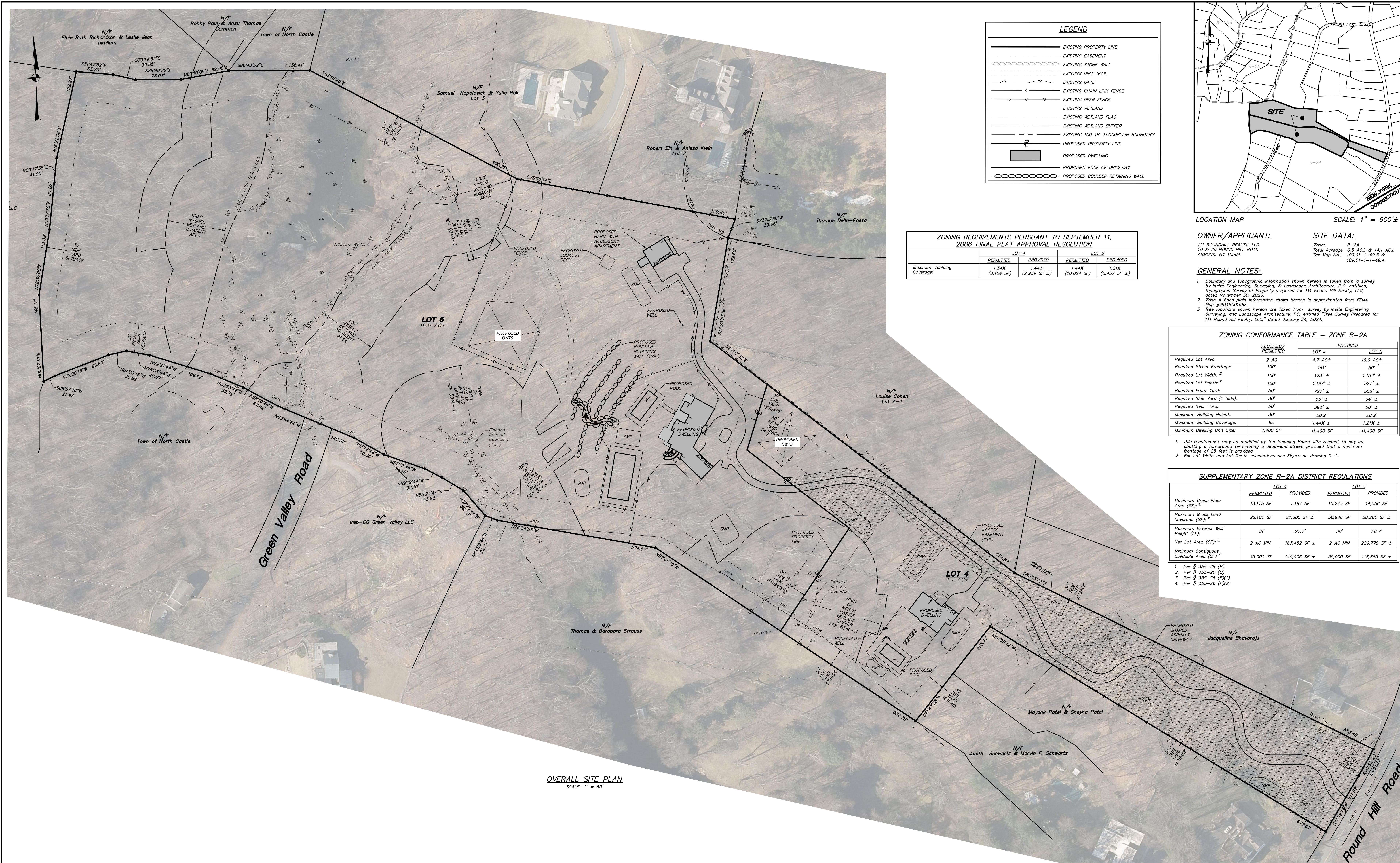
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
10 and 20 Round Hill Way Development			
Project Location (describe, and attach a location map):			
10 and 20 Round Hill Way			
Brief Description of Proposed Action:			
The Applicant is proposing to relocate the common lot line between 10 Round Hill Way and 20 Round Hill Way. The lot line realignment will not result in the creation of an additional lot. Both existing lots will remain zoning compliant. In addition, the Applicant is seeking site plan approval to develop 10 Round Hill Way with a single-family home, barn with accessory apartment and associated improvements. 20 Round Hill Way will be improved by a single-family home. Finally, in order to have an accessory apartment over the barn, the Applicant will be seeking a special permit.			
Name of Applicant or Sponsor:		Telephone: 212-463-0900	
111 Round Hill Realty LLC (C/O Robert Hoberman)		E-Mail: robert@hobermanlesser.com	
Address:			
1325 Harbor Rd			
City/PO:		State:	Zip Code:
Hewlett		NY	11557
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval: Area Variance, ZBA; Westchester County Dept of Health; NYSDEC SPDES GP 0-20-001 coverage			YES
3. a. Total acreage of the site of the proposed action? _____ 20.7 acres			
b. Total acreage to be physically disturbed? _____ 5.9 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 20.7 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Name:Mianus River, Reason:Exceptional or unique character, Agency:Westchester County, Date:1-31-90 If Yes, identify: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ New wells are proposed for both properties.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ New septic systems are proposed for both properties.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	



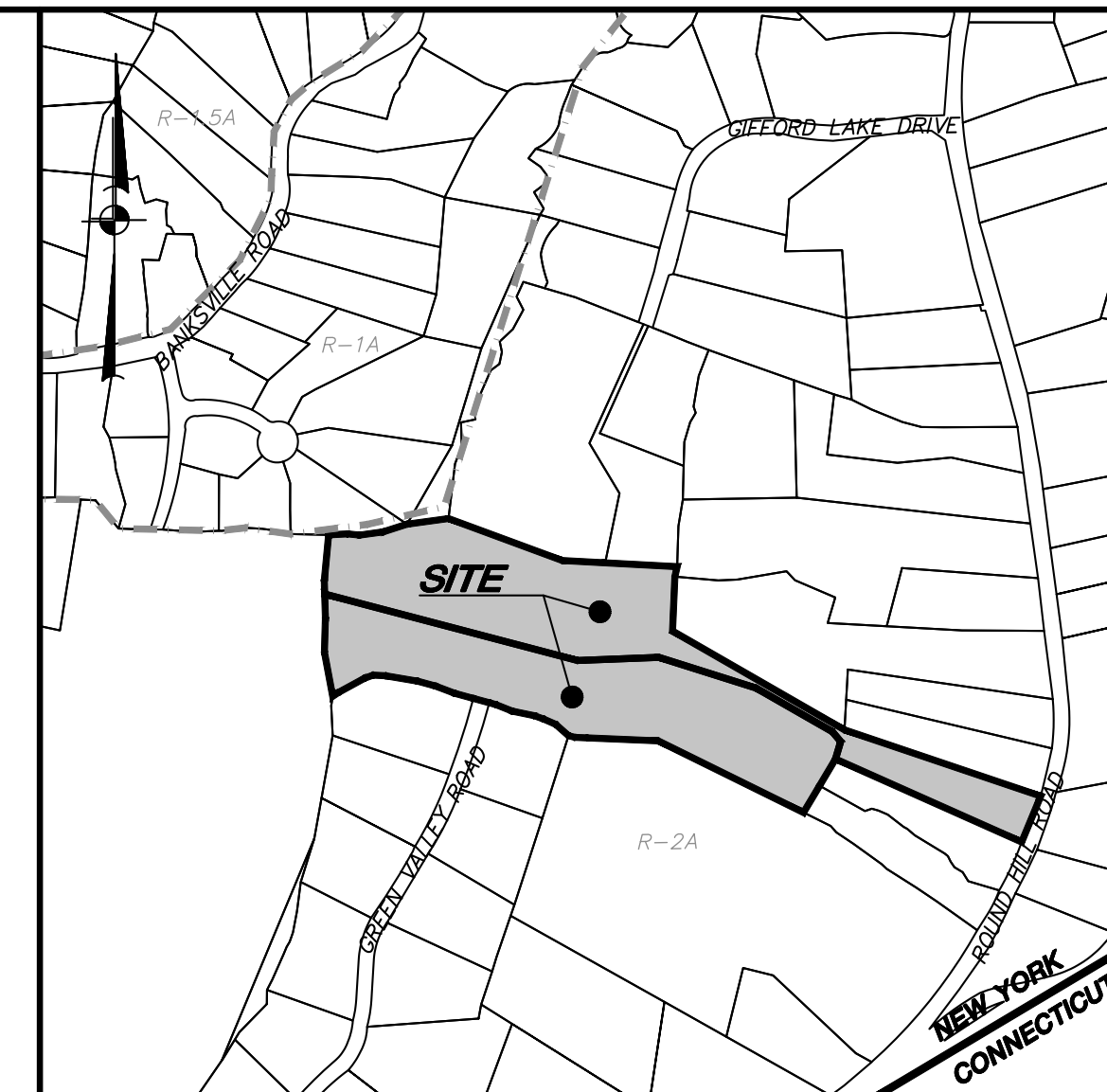
Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Mianus River, Reason:Exceptional or unique character, Agency:Westchester County, Date:1-31-90
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No



OVERALL SITE PLAN
SCALE: 1" = 60'

LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT
- EXISTING STONE WALL
- - - EXISTING DIRT TRAIL
- - - EXISTING GATE
- - - EXISTING CHAIN LINK FENCE
- - - EXISTING DEER FENCE
- - - EXISTING WETLAND
- - - EXISTING WETLAND FLAG
- - - EXISTING WETLAND BUFFER
- - - EXISTING 100 YR. FLOODPLAIN BOUNDARY
- - - PROPOSED PROPERTY LINE
- PROPOSED DWELLING
- PROPOSED EDGE OF DRIVEWAY
- PROPOSED BOULDER RETAINING WALL



LOCATION MAP SCALE: 1" = 600'

ZONING REQUIREMENTS PURSUANT TO SEPTEMBER 11, 2006 FINAL PLAT APPROVAL RESOLUTION

	LOT 4		LOT 5	
	PERMITTED	PROVIDED	PERMITTED	PROVIDED
Maximum Building Coverage:	1.54%	1.44%	1.44%	1.21%
	(3,154 SF)	(2,959 SF ±)	(10,024 SF)	(8,457 SF ±)

OWNER/APPLICANT:
111 ROUND HILL REALTY, LLC.
10 & 20 ROUND HILL ROAD
ARMOUK, NY 10504

SITE DATA:
Zone: R-2A
Total Acreage: 6.5 AC± & 14.1 AC±
Tax Map No.: 109.01-1-49.5 & 109.01-1-1-49.4

- GENERAL NOTES:**
- Boundary and topographic information shown herein is taken from a survey by Insite Engineering, Surveying, & Landscape Architecture, P.C. entitled, "Topographic Survey of Property prepared for 111 Round Hill Realty, LLC," dated November 30, 2023.
 - Zone A flood plain information shown herein is approximated from FEMA Map #36119C0168.
 - Tree locations shown herein are taken from survey by Insite Engineering, Surveying, and Landscape Architecture, P.C. entitled "Tree Survey Prepared for 111 Round Hill Realty, LLC," dated January 24, 2024.

ZONING CONFORMANCE TABLE - ZONE R-2A

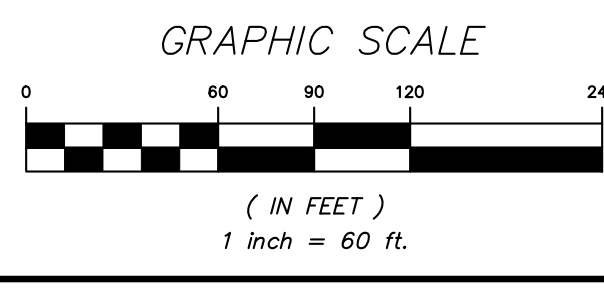
	REQUIRED/ PERMITTED	PROVIDED	
		LOT 4	LOT 5
Required Lot Area:	2 AC	4.7 AC±	16.0 AC±
Required Street Frontage:	150'	161'	50' ±
Required Lot Width: ²	150'	173' ±	1,153' ±
Required Lot Depth: ²	150'	1,197' ±	527' ±
Required Front Yard:	50'	727' ±	558' ±
Required Side Yard (1 Side):	30'	55' ±	64' ±
Required Rear Yard:	50'	393' ±	50' ±
Maximum Building Height:	30'	20.0'	20.0'
Maximum Building Coverage:	8%	1.44% ±	1.21% ±
Minimum Dwelling Unit Size:	1,400 SF	>1,400 SF	>1,400 SF

- This requirement may be modified by the Planning Board with respect to any lot abutting a turnaround terminating a dead-end street, provided that a minimum frontage of 25 feet is provided.
- For Lot Width and Lot Depth calculations see Figure on drawing D-1.

SUPPLEMENTARY ZONE R-2A DISTRICT REGULATIONS

	LOT 4		LOT 5	
	PERMITTED	PROVIDED	PERMITTED	PROVIDED
Maximum Gross Floor Area (SF): ¹	13,175 SF	7,167 SF	15,273 SF	14,056 SF
Maximum Gross Land Coverage (SF): ²	22,100 SF	21,600 SF ±	58,946 SF	28,280 SF ±
Maximum Exterior Wall Height (FT): ³	38'	27.7'	38'	26.7'
Net Lot Area (SF): ⁴	2 AC MIN.	163,452 SF ±	2 AC MIN.	229,779 SF ±
Minimum Contiguous Buildable Area (SF): ³	35,000 SF	145,006 SF ±	35,000 SF	118,885 SF ±

- Per § 355-26 (b)
- Per § 355-26 (c)
- Per § 355-26 (f)(1)
- Per § 355-26 (f)(2)



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT:
10 & 20 ROUND HILL ROAD
ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY

DRAWING:
OVERALL PLAN

PROJECT NUMBER: 22222.100
DATE: 2-26-24
SCALE: 1" = 60'

PROJECT MANAGER: R.D.W.
DRAWN BY: T.S.M.
CHECKED BY: A.D.T.

DRAWING NO.:
OP-1

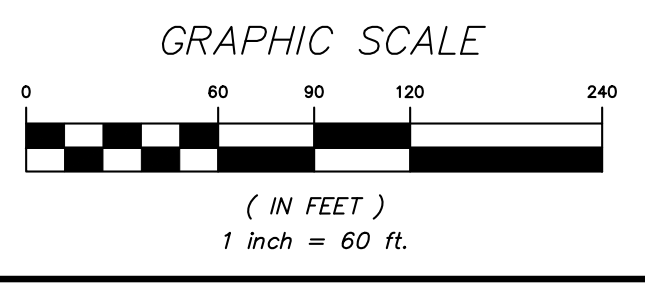
SHEET:
12



LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING DIRT TRAIL
	EXISTING GATE
	EXISTING CHAIN LINK FENCE
	EXISTING DEER FENCE
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING WETLAND BUFFER
	EXISTING 100 YR. FLOODPLAIN BOUNDARY
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	EXISTING TREELINE
	EXISTING INDIVIDUAL TREE
	EXISTING DECIDUOUS TREE (See Tree Legend)
	EXISTING PROPERTY LINE TO BE REMOVED

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.



NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

PROJECT:
10 & 20 ROUND HILL ROAD

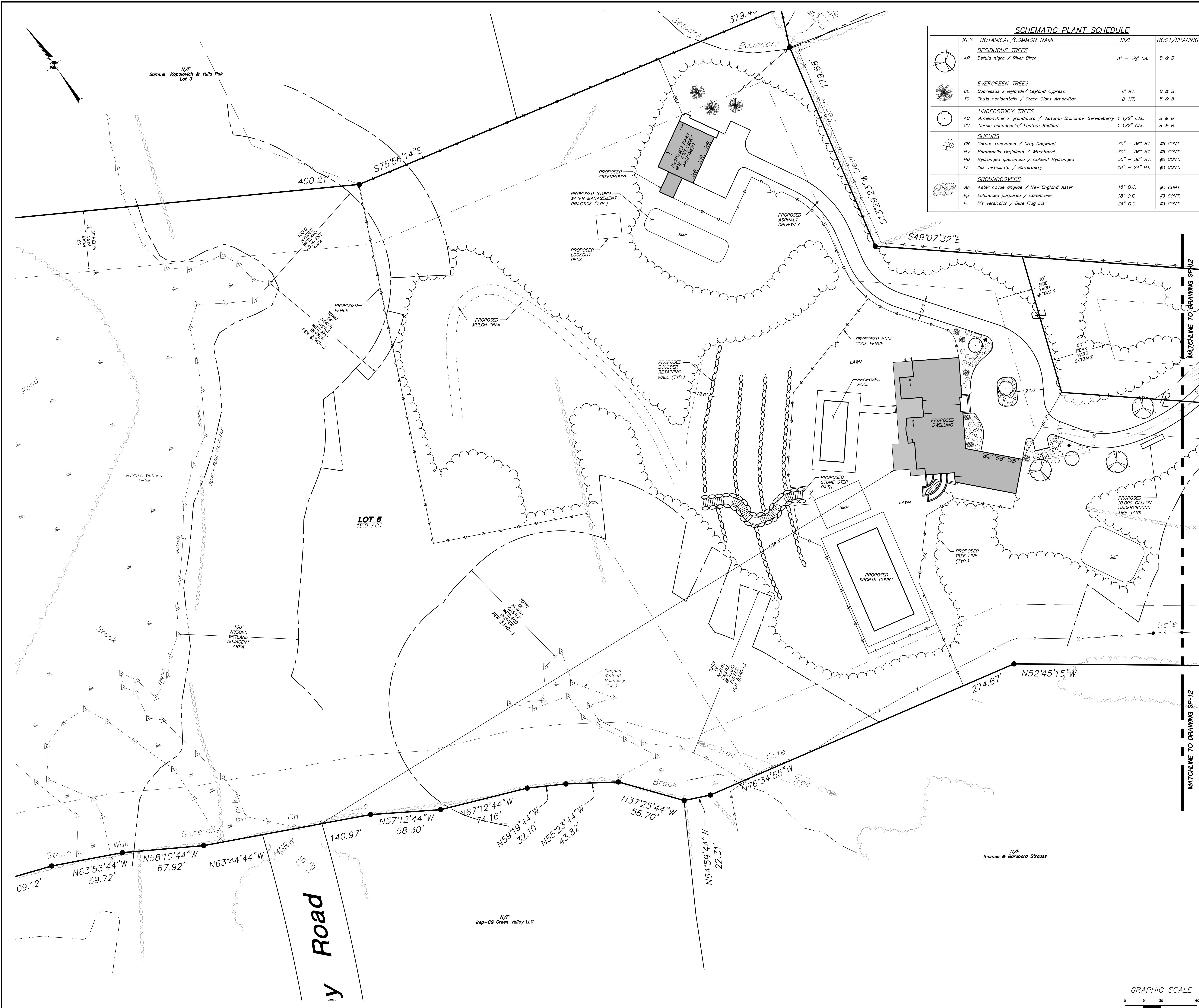
ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY

DRAWING:
**EXISTING CONDITIONS &
REMOVALS PLAN**

PROJECT NUMBER	22222.100	PROJECT MANAGER	R.D.W.	DRAWING NO.	SHEET
DATE	2-26-24	DRAWN BY	T.S.M.	EX-1	2
SCALE	1" = 60'	CHECKED BY	A.D.T.		

3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

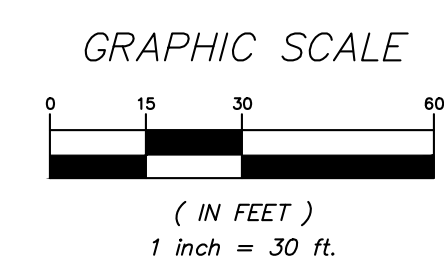
STATE OF NEW YORK
RICHARD B. WILLIAMS
REGISTERED PROFESSIONAL ENGINEER



SCHEMATIC PLANT SCHEDULE			
KEY	BOTANICAL/Common NAME	SIZE	ROOT/SPACING
DECIDUOUS TREES			
AR	Betula nigra / River Birch	3" - 3/2" CAL.	B & B
EVERGREEN TREES			
CL	Cupressus x leylandii / Leyland Cypress	6' HT.	B & B
TG	Thuja occidentalis / Green Giant Arborvitae	8' HT.	B & B
UNDERSTORY TREES			
AC	Amelanchier x grandiflora / 'Autumn Brilliance' Serviceberry	1 1/2" CAL.	B & B
CC	Cercis canadensis / Eastern Redbud	1 1/2" CAL.	B & B
SHRUBS			
CR	Cornus racemosa / Gray Dogwood	30" - 36" HT.	#5 CONT.
HV	Hamamelis virginiana / Witchhazel	30" - 36" HT.	#5 CONT.
HQ	Hydrangea quercifolia / Oakleaf Hydrangea	30" - 36" HT.	#5 CONT.
IV	Ilex verticillata / Winterberry	18" - 24" HT.	#3 CONT.
GROUNDCOVERS			
An	Aster novae angliae / New England Aster	18" O.C.	#3 CONT.
Ep	Echinacea purpurea / Coneflower	18" O.C.	#3 CONT.
Iv	Iris versicolor / Blue Flag Iris	24" O.C.	#3 CONT.

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING DIRT TRAIL
	EXISTING GATE
	EXISTING CHAIN LINK FENCE
	EXISTING DEER FENCE
	EXISTING WETLAND
	EXISTING WETLAND BUFFER
	EXISTING 100 YR. FLOODPLAIN BOUNDARY
	EXISTING TREELINE
	EXISTING INDIVIDUAL TREE (See Tree Legend)
	EXISTING DECIDUOUS TREE
	PROPOSED PROPERTY LINE
	PROPOSED DWELLING
	PROPOSED EDGE OF DRIVEWAY
	PROPOSED BOULDER RETAINING WALL
	PROPOSED POST MOUNTED LIGHT
	PROPOSED DOOR LOCATION
	PROPOSED OVERHEAD DOOR LOCATION
	PROPOSED EDGE OF DRIVEWAY
	PROPOSED LANDSCAPING

NO.	DATE	REVISION	BY
PROJECT: 10 & 20 ROUND HILL ROAD ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY			
DRAWING: LAYOUT & LANDSCAPE PLAN			
PROJECT NUMBER	22222.100	PROJECT MANAGER	R.D.W.
DATE	2-26-24	DRAWN BY	T.S.M.
SCALE	1" = 30'	CHECKED BY	A.D.T.
DRAWING NO.			SHEET
SP-1.1			3
			12



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.



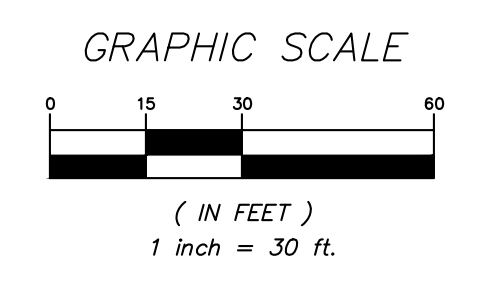
3 Garrett Place
Carmel, NY 12012
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING DIRT TRAIL
	EXISTING GATE
	EXISTING CHAIN LINK FENCE
	EXISTING DEER FENCE
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING 100 YR. FLOODPLAIN BOUNDARY
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED DRAINAGE MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED OUTLET STRUCTURE
	PROPOSED END SECTION
	PROPOSED WELL
	PROPOSED DRAINAGE PIPE
	PROPOSED SEWER FORCE MAIN
	PROPOSED SEWER SERVICE LINE
	PROPOSED DOMESTIC WATER SERVICE LINE
	PITCH TO DRAIN
	PROPOSED CLEAN OUT

MATCHLINE TO DRAWING SP-22

MATCHLINE TO DRAWING SP-22



NO.	DATE	REVISION	BY
PROJECT: 10 & 20 ROUND HILL ROAD ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY			
DRAWING: GRADING & UTILITIES PLAN			
PROJECT NUMBER	22222.100	PROJECT MANAGER	R.D.W.
DATE	2-26-24	DRAWN BY	T.S.M.
SCALE	1" = 30'	CHECKED BY	A.D.T.
DRAWING NO.	SP-2.1		SHEET 5
			12

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

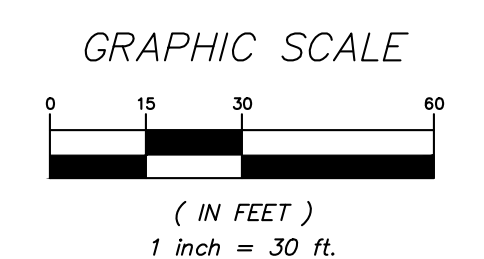


LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING DIRT TRAIL
	EXISTING GATE
	EXISTING CHAIN LINK FENCE
	EXISTING DEER FENCE
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING WETLAND BUFFER
	EXISTING 100 YR. FLOODPLAIN BOUNDARY
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED DRAINAGE MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED OUTLET STRUCTURE
	PROPOSED END SECTION
	PROPOSED WELL
	PROPOSED DRAINAGE PIPE
	PROPOSED SEWER FORCE MAIN
	PROPOSED SEWER SERVICE LINE
	PROPOSED DOMESTIC WATER SERVICE LINE
	PITCH TO DRAIN
	PROPOSED SILT FENCE
	PROPOSED CONSTRUCTION FENCE
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED TEMPORARY SOIL STOCKPILE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED EROSION CONTROL BLANKET
	PROPOSED DRAINAGE STRUCTURE W/ INLET PROTECTION

- EROSION & SEDIMENT CONTROL NOTES:**
- The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
 - All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications for Erosion and Sediment Control," latest edition.
 - Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
 - When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
 - Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
 - All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. Aristocrat Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
 - Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
 - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:
 - Kentucky Bluegrass 20%
 - Creeping Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
 - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
 - Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02 Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.
 - Cut or fill slopes steeper than 3:1 shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.
 - Paved roadways shall be kept clean at all times.
 - The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
 - All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
 - Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
 - Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
 - Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
 - Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
 - All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
 - The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
 - As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
 - Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

MATCHLINE TO DRAWING SP-32

MATCHLINE TO DRAWING SP-32



NO.	DATE	REVISION	BY
PROJECT:		3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com	
PROJECT: 10 & 20 ROUND HILL ROAD			
ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY			
DRAWING:		STATE OF NEW YORK RICHARD B. WILLIAMS Professional Engineer No. 125888	
EROSION & SEDIMENT CONTROL PLAN			
PROJECT NUMBER	22222.100	PROJECT MANAGER	R.D.W.
DATE	2-26-24	DRAWN BY	T.S.M.
SCALE	1" = 30'	CHECKED BY	A.D.T.
DRAWING NO.			SHEET
SP-3.1			7
			12

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

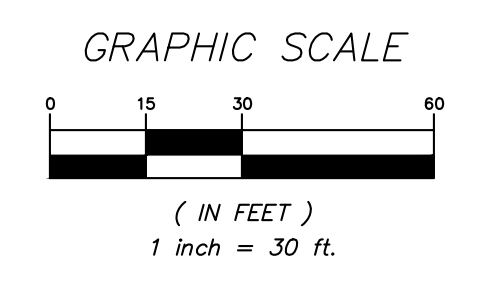


LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING DIRT TRAIL
	EXISTING GATE
	EXISTING CHAIN LINK FENCE
	EXISTING DEER FENCE
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING WETLAND BUFFER
	EXISTING 100 YR. FLOODPLAIN BOUNDARY
	EXISTING TREELINE
	EXISTING INDIVIDUAL TREE (See Tree Legend)
	EXISTING DECIDUOUS TREE
	EXISTING TREE TO BE REMOVED
	PROPOSED LIMITS OF DISTURBANCE

MATCHLINE TO DRAWING SP-32

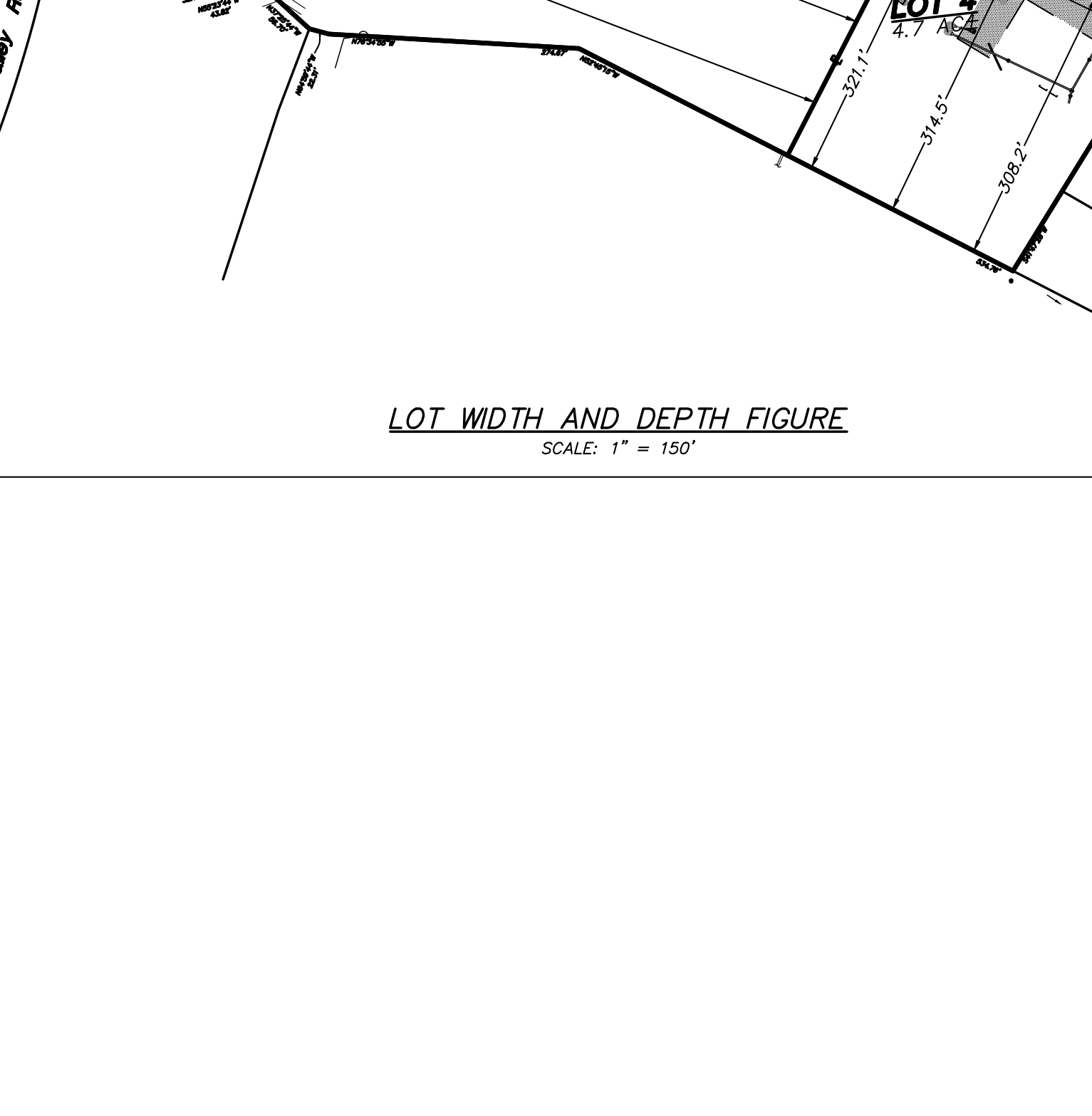
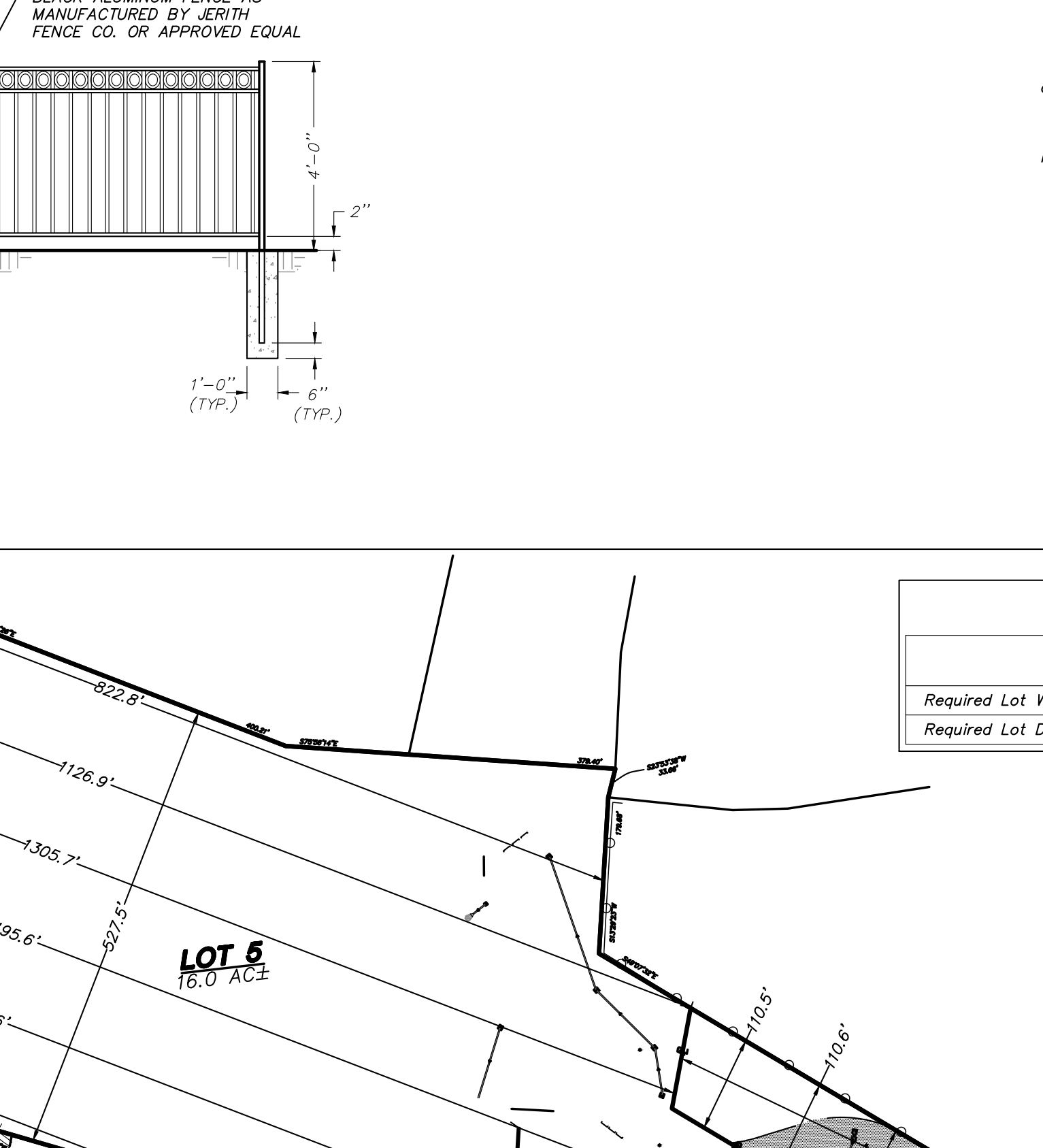
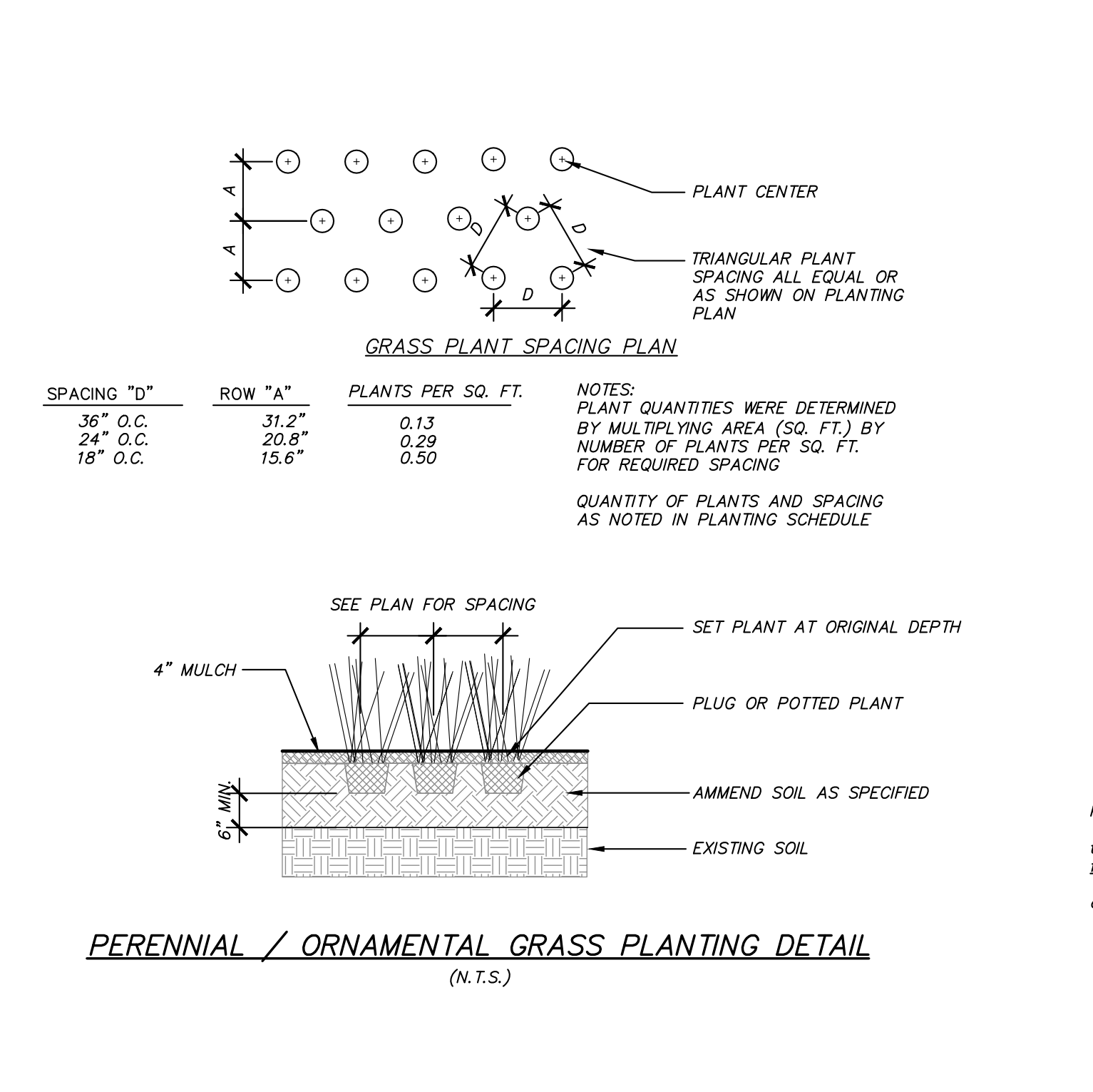
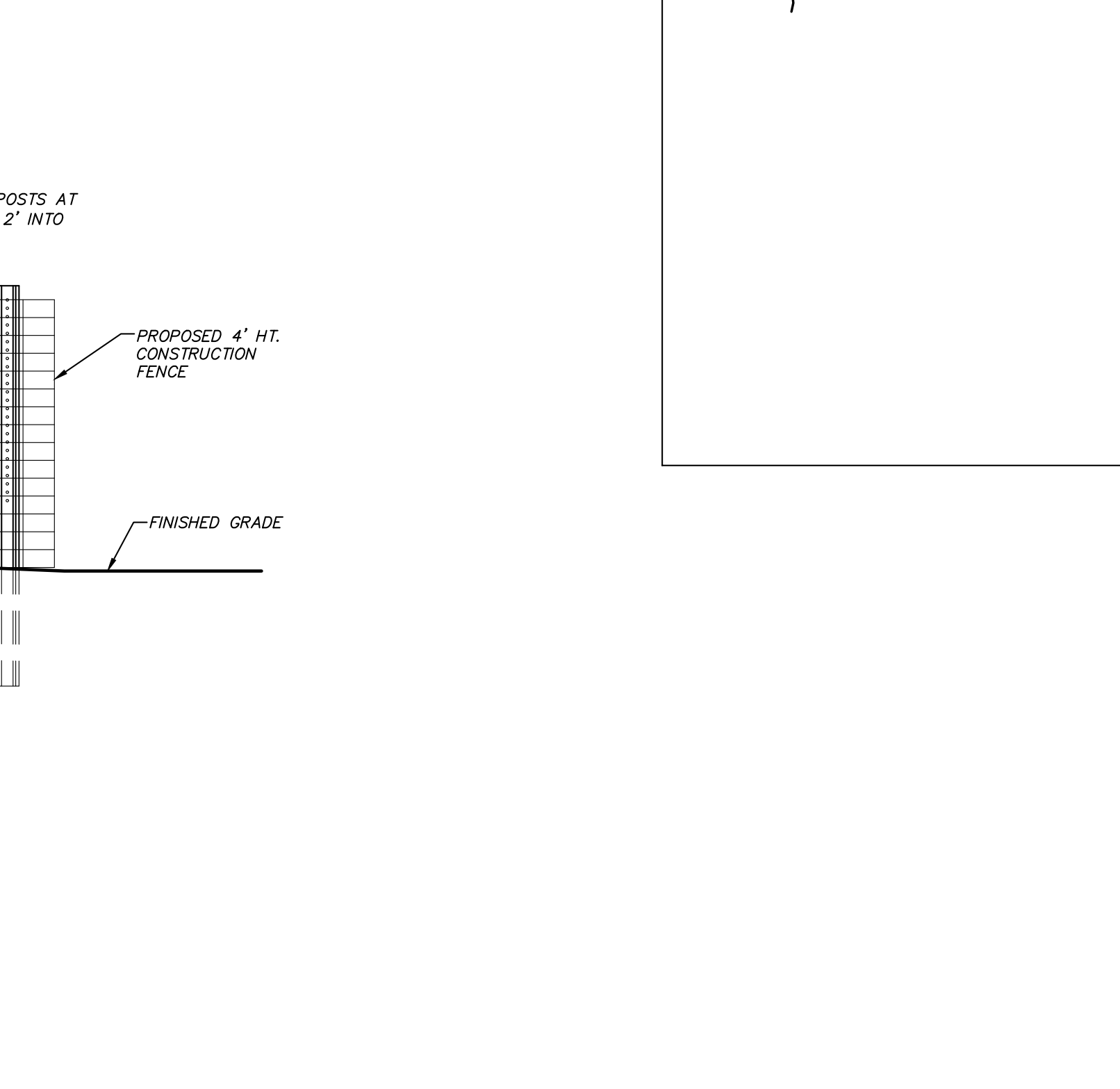
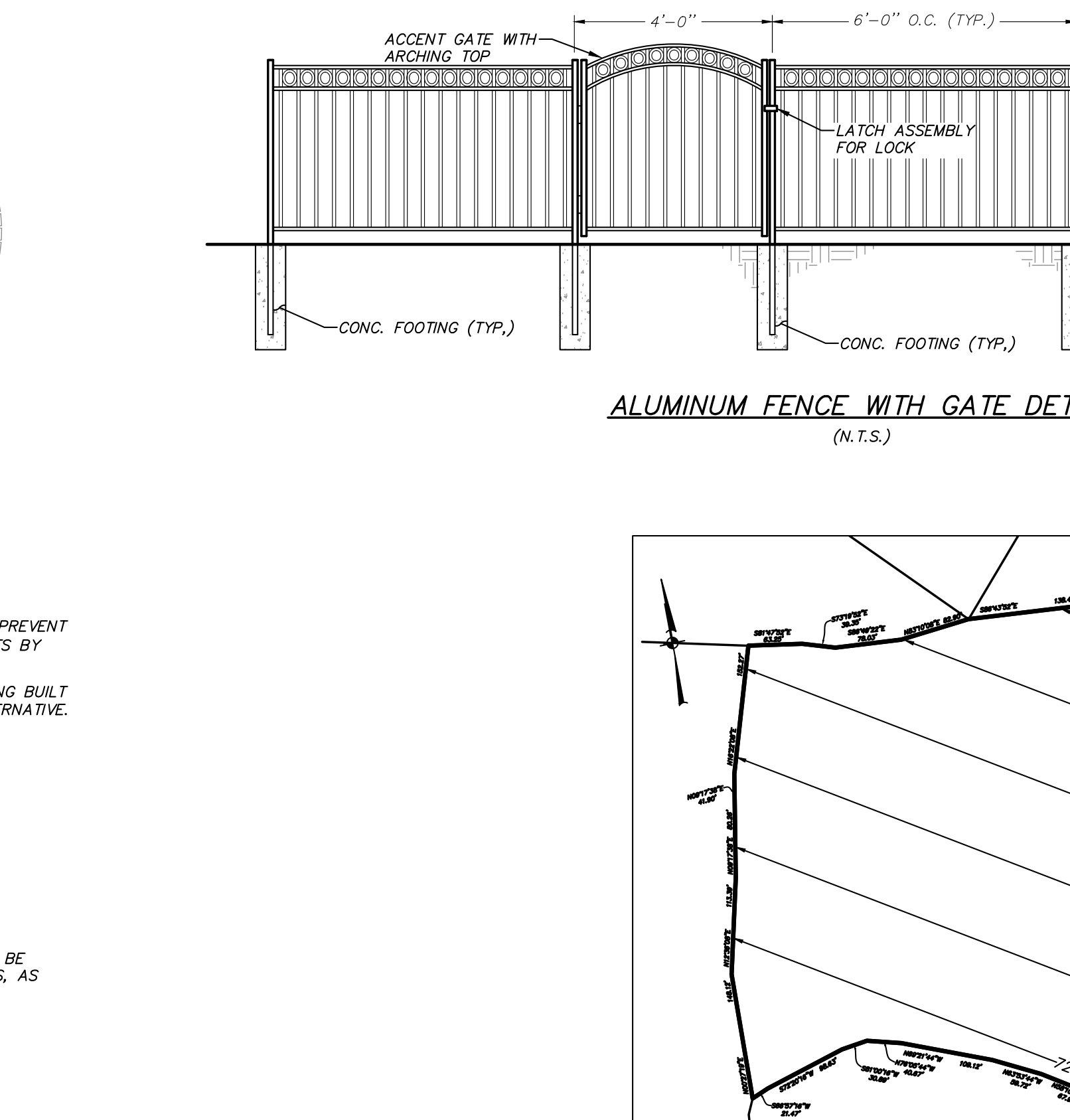
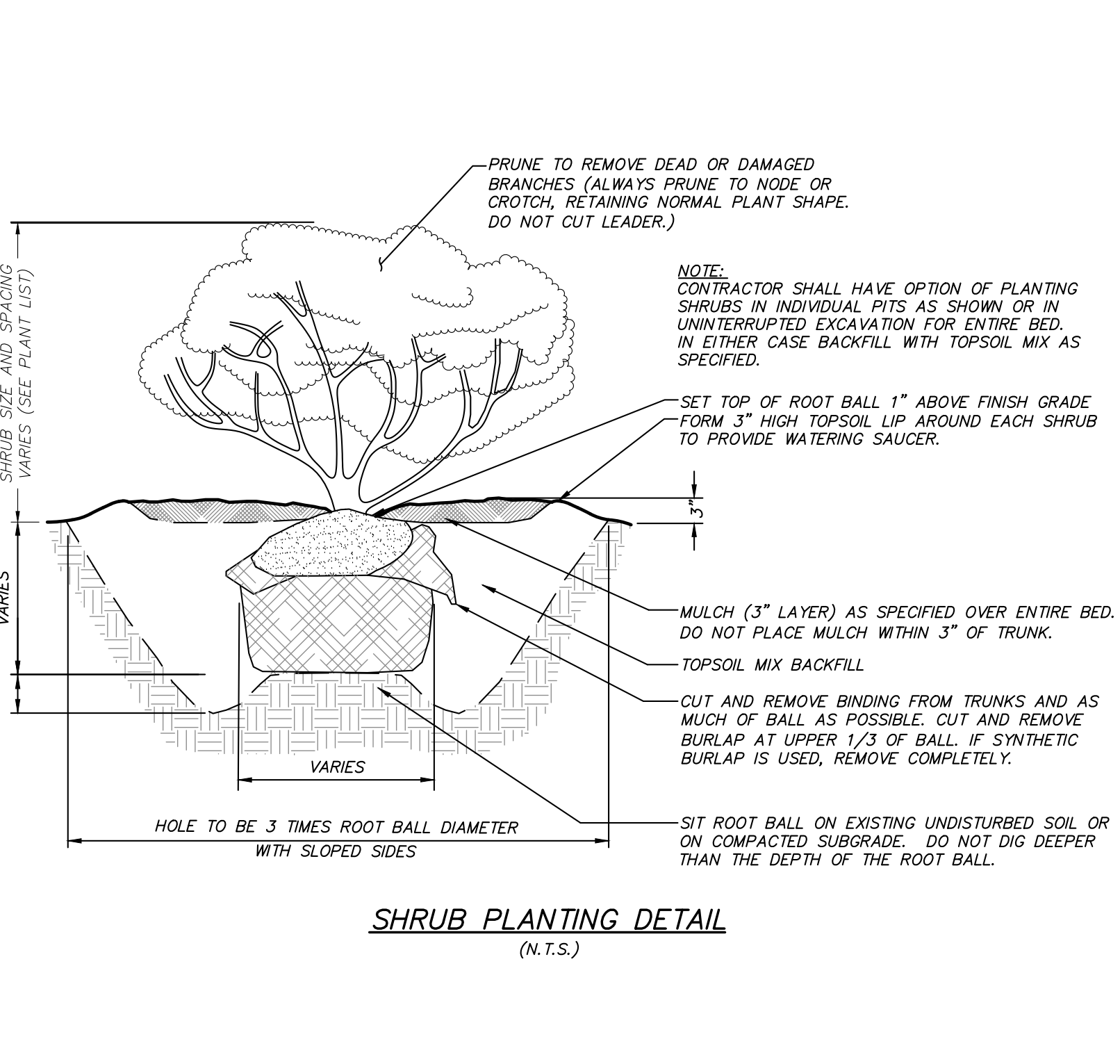
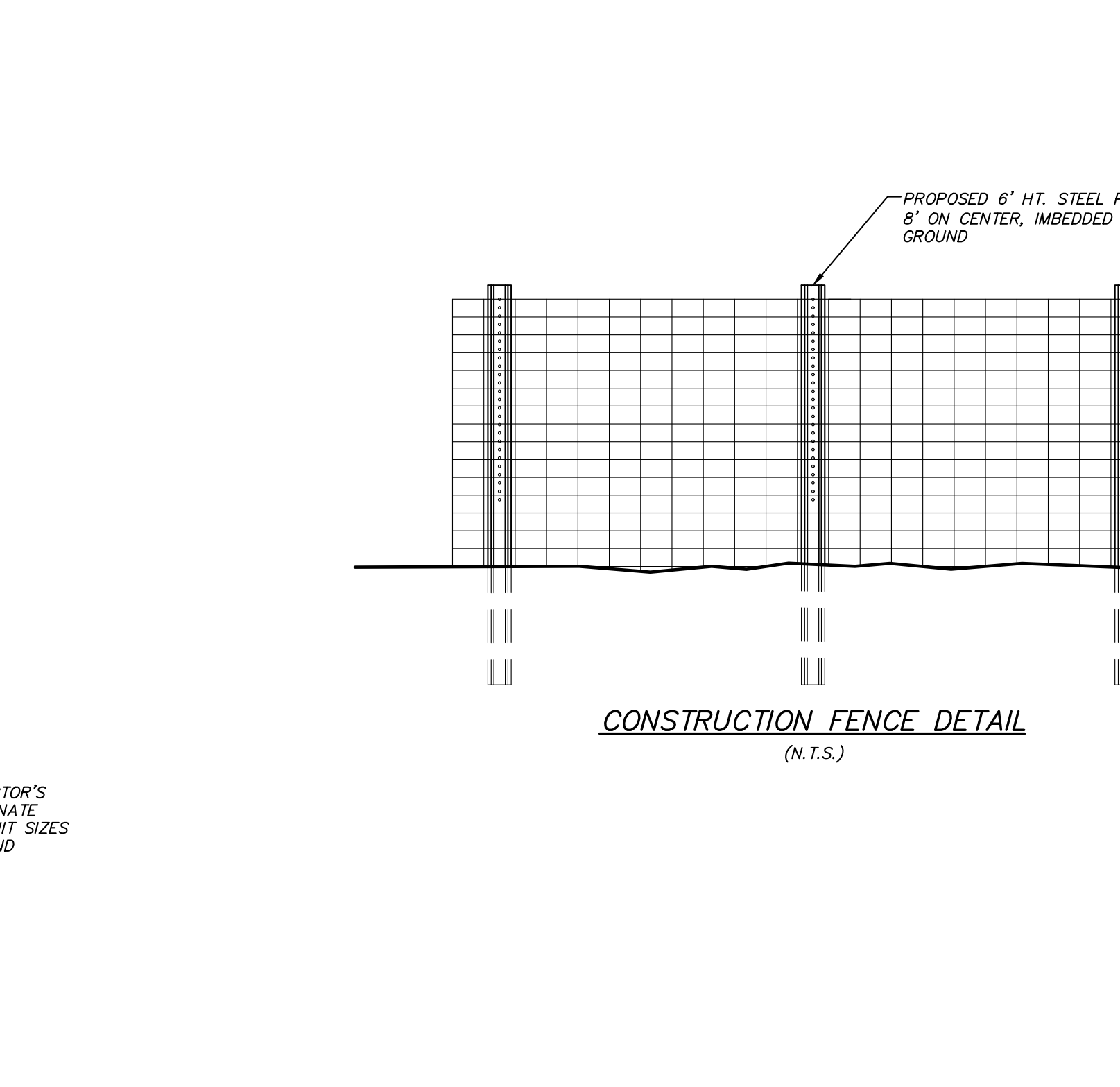
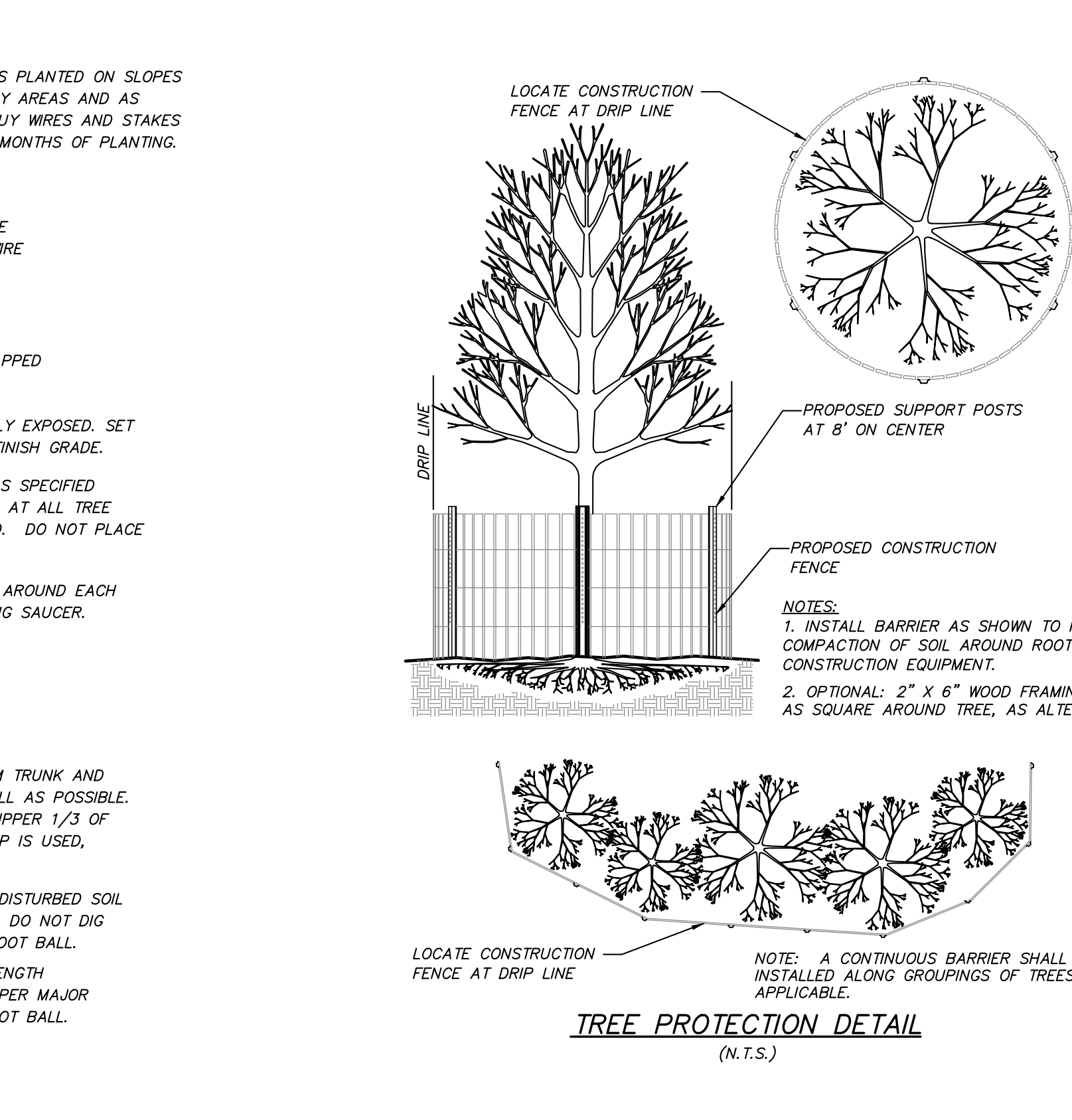
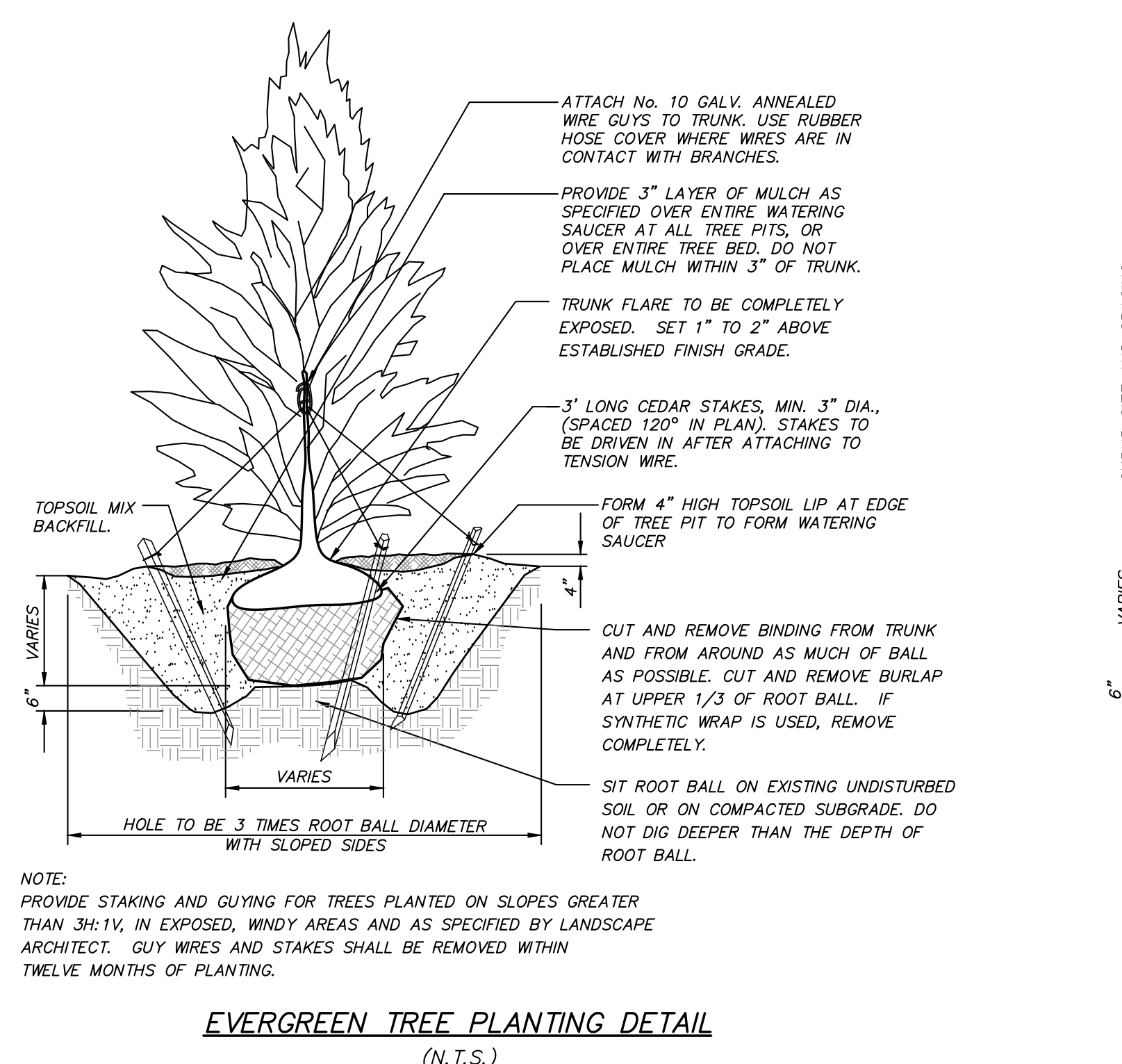
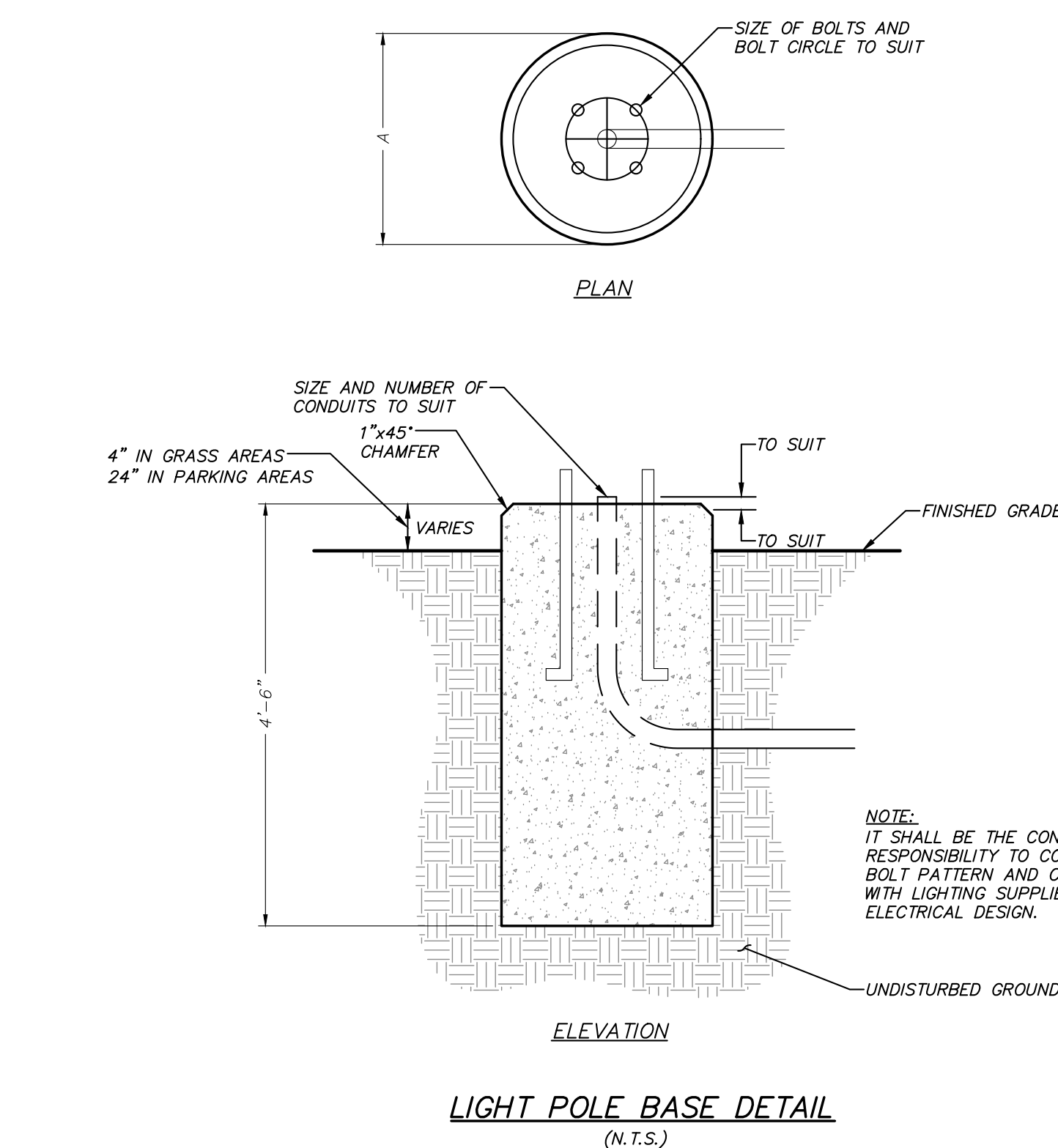
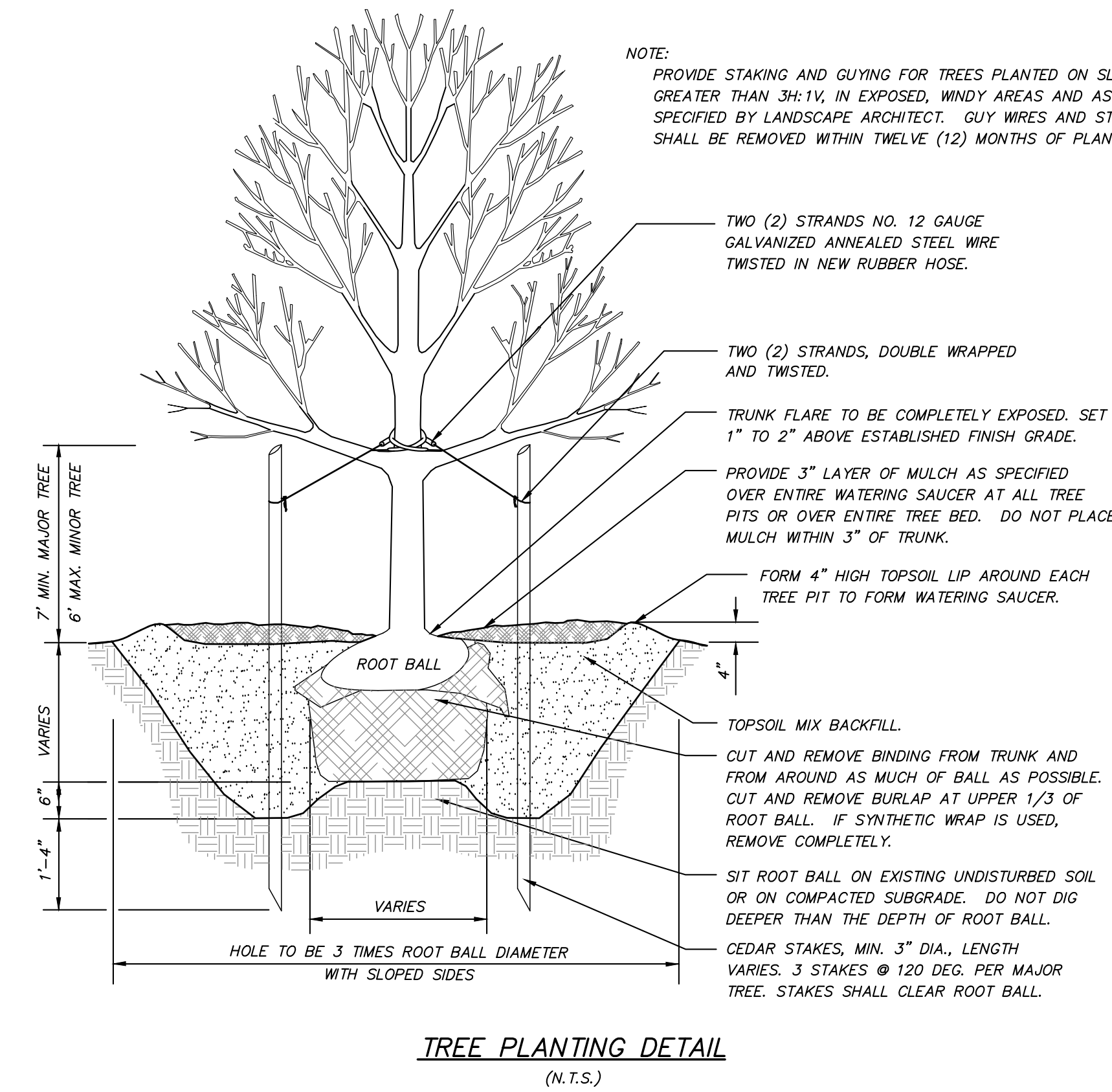
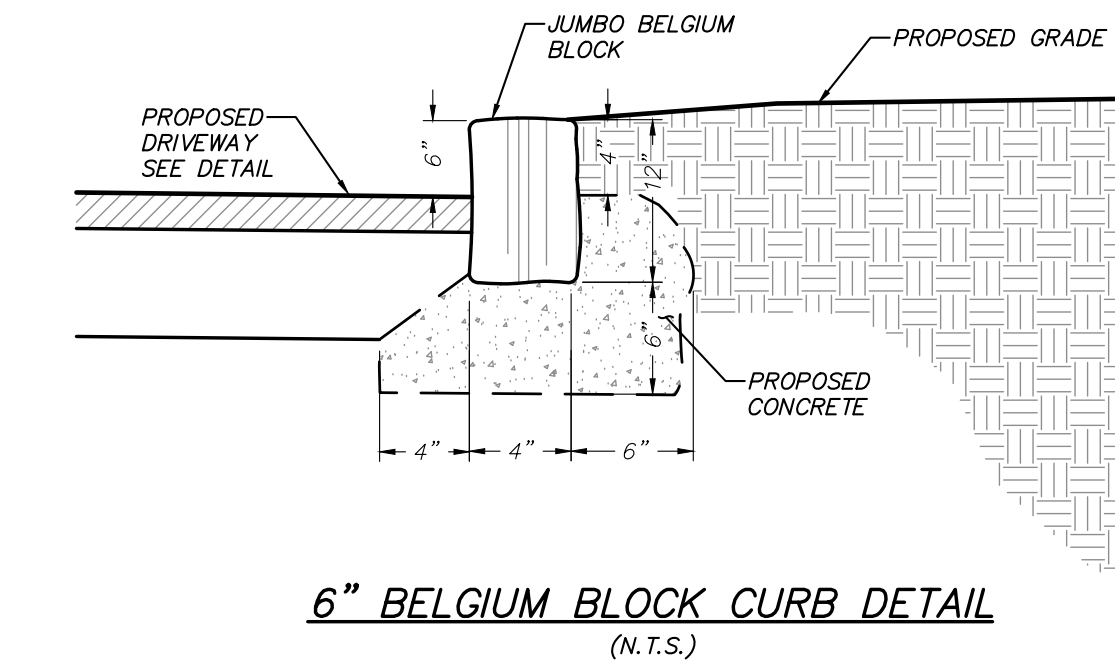
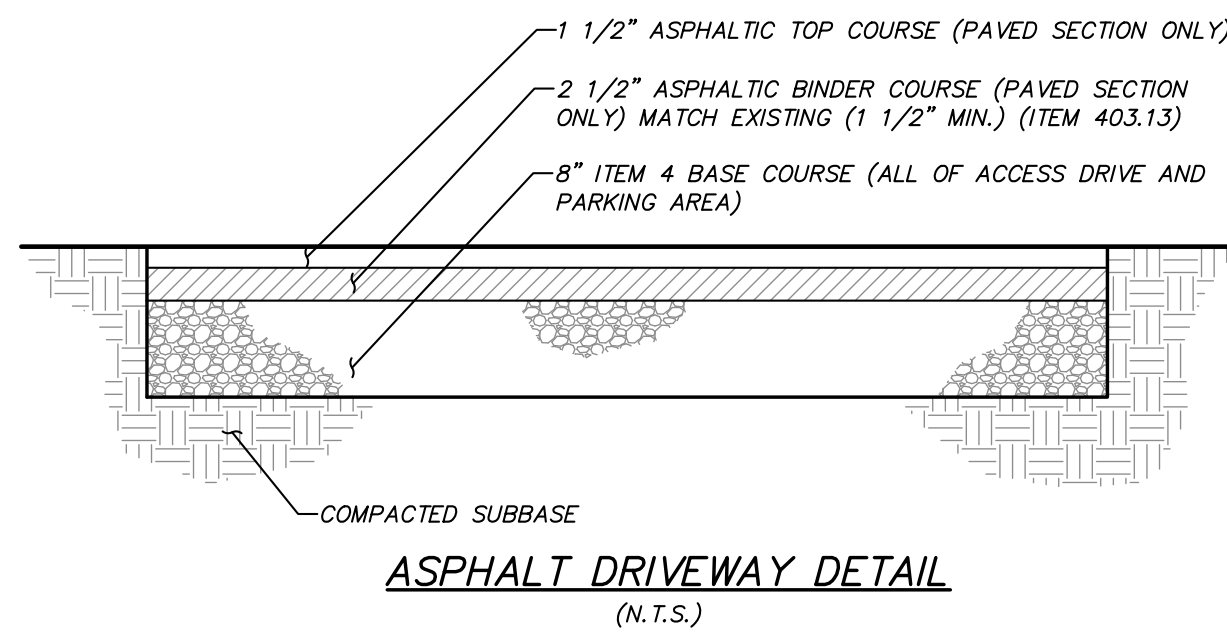
MATCHLINE TO DRAWING SP-32



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

NO.	DATE	REVISION	BY
<p>INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.</p> <p>3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com</p>			
<p>PROJECT: 10 & 20 ROUND HILL ROAD</p> <p>ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY</p>			
<p>DRAWING: TREE REMOVALS PLAN</p>			
PROJECT NUMBER	22222.100	PROJECT MANAGER	R.D.W.
DATE	2-26-24	DRAWN BY	T.S.M.
SCALE	1" = 30'	CHECKED BY	A.D.T.
DRAWING NO.	TR-1.1		SHEET 9
			12



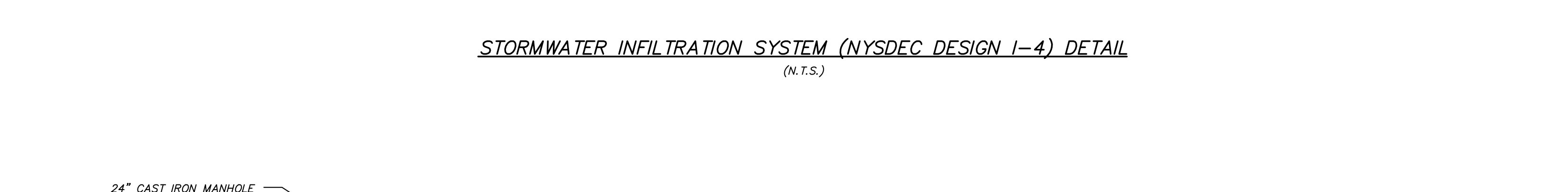
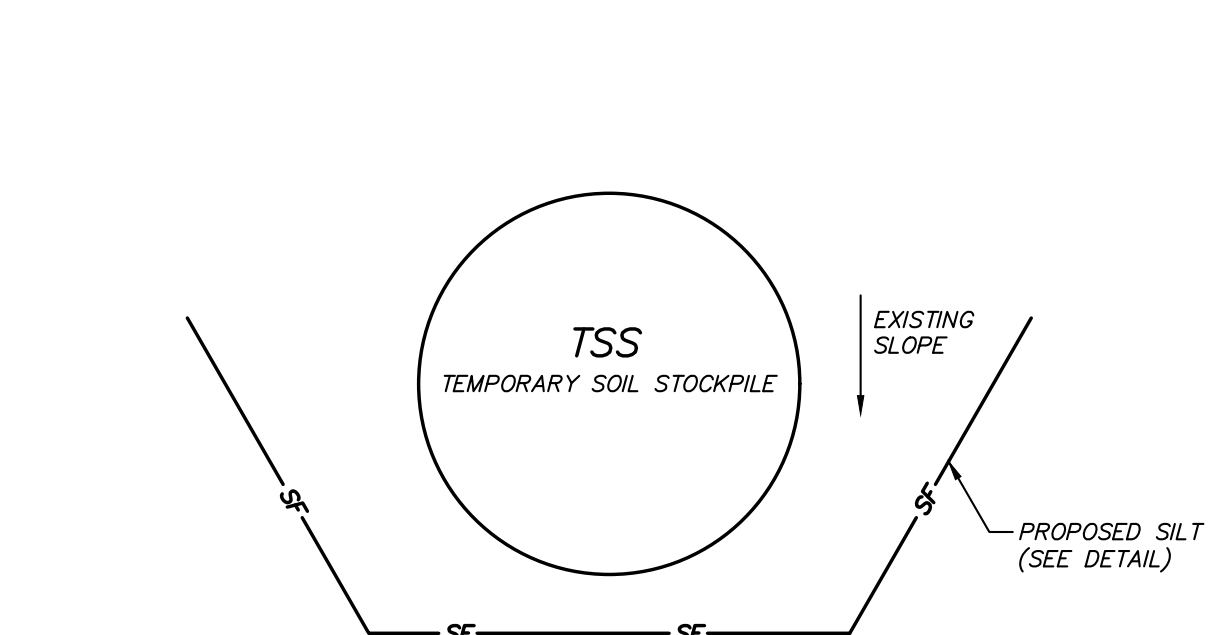
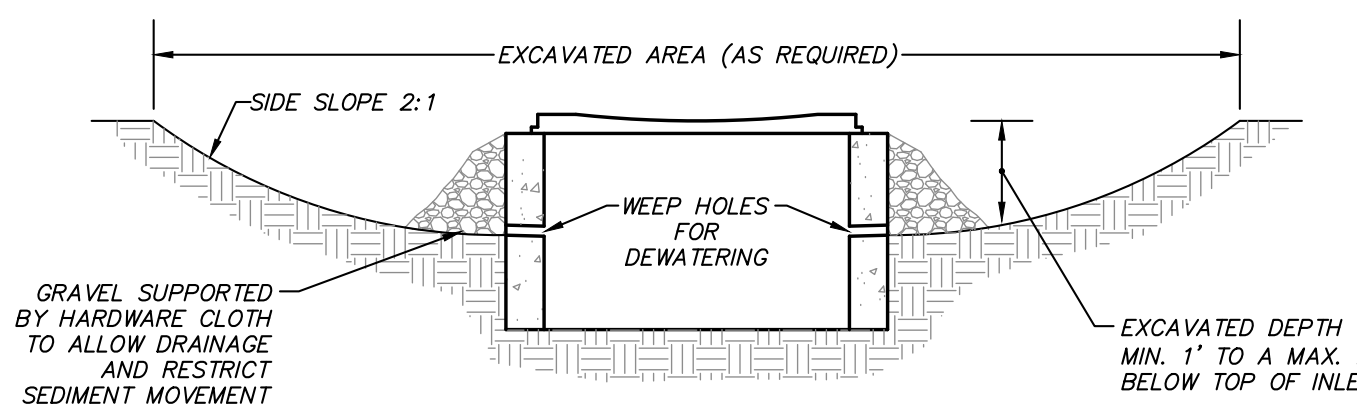
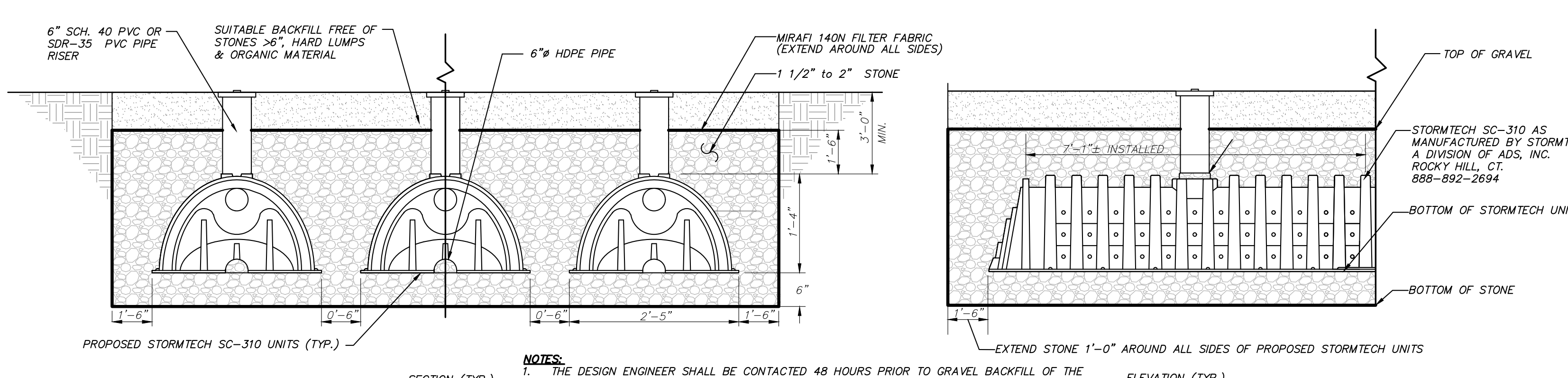
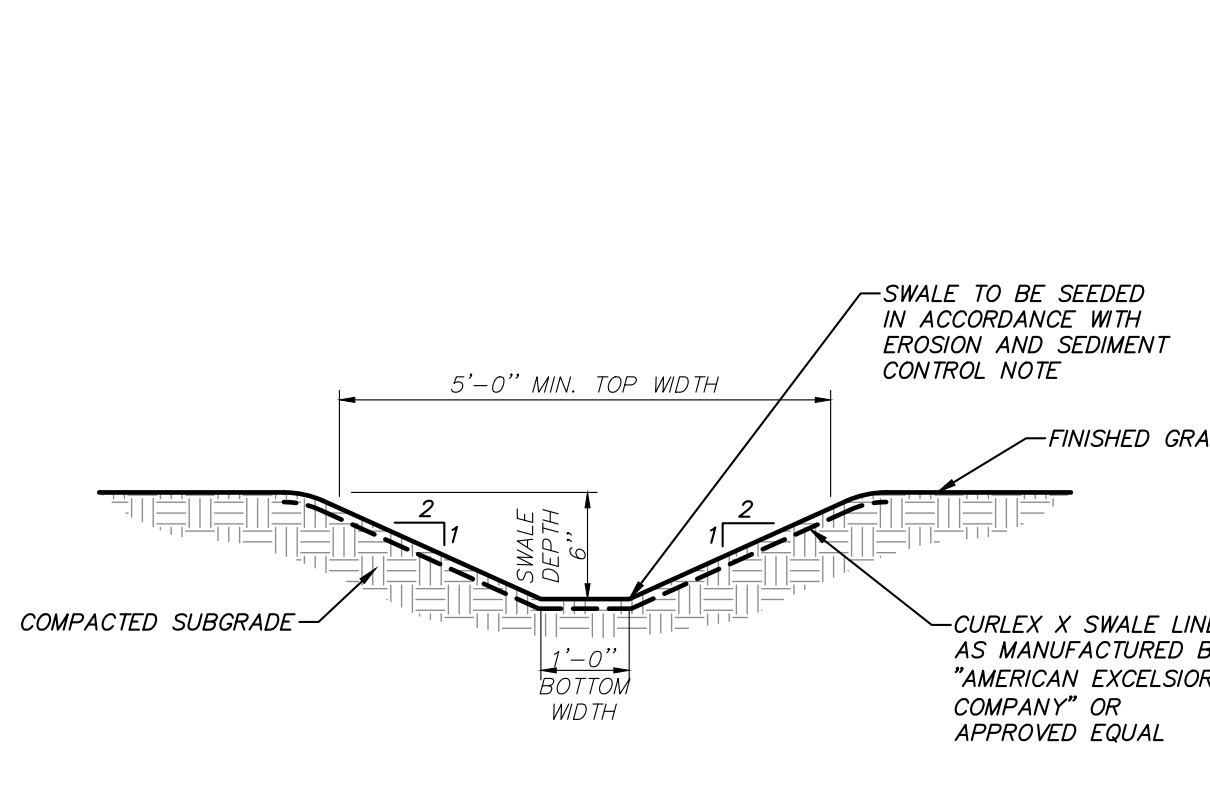
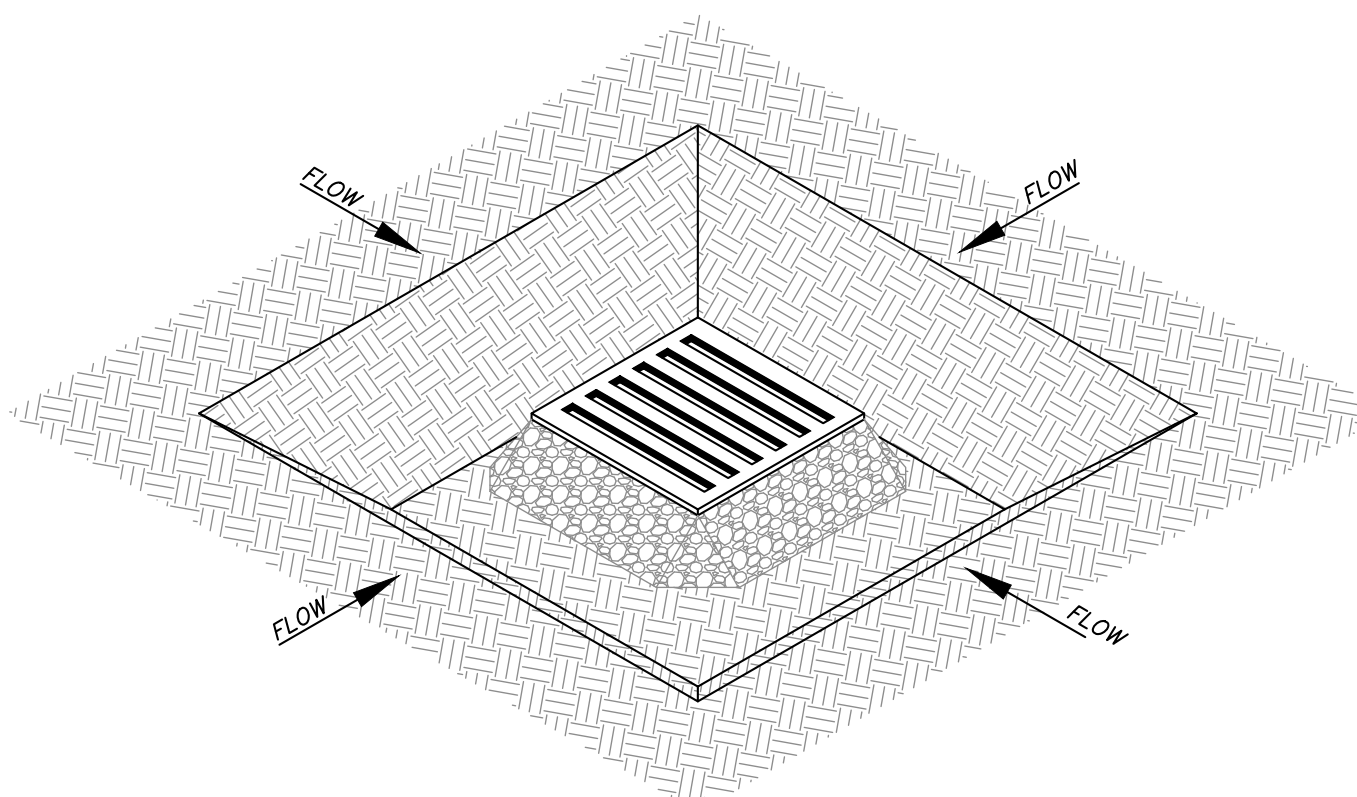


- GENERAL PLANTING NOTES:**
- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
 - Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
 - No fertilizer shall be added in stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
 - All plant material to be nursery grown.
 - Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
 - Plant material shall be taken from healthy nursery stock.
 - All plants shall be grown under climate conditions similar to those in the locality of the project.
 - Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
 - The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
 - Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
 - All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.
 - See Drawing D-X "Site Details" for Stormwater Basin plantings.

- GENERAL SITE SEEDING NOTES:**
- All proposed seeded areas to receive a 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
 - Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - fertilizer applied at the manufacturer's recommended rate using Leasco 10-0-18 (no phosphorus) fertilizer or equivalent.
 - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005.
 - if the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
 - The seed mixes as specified on these drawings are as follows:
 - A. Seed Mix for lawn areas and mow strips along roads at a rate of 100 lbs. per acre: Kentucky Bluegrass 20%, Creeping Red Fescue 40%, Perennial Ryegrass 20%, Annual Ryegrass 20%.
 - B. Seed Mix for Wildflower Meadow areas and SSTS area as shown on the drawings at a rate of 15 lbs. per acre: Low-Growing Wildflower & Grass Mix (ERNMX-156) from Ernst Conservation Seeds of Meadville, PA.
 - C. Seed Mix for Meadow areas as shown on the drawings, including tops of berms and backlopes of embankments of stormwater basins at a rate of 25 lbs. per acre: New England Conservation/Wildlife Mix from New England Wetland Plants, Inc. of Amherst, MA.
 - D. Seed Mix #2 for areas as shown on the drawings and slope areas 2:1 at a rate of 35 lbs. per acre: New England Erosion Control/Restoration Mix (for Dry Sites) from New England Wetland Plants, Inc. of Amherst, MA.
 - E. Seed Mix for Wildflower areas as shown on the drawings at a rate of 23 lbs. per acre: New England Wildflower Mix from New England Wetland Plants, Inc. of Amherst, MA.
 - F. Seed Mix for dry slopes along road sides as shown on the drawings at a rate of 35 lbs. per acre: New England Roadside Matrix Upland Seed Mix by New England Wetland Plants, Inc. of Amherst, MA.
 - G. Seed Mix for wet meadows and low areas along road side as shown on drawings at a rate of 35 lbs. per acre: New England Roadside Matrix Wet Meadow Seed Mix by New England Wetland Plants, Inc. of Amherst, MA.
 - See Drawing D-X "Site Details" for Stormwater Basin seeding.

REQUIRED SWPPP CONTENTS PER GP-0-20-001:

- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plans (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP contents is provided in accordance with Part II.B.1.a-f of General Permit GP-0-20-001:
 - Background information: The subject project consists of the construction of two single family dwellings, a barn with an accessory apartment, and associated improvements including two pools, a tennis court, and a common driveway.
 - Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
 - Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Charlton-Chaffield complex (Crc. & Csd) and Charlton fine sandy loam (Cic & Cnc), Chaffield-Halls-Rock outcrop complex (Cuo), and Sun loam (Sh) as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "B", "C" and "D".
 - Construction phasing plan / sequence of operations: The Construction Sequence and Phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Sedimentation and Erosion Control Notes contained hereon outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
 - Description of erosion and sediment control practices: This plan, and details / notes shown hereon serve to satisfy this SWPPP requirement.
 - Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided hereon identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
 - Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.
 - The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
 - An inspection schedule: Inspections are to be performed once weekly and by a qualified professional as required by the General Permit GP-0-20-001. In addition the NYSDEC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.
 - A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter/debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall never be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
 - A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
- Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."
- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, New York State Stormwater Management Design Manual ("Design Manual"). Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part II.B.2.a-f and II.B.3.
 - Identification of all post-construction stormwater management practices to be constructed as part of the project; This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
 - A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice; This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
 - A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in conformance with the design criteria, identification of and justification for any deviations from the Design Manual, and identification of any design criteria that are not required. The required analysis is provided in the report titled Stormwater Pollution Prevention Plan for 10 & 20 Round Hill Road.
 - Soil testing results and locations. This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for 10 & 20 Round Hill Road.
 - Infiltration testing results. This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for 10 & 20 Round Hill Road.
 - An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continued and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.

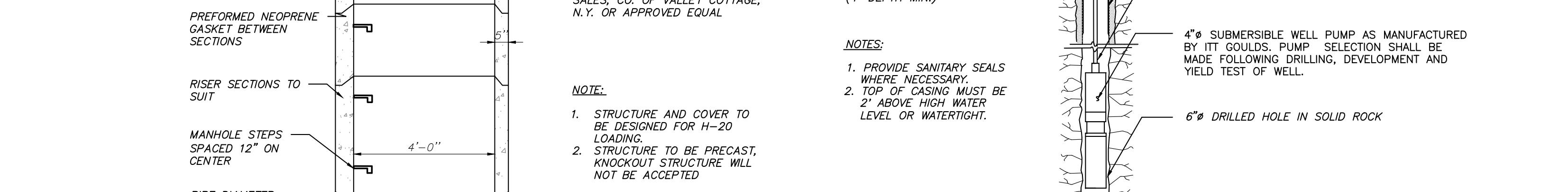
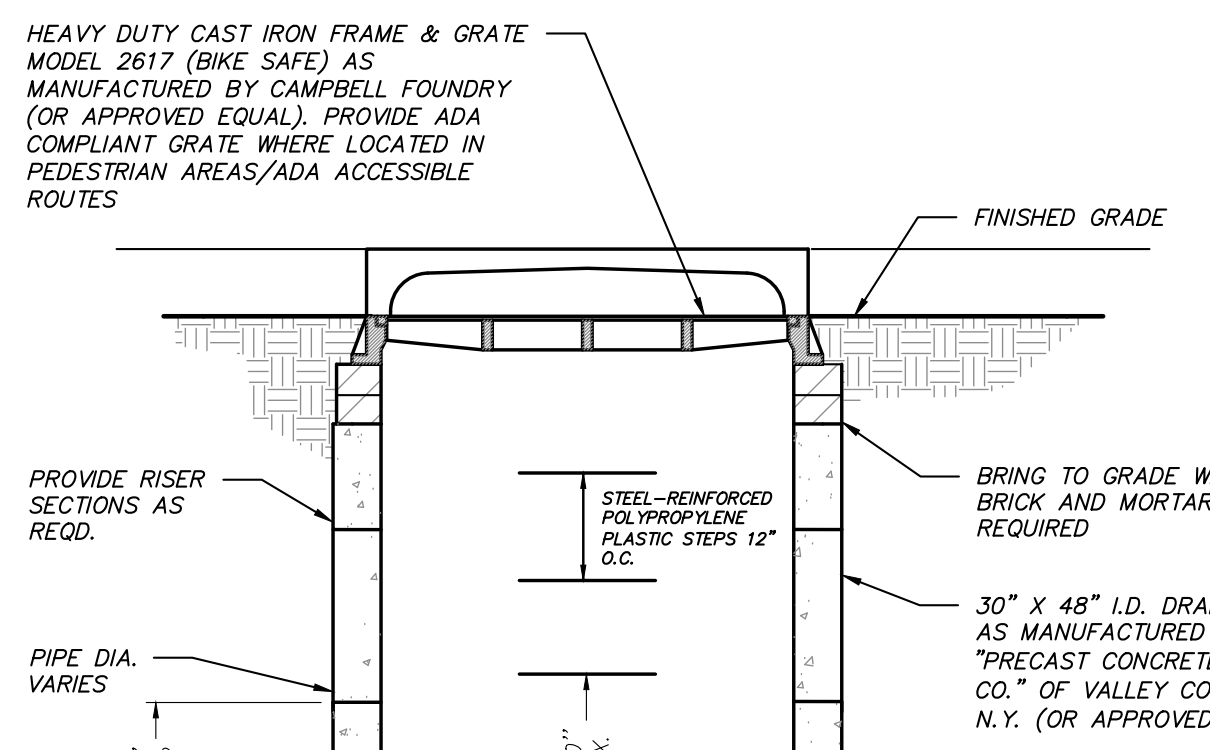
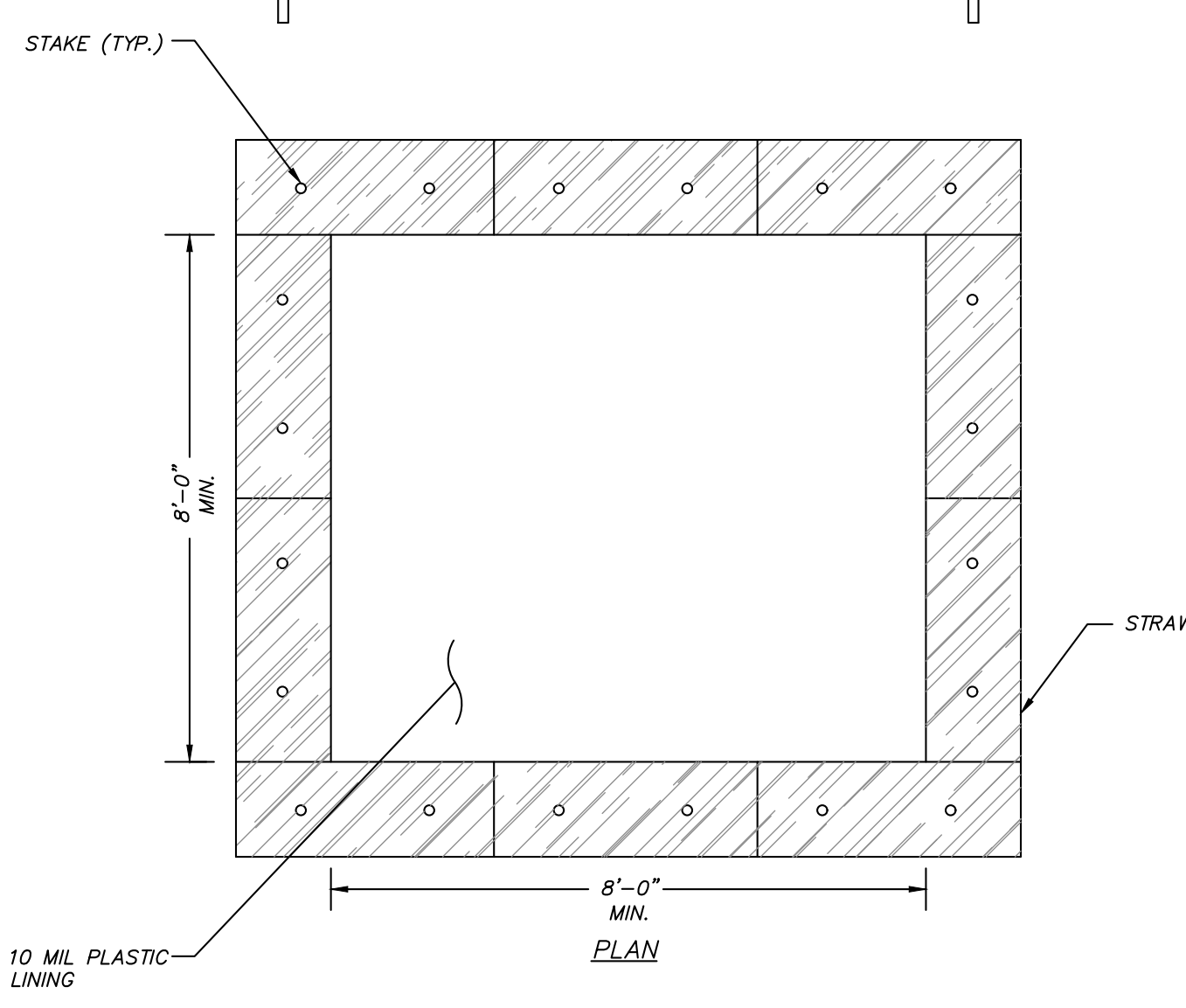
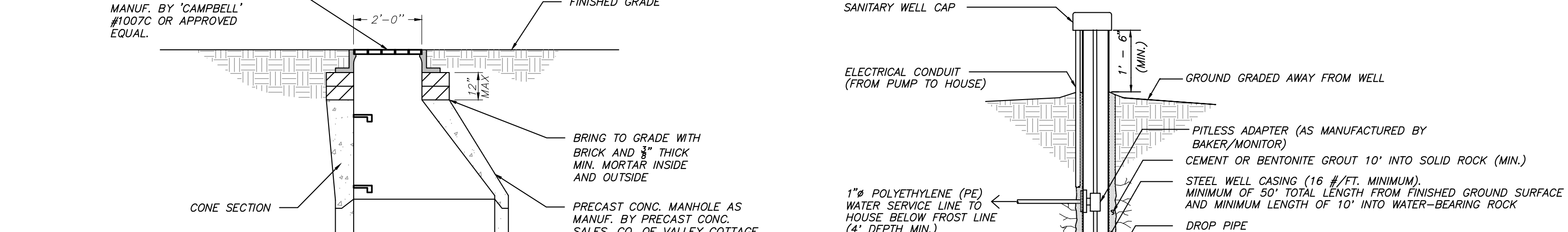
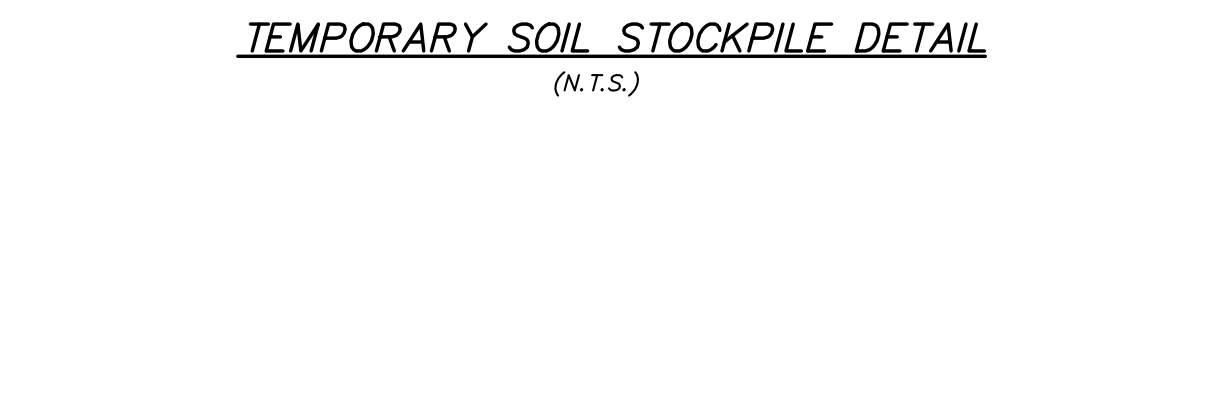
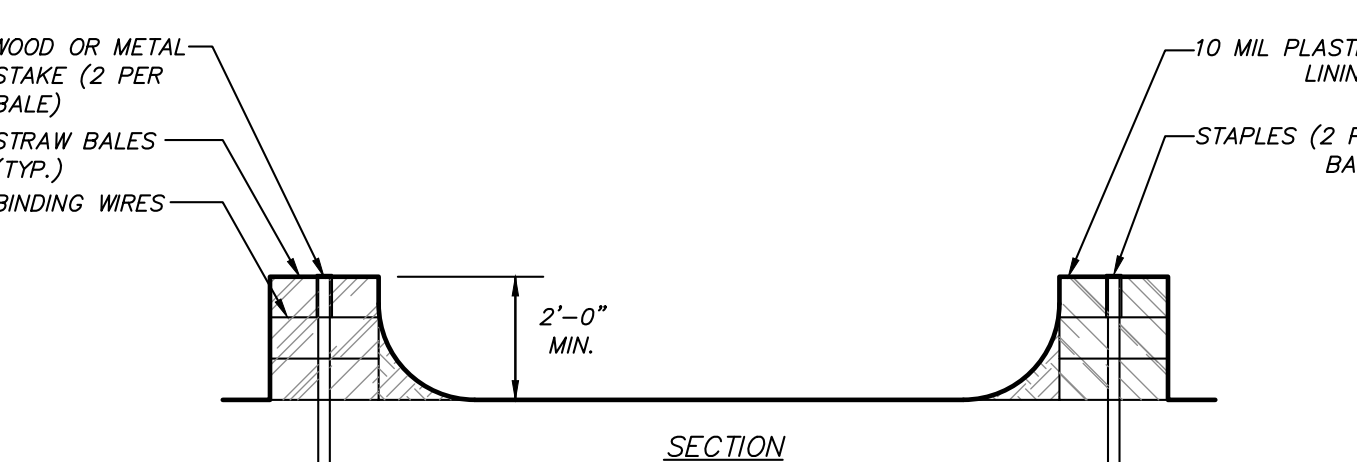


- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN
- WEEP HOLES SHALL BE PROTECTED BY GRAVEL
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING
- MAXIMUM DRAINAGE AREA = 1 ACRE

EXCAVATED DROP INLET PROTECTION DETAIL (N.T.S.)

- AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDING WITH K31 PERENNIAL TALL FESCUE.
- ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

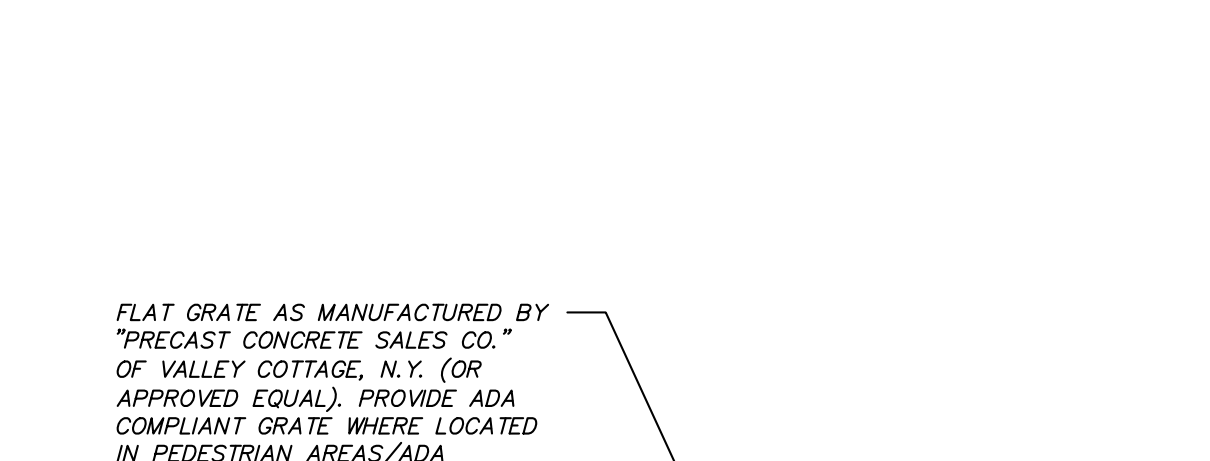
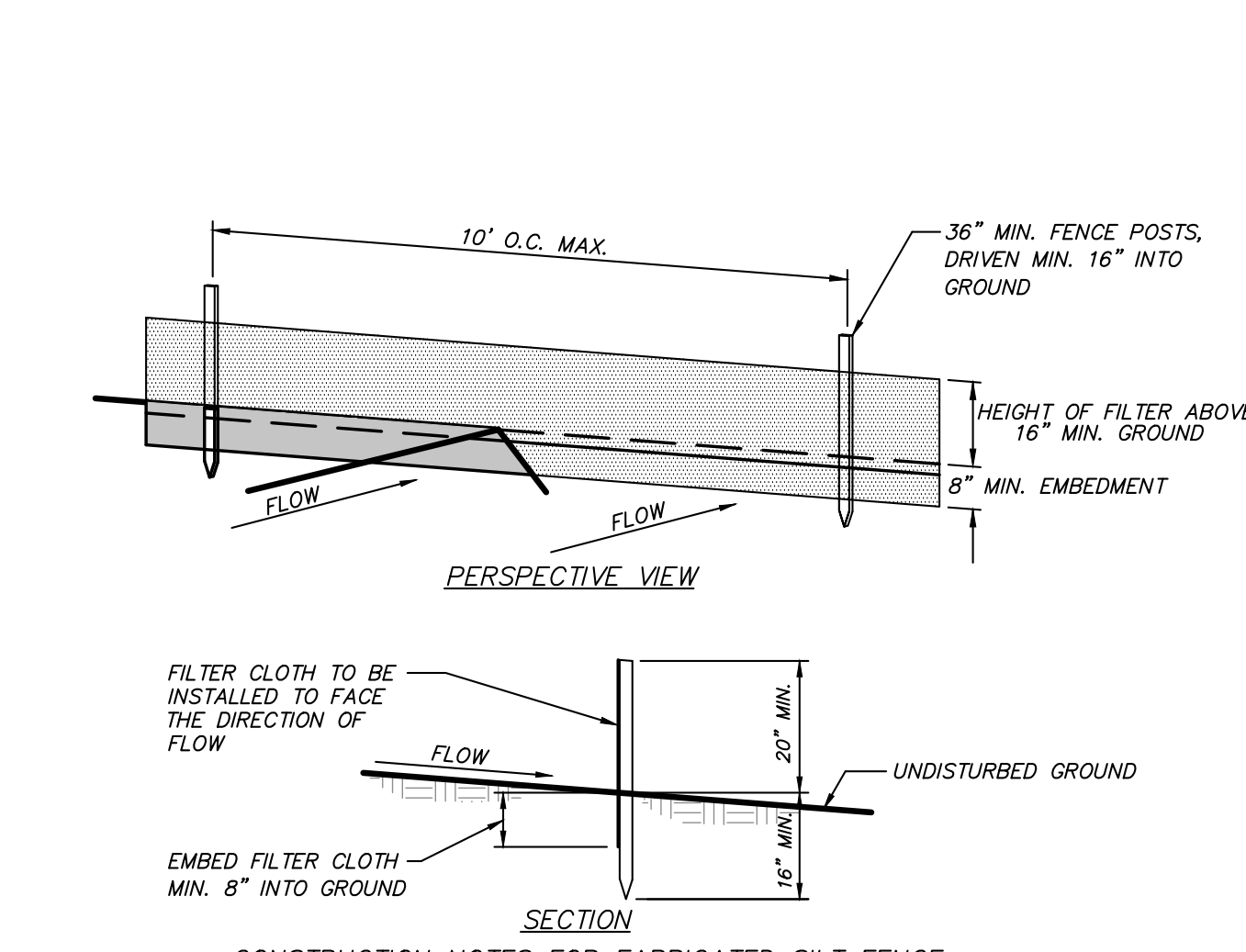
TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)



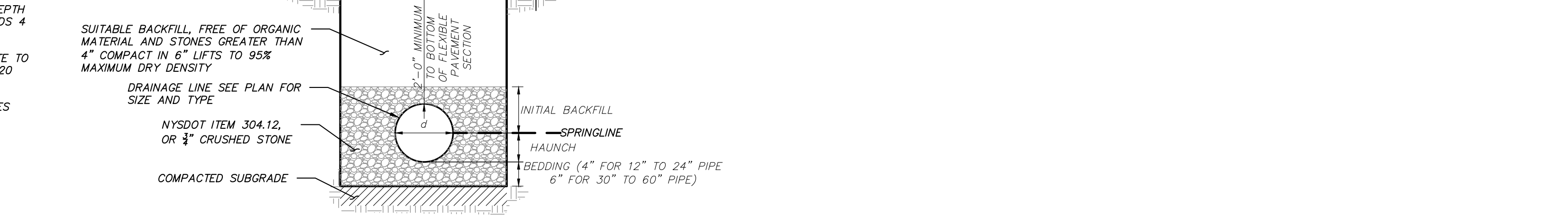
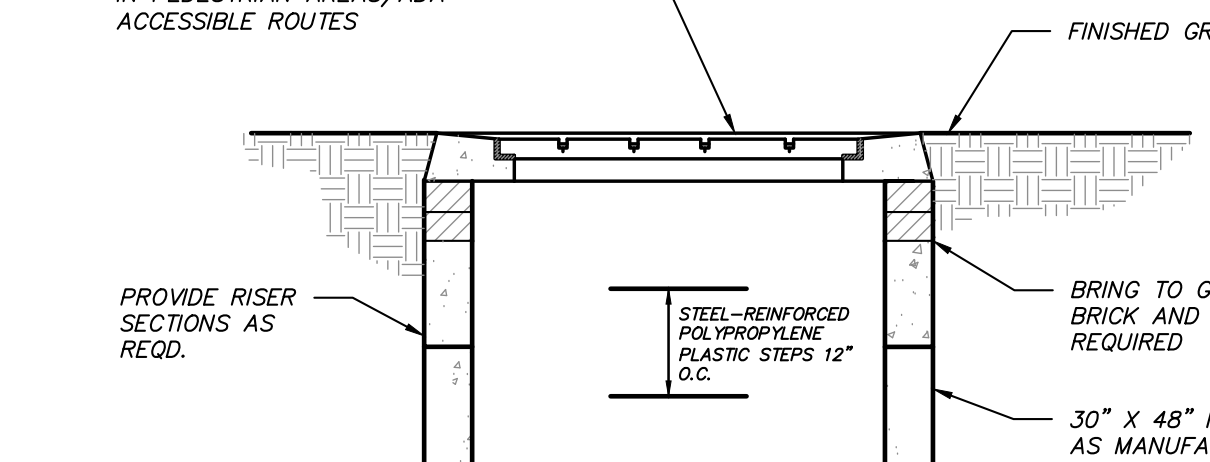
- TEMPORARY CONCRETE WASHOUT TYPE ABOVE GRADE WILL BE CONSTRUCTED AS SHOWN ABOVE WITH RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 8 FT.
- THE WASHOUT WILL BE MINIMUM OF 100 FT FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATERS.
- PLASTIC LINING WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

- STEPS REQUIRED IF DEPTH OF STRUCTURE EXCEEDS 4 FEET.
- STRUCTURE AND GRATE TO BE DESIGNED FOR H-20 LOADING.
- KNOCKOUT STRUCTURES ACCEPTABLE.

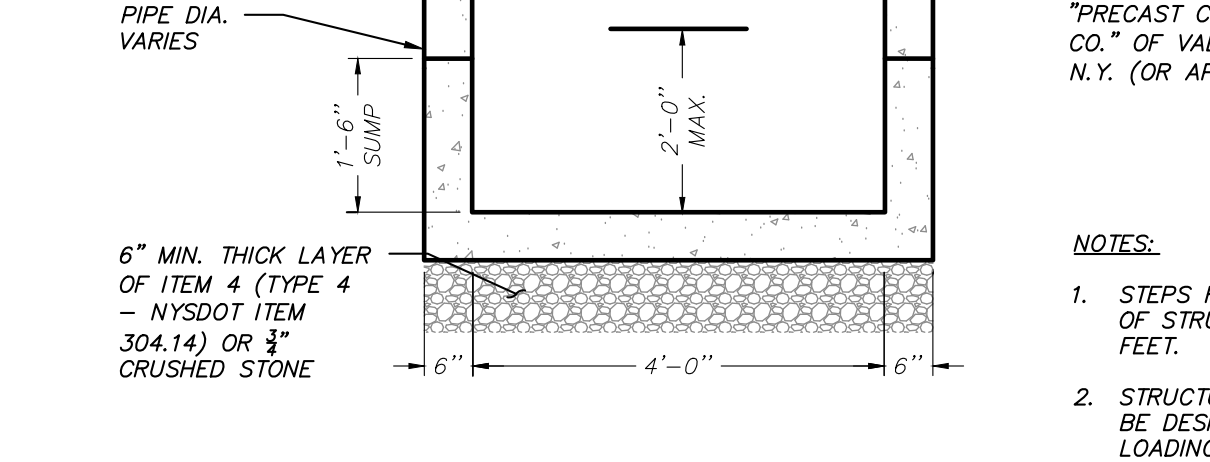
- STRUCTURE AND COVER TO BE DESIGNED FOR H-20 LOADING.
- STRUCTURE TO BE PRECAST, KNOCKOUT STRUCTURE WILL NOT BE ACCEPTED.



- INSTALLATION NOTES:
 - STONE SIZE - USE 3" STONE
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE:
 - FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



NO.	DATE	REVISION	BY
PROJECT: 10 & 20 ROUND HILL ROAD			
DRAWING: DETAILS			
PROJECT NUMBER	22222.100	PROJECT MANAGER	R.D.W.
DATE	2-26-24	DRAWN BY	T.S.M.
SCALE	1" = 60'	CHECKED BY	A.D.T.
DRAWING NO.	D-2		SHEET 12

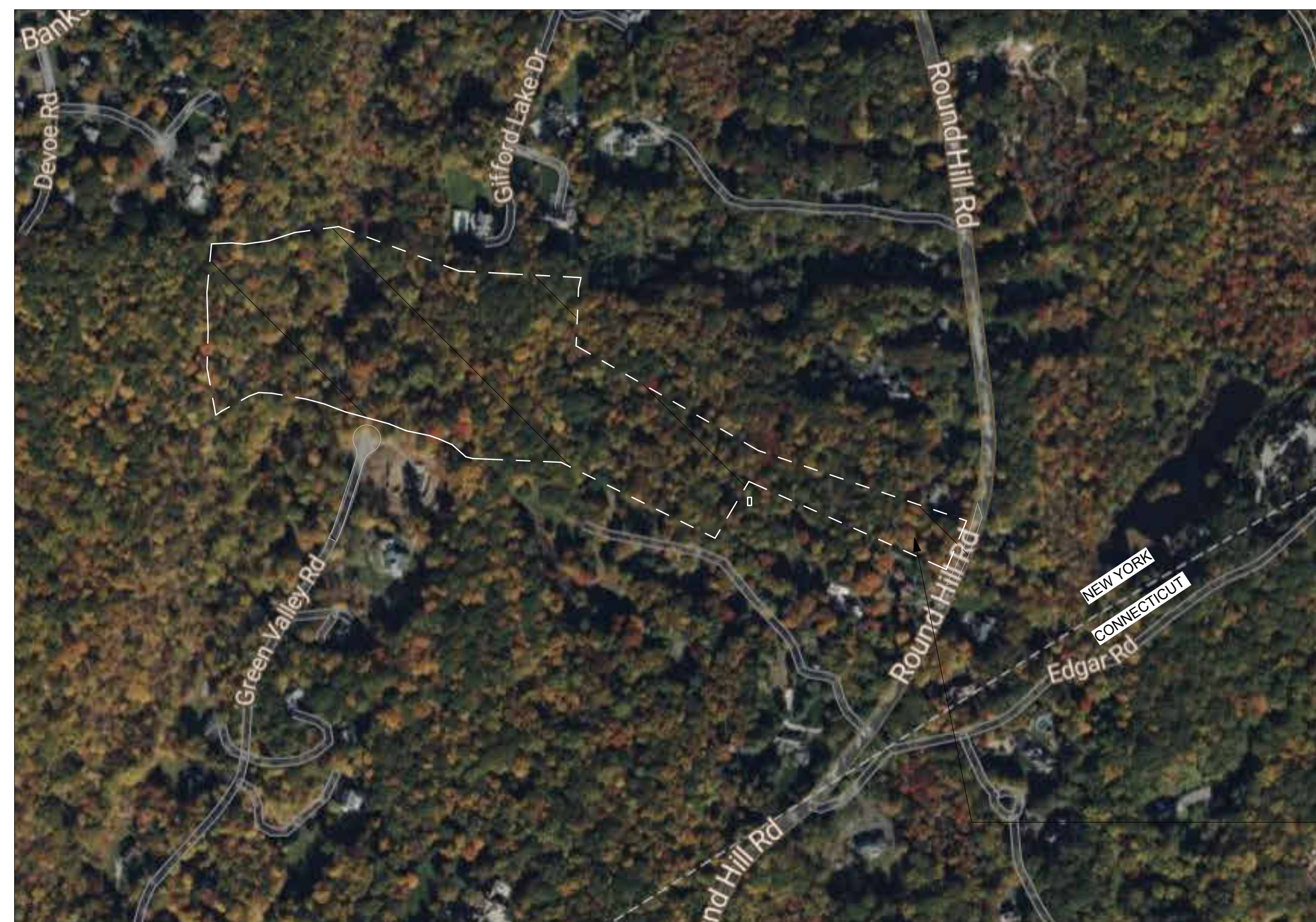
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

PROPERTY INFORMATION

ADDRESS: 111 ROUND HILL ROAD, ARMONK, NY 10504
 MUNICIPALITY: TOWN OF NORTH CASTLE
 MAP: WESTCHESTER COUNTY MAP NO. 27849
 TAX MAPS: 109.01-1-49.5 & 109.01-1-1-49.4
 LOT(S): 4 & 5
 LOT AREA: (20.7 ACRES) LOT 4: 4.7 ACRES LOT 5: 16 ACRES
 ZONE: R-2A
 DOC CONTROL: 632203318
 SCOPE OF WORK: NEW TWO STORY SINGLE FAMILY HOME WITH LOT SUBDIVISION



1 LOCATION MAP
1 1/2" = 1'-0"



2 SATELLITE MAP
1 1/2" = 1'-0"

ZACHARY HARWIN, RA

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

SHEET LIST

Sheet Number	Sheet Name
A001	COVER SHEET
A013	AREA DIAGRAMS (GROSS)
A014	AREA DIAGRAMS (CALCULATED)
A015	ROOF HEIGHT CALCULATIONS
A100.	CELLAR FLOOR PLAN
A101.	FIRST FLOOR PLAN
A102.	SECOND FLOOR PLAN
A104.	ROOF PLAN
A200.	ELEVATIONS
A201.	ELEVATIONS
A202.	ELEVATIONS
A912	EXTERIOR RENDERING

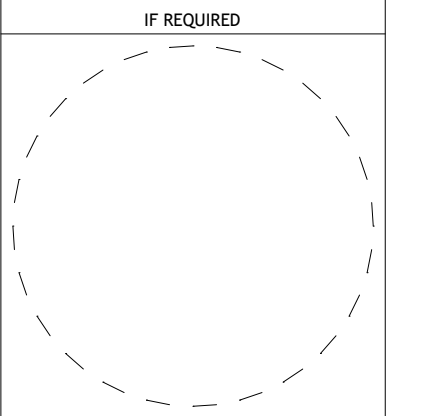
UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS.

No.	Description	Date

DEPT OF BUILDINGS NO.
... ..

FILING TYPE PROFESSIONAL SEAL
IF REQUIRED



Project Number 23-1002

LOT 5 RESIDENCE -
HOBERMAN

111 ROUND HILL ROAD
ARMONK, NY

BLOCK: LOT:
DRAWING TITLE

COVER SHEET

DRAWING NO.

A001

Drawn By: Author Sheet: of

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

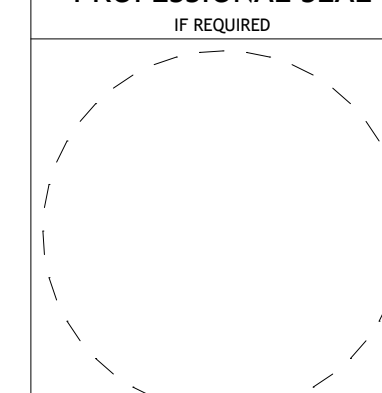
KEY PLAN

UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS

No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE	PROFESSIONAL SEAL IF REQUIRED
	

Project Number 23-1002

**LOT 5 RESIDENCE -
 HOBERMAN**

111 ROUND HILL ROAD
 ARMONK, NY

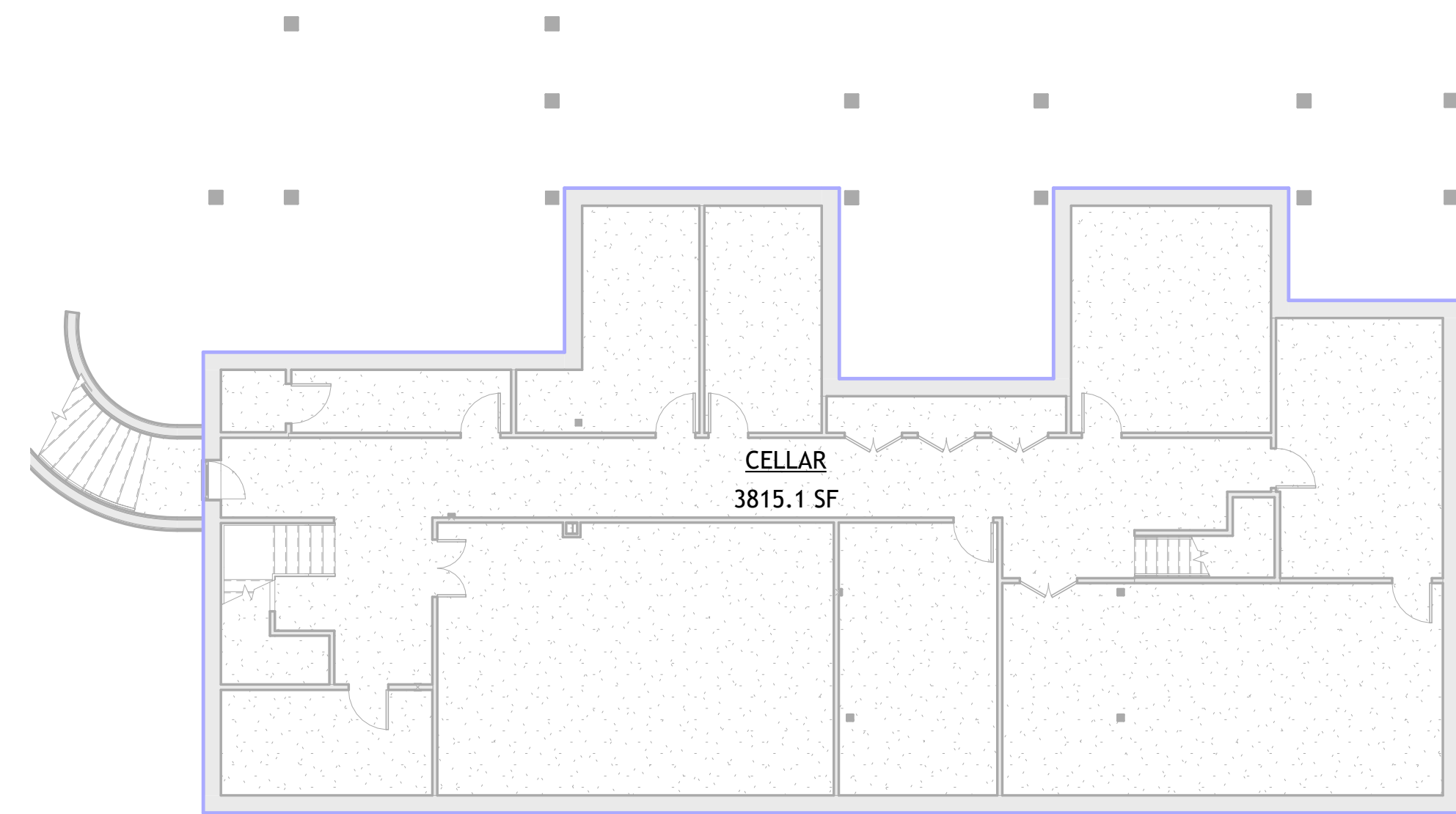
BLOCK: LOT:

DRAWING TITLE
**AREA DIAGRAMS
 (GROSS)**

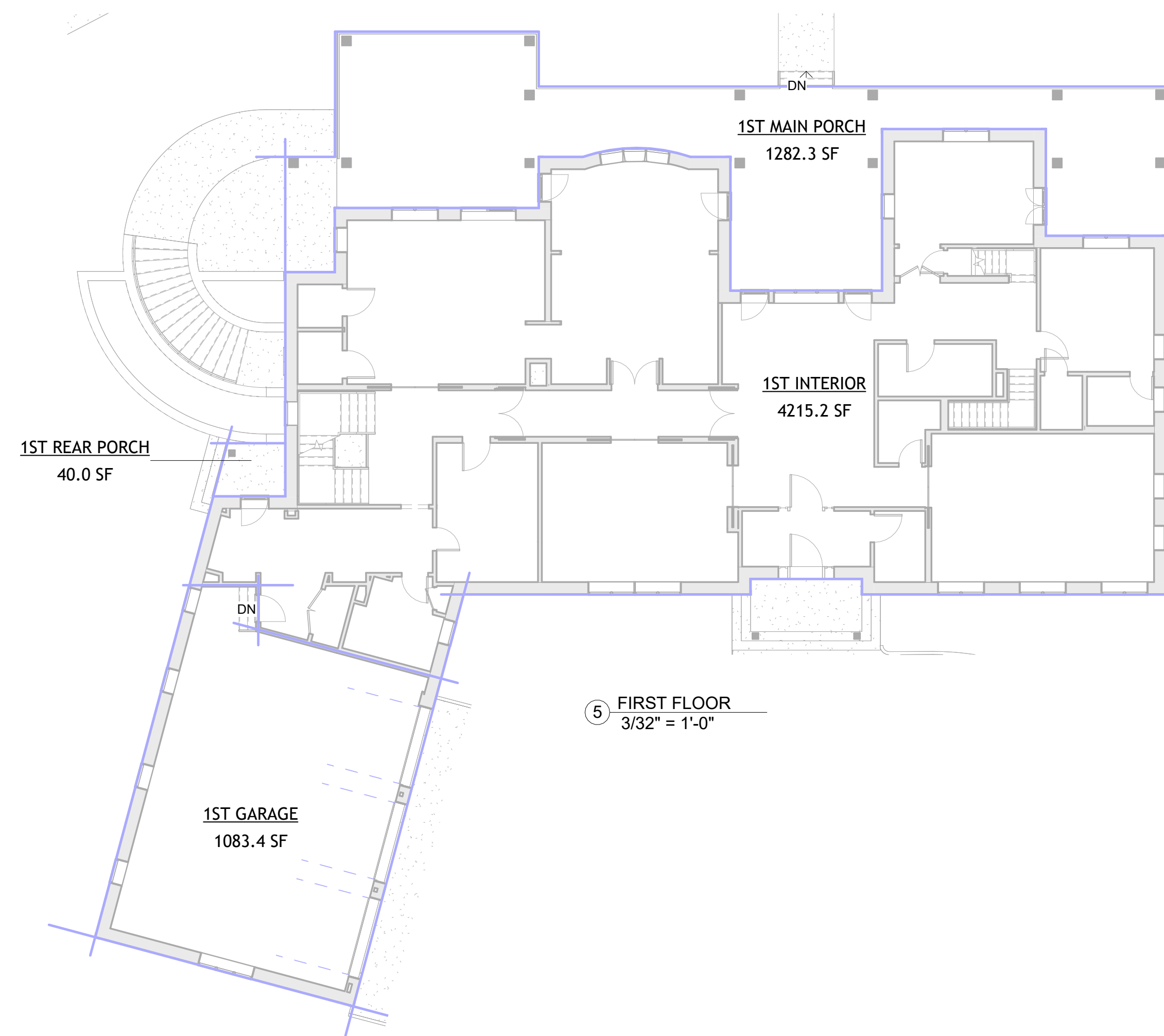
DRAWING NO.
A013

Drawn By: Author Sheet: of

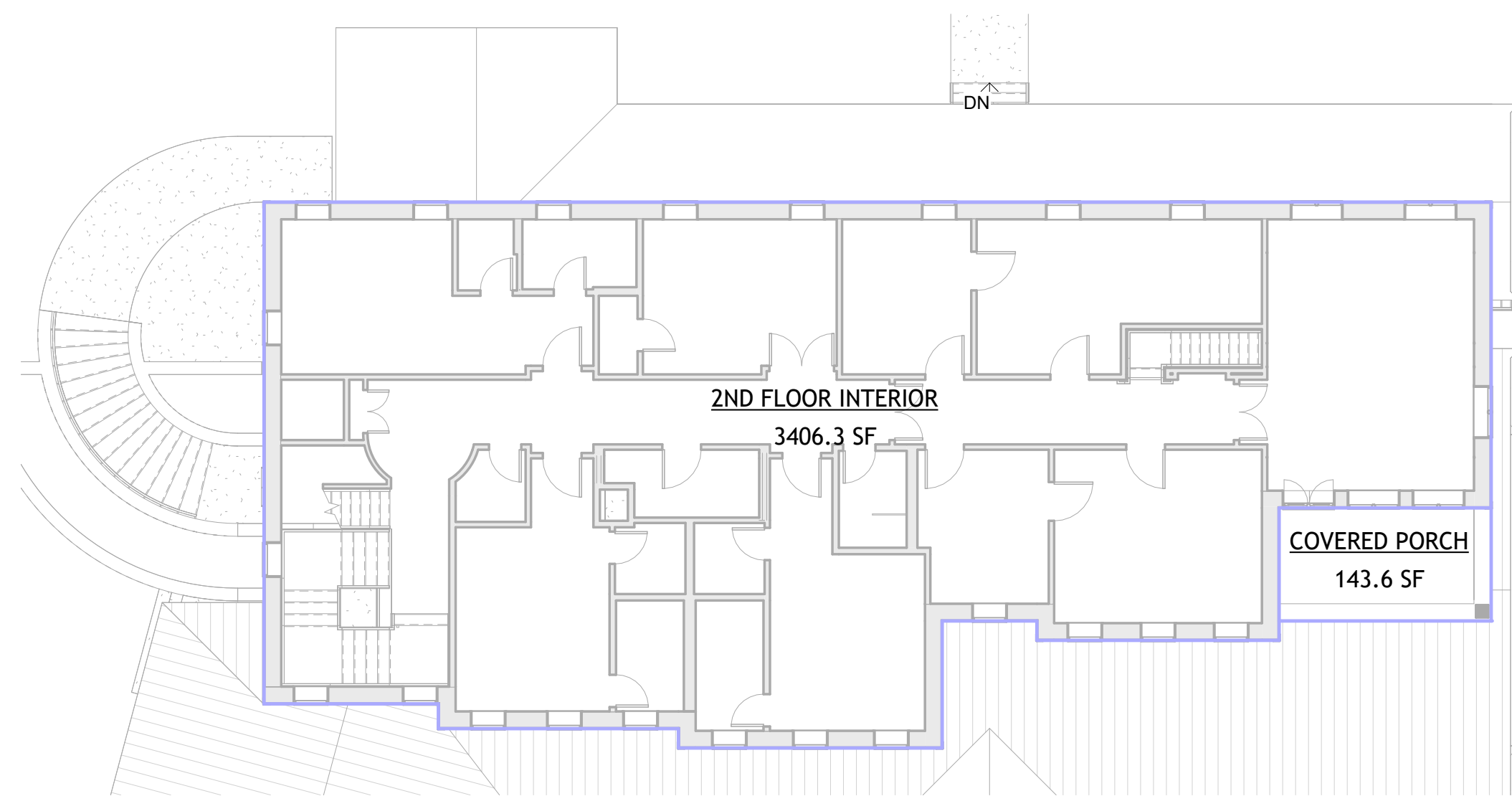
2/25/2024 6:13:02 PM



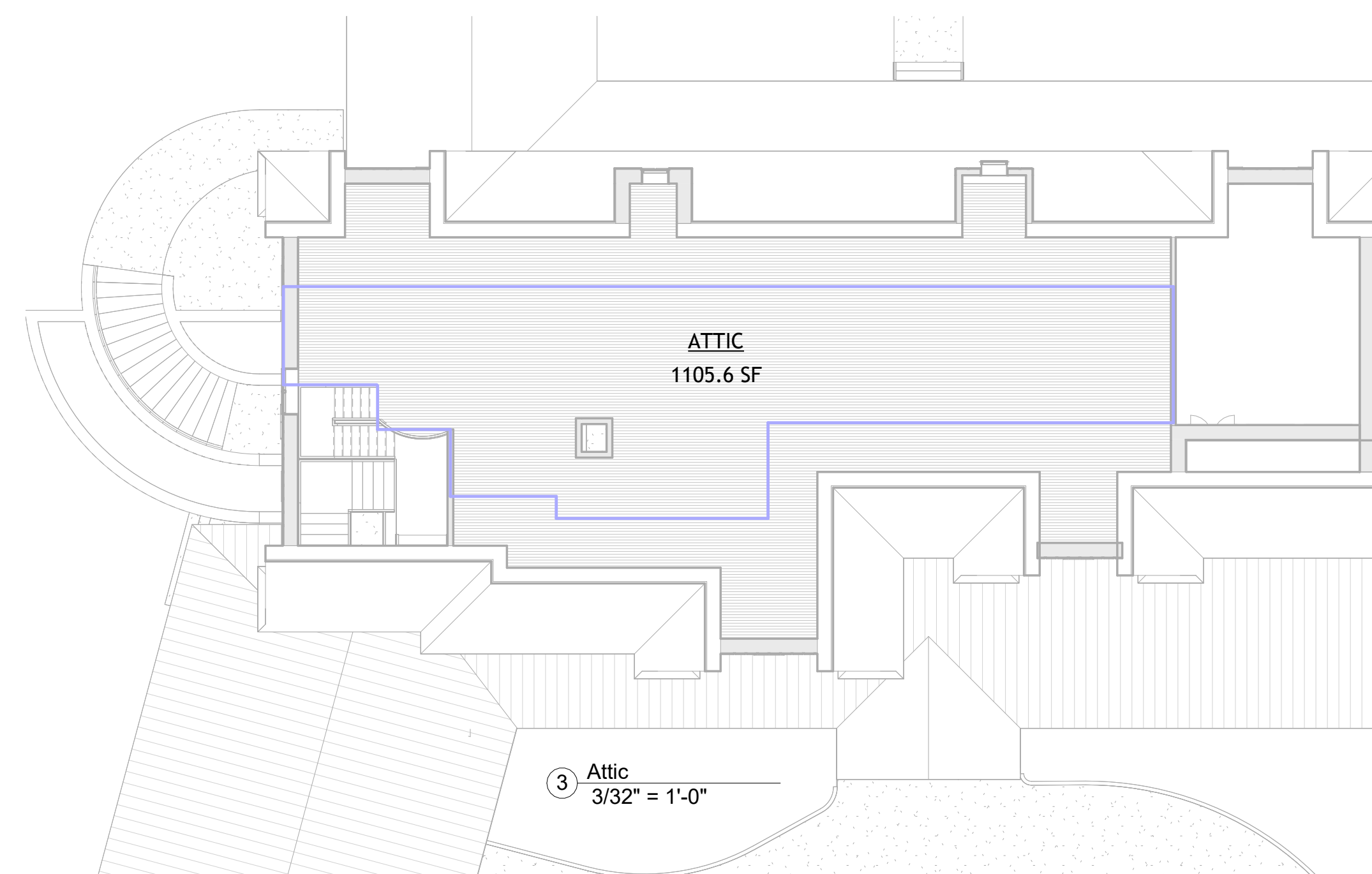
④ CELLAR
 3/32" = 1'-0"



⑤ FIRST FLOOR
 3/32" = 1'-0"



② SECOND FLOOR
 3/32" = 1'-0"



③ Attic
 3/32" = 1'-0"

Area Schedule (Gross Building)		
Name	Area	Comments
1ST REAR PORCH	40.0 SF	COVERED PORCH
1ST MAIN PORCH	1282.3 SF	COVERED PORCH
1ST GARAGE	1083.4 SF	GARAGE
1ST INTERIOR	4215.2 SF	INTERIOR
COVERED PORCH	143.6 SF	COVERED PORCH
2ND FLOOR INTERIOR	3406.3 SF	INTERIOR
ATTIC	1105.6 SF	7'-6" CLEAR
Grand total: 7	11276.5 SF	

**NOTE: CELLAR EXEMPT FROM FLOOR
 AREA CALC**

CONTACT INFO

OWNERSHIP
ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
ZACHARY HARWIN, RA
PHONE: 516-510-3747
EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
TERRY LENNON
TPL ARCHITECT
100B Danbury Road, Suite 105M,
Ridgefield, CT 06877
(914) 276-0225

CIVIL ENGINEER
Richard Williams, Jr., PE
INSITE ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, New York 10512
(845) 225-9690 x118
(845) 225-9717 Fax
www.insite-eng.com

KEY PLAN

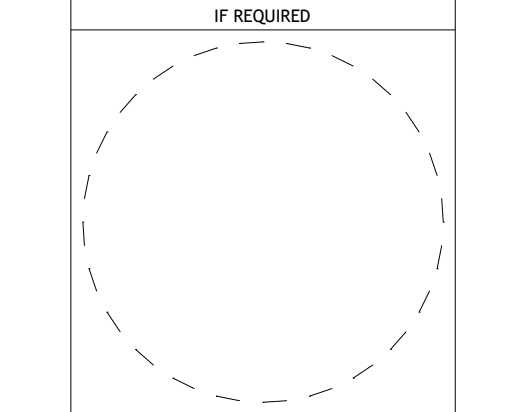
UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGN, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS.

No. Description Date

DEPT OF BUILDINGS NO.

FILING TYPE PROFESSIONAL SEAL IF REQUIRED



Project Number 23-1002

LOT 5 RESIDENCE -
HOBERMAN

111 ROUND HILL ROAD
ARMONK, NY

BLOCK: LOT:

DRAWING TITLE

AREA DIAGRAMS
(CALCULATED)

DRAWING NO.

A014

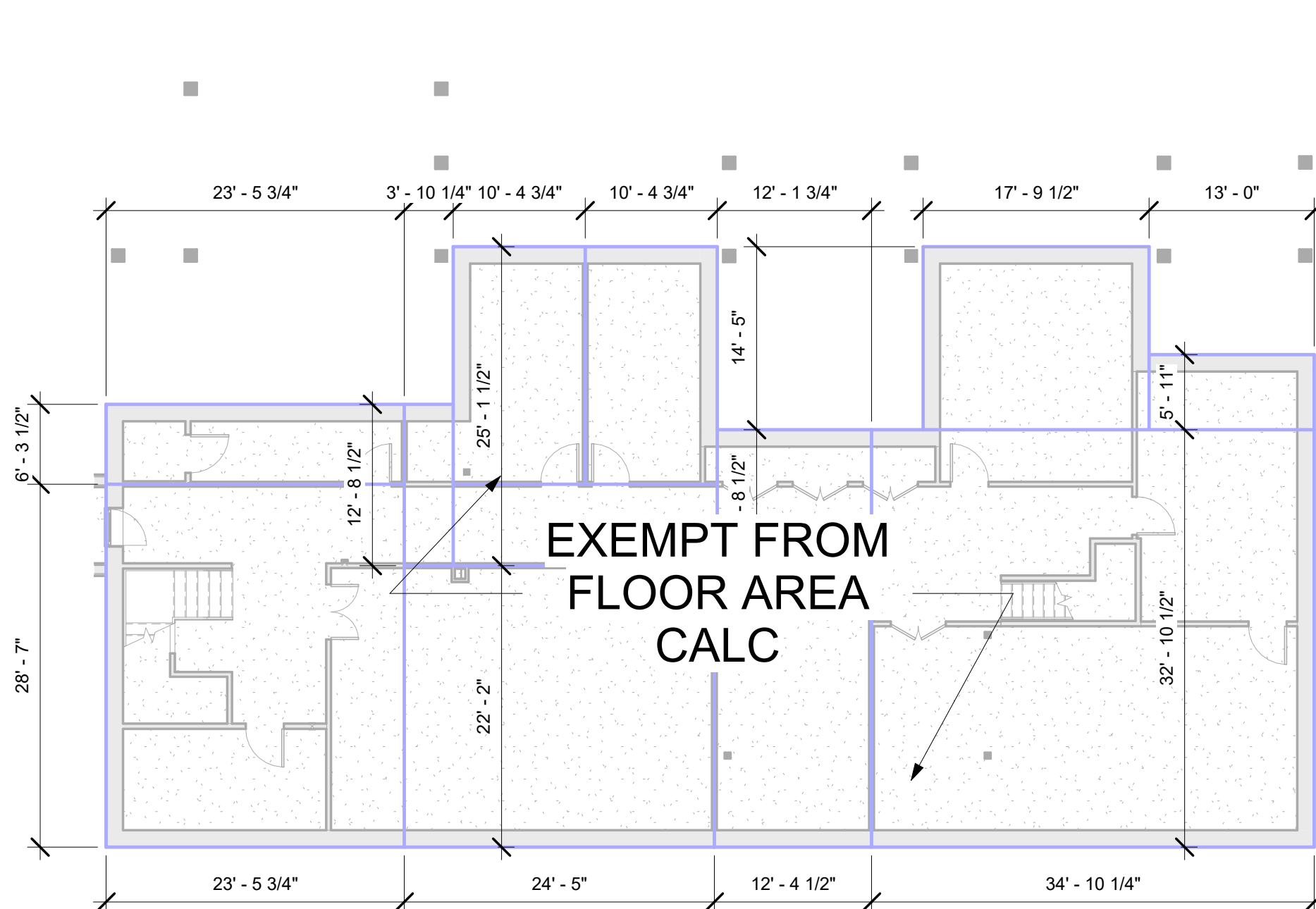
Drawn By: Author Sheet: of

FLOOR AREA			
Level	Name	Area	Comments
FIRST FLOOR	1_EXT-A	66.2 SF	COVERED PORCH
FIRST FLOOR	1_EXT-B	418.0 SF	COVERED PORCH
FIRST FLOOR	1_EXT-C	149.4 SF	COVERED PORCH
FIRST FLOOR	1_EXT-E	359.3 SF	COVERED PORCH
FIRST FLOOR	1_EXT-F	81.0 SF	COVERED PORCH
FIRST FLOOR	1_EXT-G	209.1 SF	COVERED PORCH
FIRST FLOOR	1_EXT-H	35.6 SF	COVERED PORCH
FIRST FLOOR	1_EXT-J	4.4 SF	COVERED PORCH
FIRST FLOOR	1A	1056.3 SF	GARAGE
FIRST FLOOR	1B	74.4 SF	
FIRST FLOOR	1C	8.8 SF	GARAGE
FIRST FLOOR	1D	18.7 SF	GARAGE
FIRST FLOOR	1E	47.2 SF	
FIRST FLOOR	1F	0.9 SF	GARAGE
FIRST FLOOR	1G	205.0 SF	
FIRST FLOOR	1H	916.7 SF	
FIRST FLOOR	1I	241.7 SF	INTERIOR
FIRST FLOOR	1J	756.1 SF	
FIRST FLOOR	1K	362.1 SF	
FIRST FLOOR	1L	107.0 SF	
FIRST FLOOR	1M	209.9 SF	
FIRST FLOOR	1N	502.7 SF	
FIRST FLOOR	1O	699.3 SF	
FIRST FLOOR	1P	7.3 SF	
FIRST FLOOR	1Q	12.3 SF	
FIRST FLOOR	1R	13.6 SF	INTERIOR
FIRST FLOOR	1S	2.2 SF	
FIRST FLOOR	1T	56.1 SF	

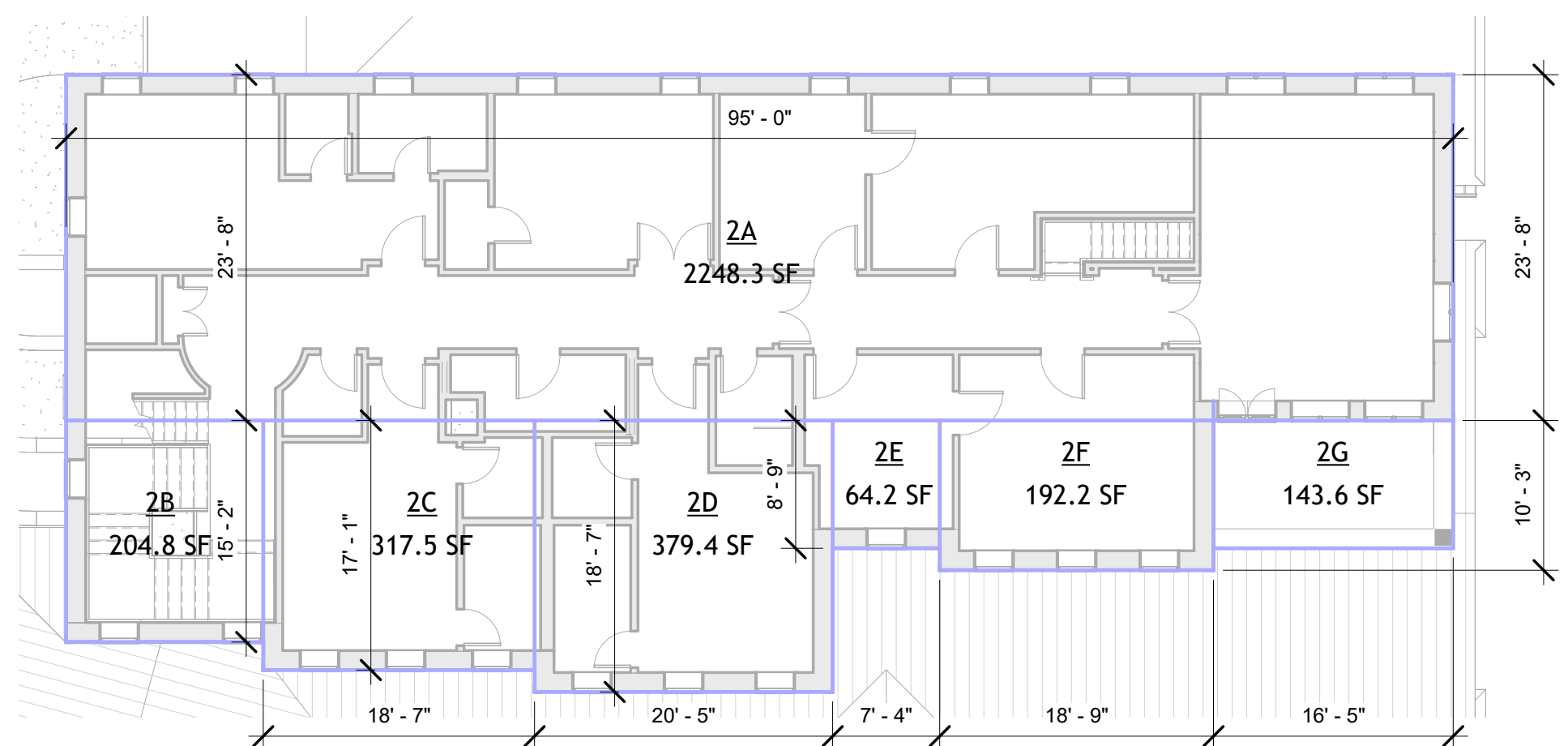
SECOND FLOOR	2A	2248.3 SF	
SECOND FLOOR	2B	204.8 SF	
SECOND FLOOR	2C	317.5 SF	
SECOND FLOOR	2D	379.4 SF	
SECOND FLOOR	2E	64.2 SF	
SECOND FLOOR	2F	192.2 SF	
SECOND FLOOR	2G	143.6 SF	COVERED PORCH

Attic	3A	69.9 SF	
Attic	3B	78.7 SF	
Attic	3C	168.1 SF	
Attic	3D	371.4 SF	
Attic	3E	417.5 SF	
Grand total		11276.6 SF	

FLOOR AREA 1ST FLOOR			
Level	Name	Area	Comments
FIRST FLOOR	1_EXT-A	66.2 SF	COVERED PORCH
FIRST FLOOR	1_EXT-B	418.0 SF	COVERED PORCH
FIRST FLOOR	1_EXT-C	149.4 SF	COVERED PORCH
FIRST FLOOR	1_EXT-E	359.3 SF	COVERED PORCH
FIRST FLOOR	1_EXT-F	81.0 SF	COVERED PORCH
FIRST FLOOR	1_EXT-G	209.1 SF	COVERED PORCH
FIRST FLOOR	1_EXT-H	35.6 SF	COVERED PORCH
FIRST FLOOR	1_EXT-J	4.4 SF	COVERED PORCH
FIRST FLOOR	1A	1056.3 SF	GARAGE
FIRST FLOOR	1B	74.4 SF	
FIRST FLOOR	1C	8.8 SF	GARAGE
FIRST FLOOR	1D	18.7 SF	GARAGE
FIRST FLOOR	1E	47.2 SF	
FIRST FLOOR	1F	0.9 SF	GARAGE
FIRST FLOOR	1G	205.0 SF	
FIRST FLOOR	1H	916.7 SF	
FIRST FLOOR	1I	241.7 SF	INTERIOR
FIRST FLOOR	1J	756.1 SF	
FIRST FLOOR	1K	362.1 SF	
FIRST FLOOR	1L	107.0 SF	
FIRST FLOOR	1M	209.9 SF	
FIRST FLOOR	1N	502.7 SF	
FIRST FLOOR	1O	699.3 SF	
FIRST FLOOR	1P	7.3 SF	
FIRST FLOOR	1Q	12.3 SF	
FIRST FLOOR	1R	13.6 SF	INTERIOR
FIRST FLOOR	1S	2.2 SF	
FIRST FLOOR	1T	56.1 SF	
Grand total		6621.0 SF	



2 CELLAR
3/32" = 1'-0"

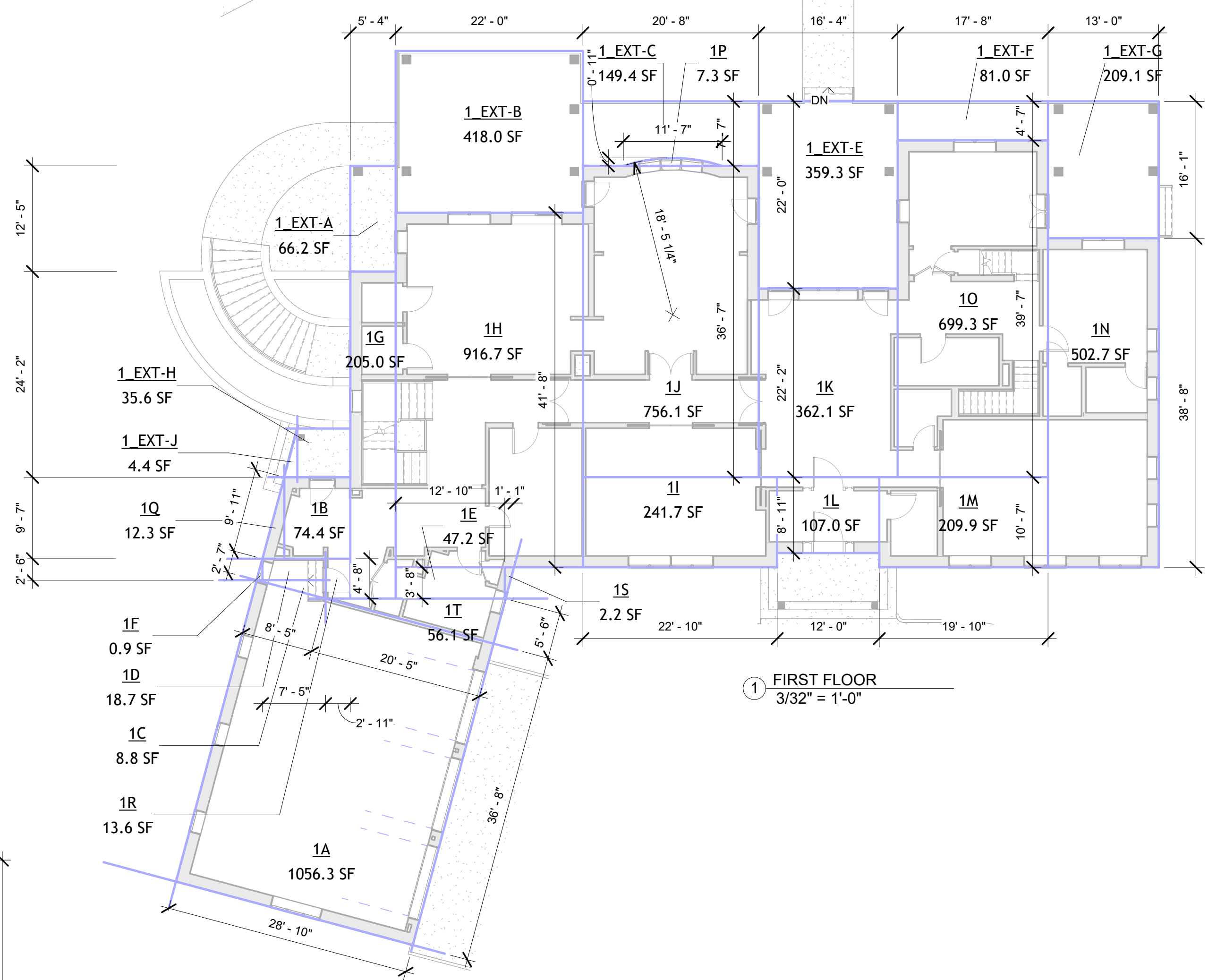


3 SECOND FLOOR
3/32" = 1'-0"

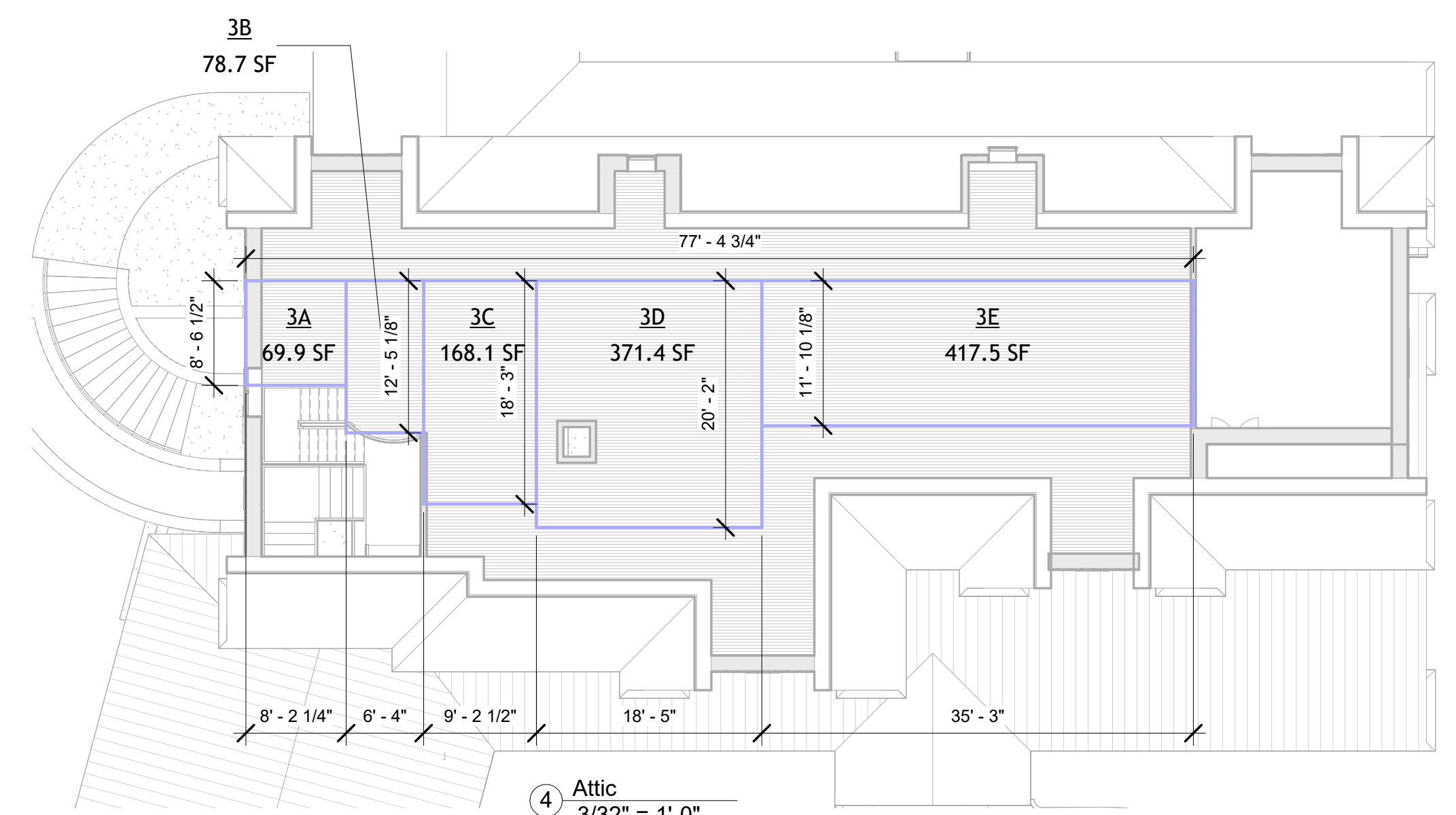
FLOOR AREA 2ND FLOOR			
Level	Name	Area	Comments
SECOND FLOOR	2A	2248.3 SF	
SECOND FLOOR	2B	204.8 SF	
SECOND FLOOR	2C	317.5 SF	
SECOND FLOOR	2D	379.4 SF	
SECOND FLOOR	2E	64.2 SF	
SECOND FLOOR	2F	192.2 SF	
SECOND FLOOR	2G	143.6 SF	COVERED PORCH
Grand total		3550.0 SF	

FLOOR AREA COVERED PORCH			
Level	Name	Area	Comments
FIRST FLOOR	1_EXT-A	66.2 SF	COVERED PORCH
FIRST FLOOR	1_EXT-B	418.0 SF	COVERED PORCH
FIRST FLOOR	1_EXT-C	149.4 SF	COVERED PORCH
FIRST FLOOR	1_EXT-E	359.3 SF	COVERED PORCH
FIRST FLOOR	1_EXT-F	81.0 SF	COVERED PORCH
FIRST FLOOR	1_EXT-G	209.1 SF	COVERED PORCH
FIRST FLOOR	1_EXT-H	35.6 SF	COVERED PORCH
FIRST FLOOR	1_EXT-J	4.4 SF	COVERED PORCH

SECOND FLOOR	2G	143.6 SF	COVERED PORCH
Grand total		1466.7 SF	



1 FIRST FLOOR
3/32" = 1'-0"



4 Attic
3/32" = 1'-0"

FLOOR AREA ATTIC		
Level	Name	Area
Attic	3A	69.9 SF
Attic	3B	78.7 SF
Attic	3C	168.1 SF
Attic	3D	371.4 SF
Attic	3E	417.5 SF
Grand total		1105.6 SF

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS

No. Description Date

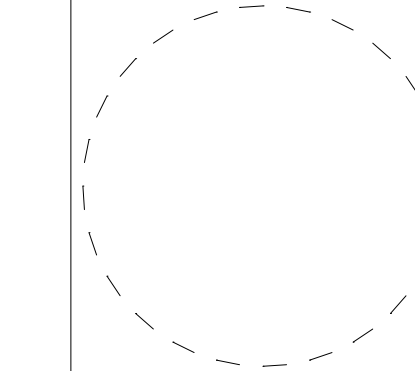
No.	Description	Date

DEPT OF BUILDINGS NO.

.....

FILING TYPE PROFESSIONAL SEAL

IF REQUIRED



Project Number 23-1002

LOT 5 RESIDENCE - HOBERMAN

111 ROUND HILL ROAD
 ARMONK, NY

BLOCK: LOT:
 DRAWING TITLE

ROOF HEIGHT CALCULATIONS

DRAWING NO.

A015

Drawn By: Author Sheet: of



3 EAST ELEVATION
 1/8" = 1'-0"



1 NORTH ELEVATION
 1/8" = 1'-0"



6 WEST ELEVATION
 1/8" = 1'-0"



2 SOUTH ELEVATION
 1/8" = 1'-0"



9 GARAGE REAR ELEVATION
 1/8" = 1'-0"



5 GARAGE SIDE ELEVATION
 1/8" = 1'-0"



7 GARAGE FRONT ELEVATION
 1/8" = 1'-0"

LOT 5 RESIDENCE - HOBERMAN				
ROOF PEAK LENGTHS				
	FEET	INCHES	HEIGHT	
GARAGE ROOF	52	3 3 / 8	52.2813 FT	31.9%
PORCH ROOF	13	6 0 / 0	13.5 FT	8.2%
MAIN ROOF HIGH PEAK	34	6 0 / 0	34.5 FT	21.1%
MAIN ROOF LOW PEAK	63	6 0 / 0	63.5 FT	38.8%
TOTAL LENGTH			163.781 FT	100.0%
MEAN LEVEL ROOF HEIGHTS				
	FEET	INCHES	HEIGHT	
GARAGE ROOF	11	7 0 / 0	11.5833 FT	X 31.9% = 3.69756 FT
PORCH ROOF	12	6 3 / 4	12.5625 FT	X 8.2% = 1.03549 FT
MAIN ROOF HIGH PEAK	27	7 1 / 4	27.6042 FT	X 21.1% = 5.81473 FT
MAIN ROOF LOW PEAK	26	8 1 / 4	26.6875 FT	X 38.8% = 10.3471 FT
AVERAGE MEAN ROOF HEIGHT			20.8949 FT	

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

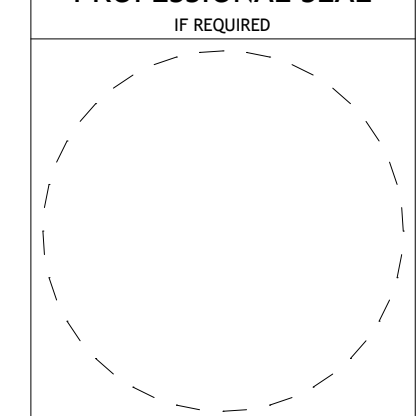
UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS

No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE	PROFESSIONAL SEAL
	IF REQUIRED



Project Number 23-1002

**LOT 5 RESIDENCE -
 HOBERMAN**

111 ROUND HILL ROAD
 ARMONK, NY

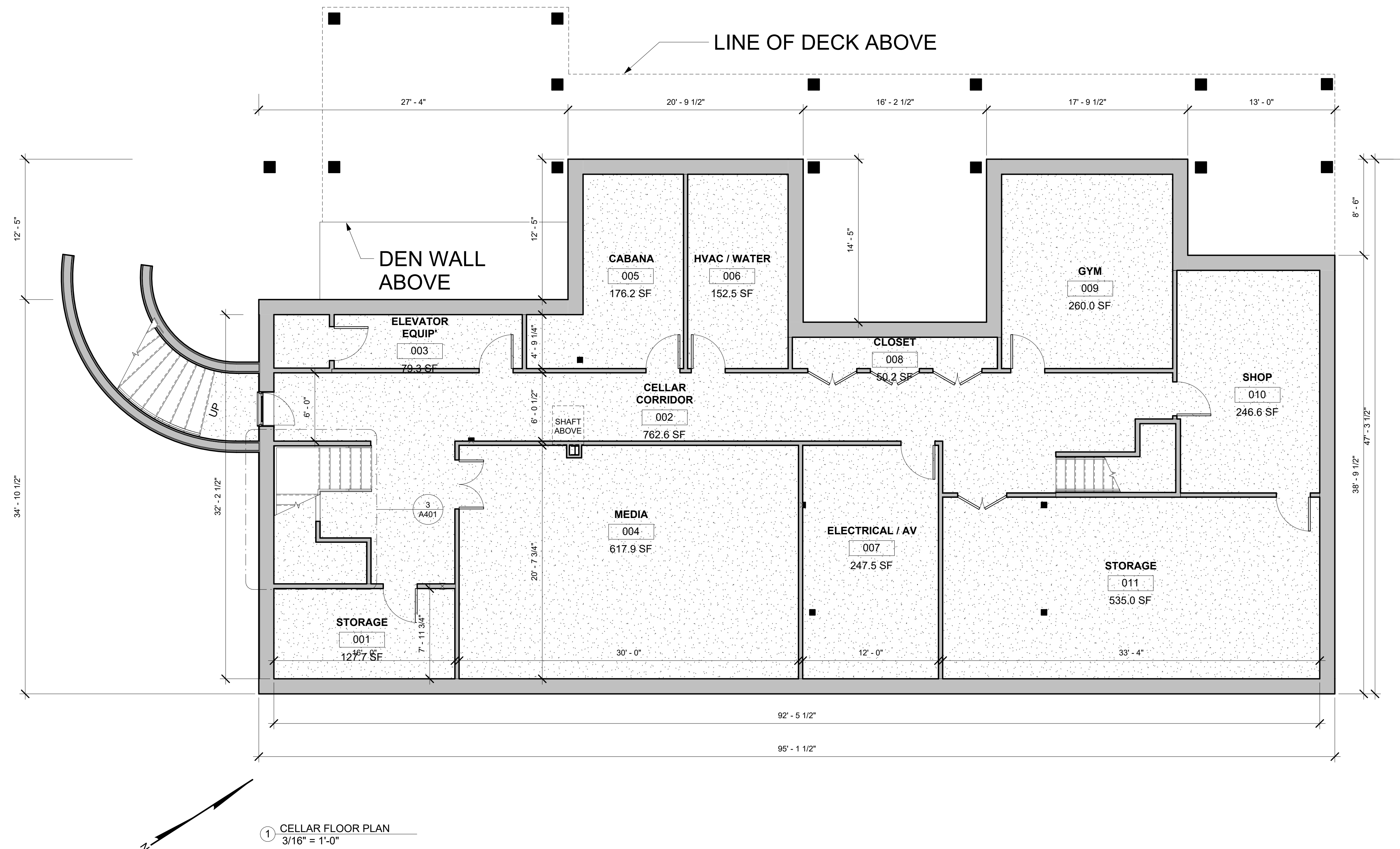
BLOCK: LOT:
 DRAWING TITLE

CELLAR FLOOR PLAN

DRAWING NO.

A100.

Drawn By: Author Sheet: of



1 CELLAR FLOOR PLAN
 3/16" = 1'-0"

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

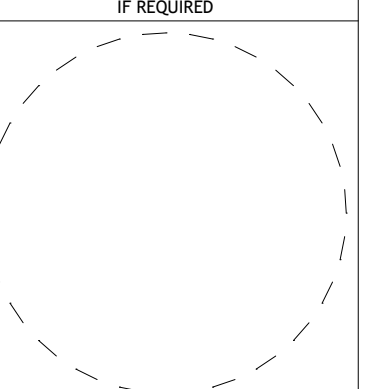
NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS

No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE

PROFESSIONAL SEAL
 IF REQUIRED



Project Number 23-1002

**LOT 5 RESIDENCE -
 HOBERMAN**

111 ROUND HILL ROAD
 ARMONK, NY

BLOCK: LOT:

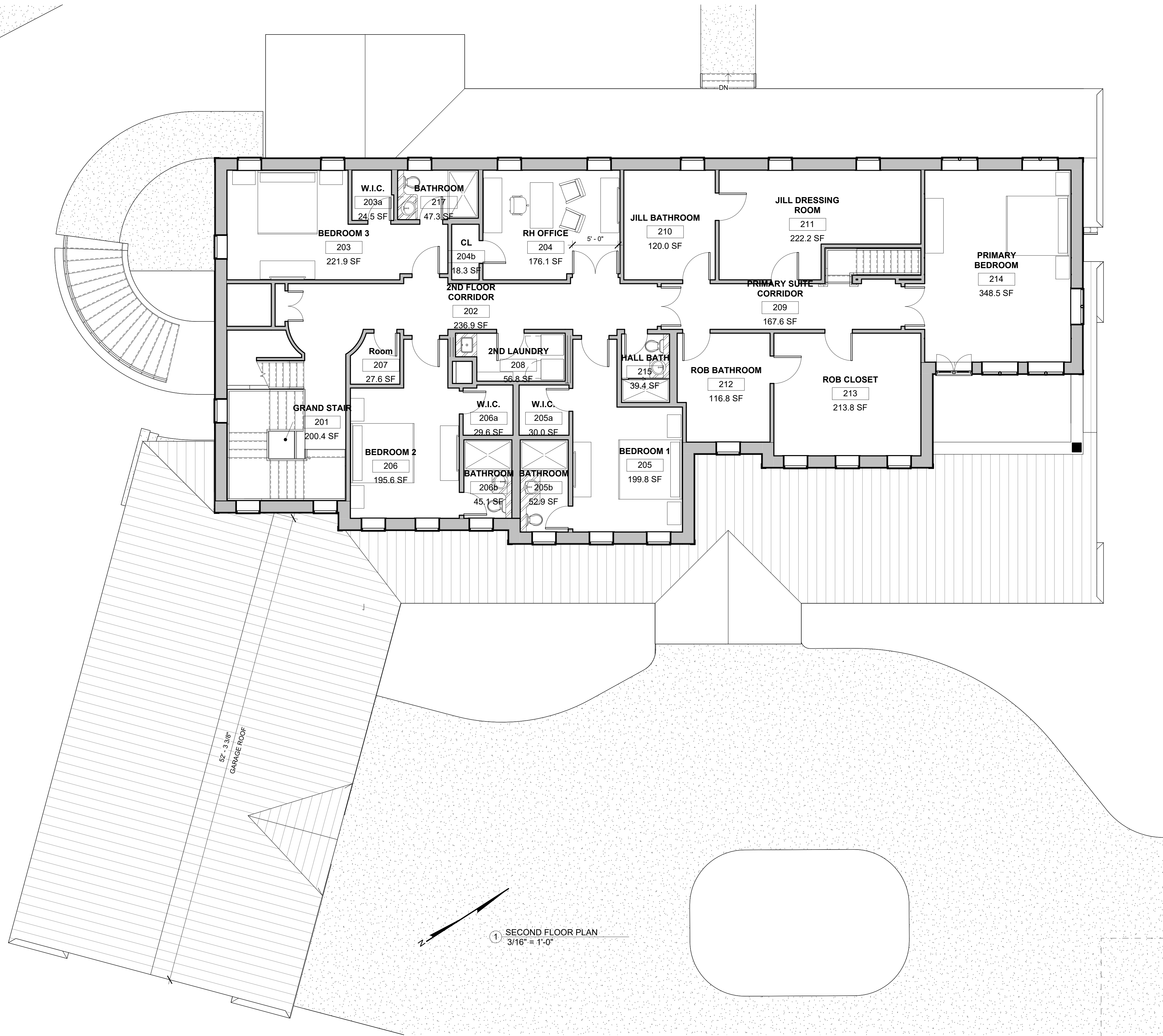
DRAWING TITLE

SECOND FLOOR PLAN

DRAWING NO.

A102.

Drawn By: Author Sheet: of



1 SECOND FLOOR PLAN
 3/16" = 1'-0"

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

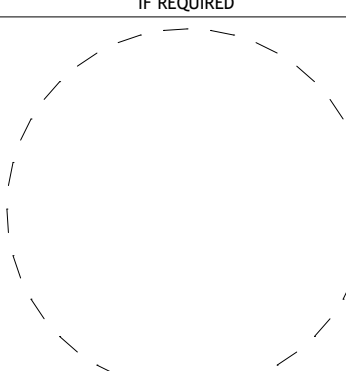
UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS

No.	Description	Date

DEPT OF BUILDINGS NO.

.....

FILING TYPE	PROFESSIONAL SEAL IF REQUIRED
	

Project Number 23-1002

**LOT 5 RESIDENCE -
 HOBERMAN**

111 ROUND HILL ROAD
 ARMONK, NY

BLOCK: LOT:

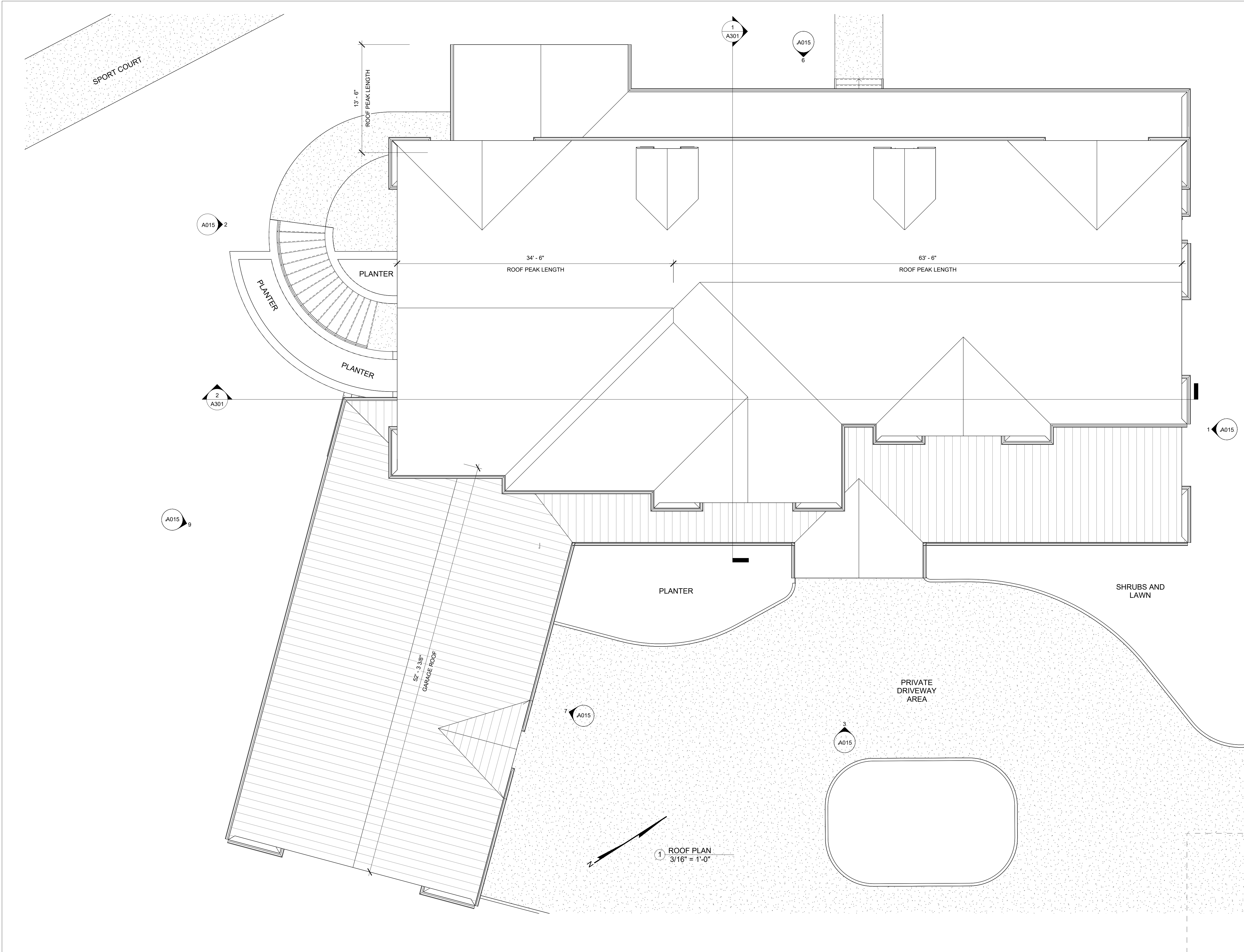
DRAWING TITLE

ROOF PLAN

DRAWING NO.

A104.

Drawn By: Author Sheet: of



CONTACT INFO

OWNERSHIP
ROUND HILL ROAD REALTY LLC
DESIGN ARCHITECT
ZACHARY HARWIN, RA
PHONE: 516-510-3747
EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
TERRY LENNON
TPL ARCHITECT
100B Danbury Road, Suite 105M,
Ridgefield, CT 06877
(914) 276-0225

CIVIL ENGINEER
Richard Williams, Jr., PE
INSITE ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, New York 10512
(845) 225-9690 x118
(845) 225-9717 Fax
www.insite-eng.com

KEY PLAN

UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS



② EAST ELEVATION
1/4" = 1'-0"



① NORTH ELEVATION
1/4" = 1'-0"

No. Description Date

No.	Description	Date

DEPT OF BUILDINGS NO.

...

FILING TYPE	PROFESSIONAL SEAL
	IF REQUIRED

Project Number 23-1002

**LOT 5 RESIDENCE -
HOBERMAN**

**111 ROUND HILL ROAD
ARMONK, NY**

BLOCK: LOT:

DRAWING TITLE
ELEVATIONS

DRAWING NO.

A200.

Drawn By: Author Sheet: of

CONTACT INFO

OWNERSHIP
ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
ZACHARY HARWIN, RA
PHONE: 516-510-3747
EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
TERRY LENNON
TPL ARCHITECT
100B Danbury Road, Suite 105M,
Ridgefield, CT 06877
(914) 276-0225

CIVIL ENGINEER
Richard Williams, Jr., PE
INSITE ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, New York 10512
(845) 225-9690 x118
(845) 225-9717 Fax
www.insite-eng.com

KEY PLAN

UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS



① WEST ELEVATION
1/4" = 1'-0"



② SOUTH ELEVATION
1/4" = 1'-0"

No.	Description	Date

DEPT OF BUILDINGS NO.
.....

FILING TYPE: _____ PROFESSIONAL SEAL IF REQUIRED

Project Number 23-1002

LOT 5 RESIDENCE -
HOBERMAN

111 ROUND HILL ROAD
ARMONK, NY

BLOCK: _____ LOT: _____

DRAWING TITLE

DRAWING NO.

A201.

Drawn By: Author Sheet: _____ of _____

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

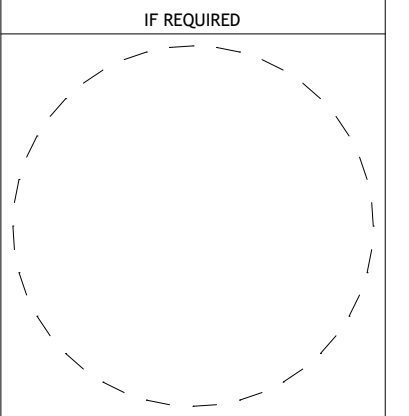
UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS

No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE PROFESSIONAL SEAL
 IF REQUIRED



Project Number 23-1002

**LOT 5 RESIDENCE -
 HOBERMAN**

111 ROUND HILL ROAD
 ARMONK, NY

BLOCK: LOT:

DRAWING TITLE

ELEVATIONS

DRAWING NO.

A202.

Drawn By: Author Sheet: of



① GARAGE FRONT ELEVATION
 1/4" = 1'-0"



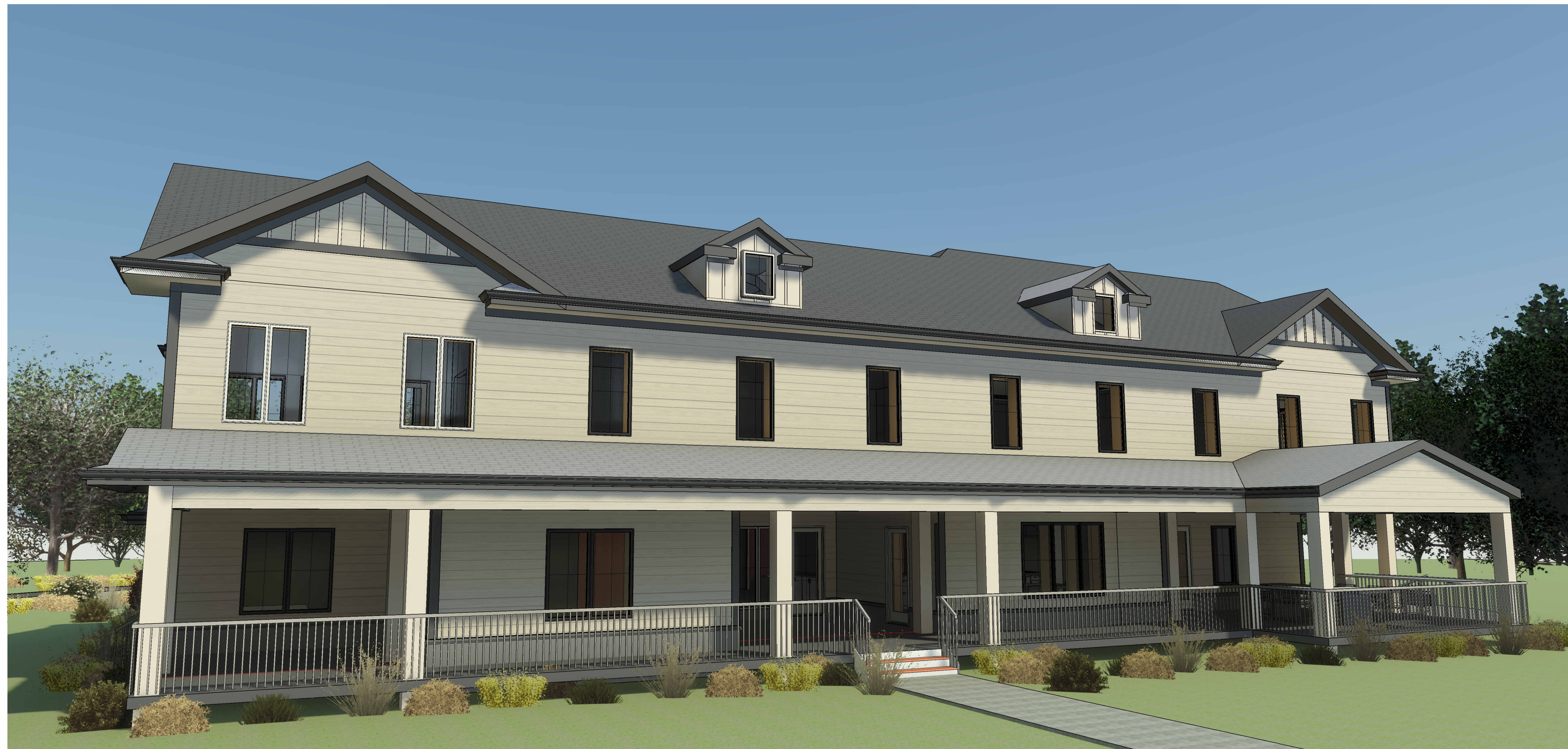
② GARAGE SIDE ELEVATION
 3/16" = 1'-0"



③ GARAGE REAR ELEVATION
 1/4" = 1'-0"



1 ARB RENDER 1



2 ARB REAR RENDER

ZACHARY HARWIN, RA

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

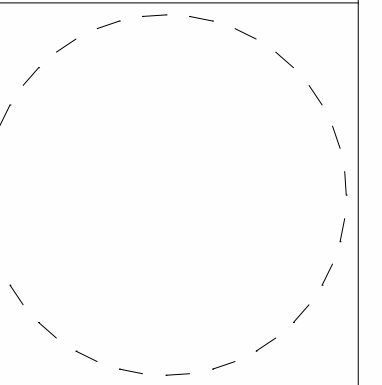
UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS

No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE PROFESSIONAL SEAL
 IF REQUIRED



Project Number 23-1002

LOT 5 RESIDENCE -
 HOBERMAN

111 ROUND HILL ROAD
 ARMONK, NY

BLOCK: LOT:
 DRAWING TITLE

EXTERIOR RENDERING

DRAWING NO.

A912

Drawn By: Author Sheet: of



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 111 ROUND HILL ROAD LOT 5 Date: 2024-02-26
 Tax Map Designation or Proposed Lot No.: 1-9-13-8

Floor Area

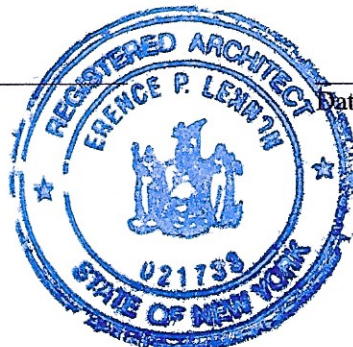
- | | | |
|-----|---|---------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>229,779SF</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>15,273.17 SF</u> |
| 3. | Amount of floor area contained within first floor:
_____ existing + _____ proposed = | <u>4,213.4 SF</u> |
| 4. | Amount of floor area contained within second floor:
_____ existing + _____ proposed = | <u>3,406.3 SF</u> |
| 5. | Amount of floor area contained within garage:
_____ existing + _____ proposed = | <u>1,084.7 SF</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
_____ existing + _____ proposed = | <u>1,466.7 SF</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
_____ existing + _____ proposed = | <u>0 SF</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
_____ existing + _____ proposed = | <u>1,105.6 SF</u> |
| 9. | Amount of floor area contained within all accessory buildings:
_____ existing + _____ proposed = | <u>2,779 SF</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>14,055.7 SF</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town’s maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town’s regulations.

Terence Lennon

2/25/2024

Signature and Seal of Professional Preparing Worksheet



Date

LOT 5 RESIDENCE - HOBERMAN

ROOF PEAK LENGTHS

	FEET	INCHES	HEIGHT	
GARAGE ROOF	52	3 3 / 8	52.2813 FT	31.9%
PORCH ROOF	13	6 0 / 0	13.5 FT	8.2%
MAIN ROOF HIGH PEAK	34	6 0 / 0	34.5 FT	21.1%
MAIN ROOF LOW PEAK	63	6 0 / 0	63.5 FT	38.8%
 TOTAL LENGTH			 163.781 FT	 100.0%

MEAN LEVEL ROOF HEIGHTS

	FEET	INCHES	HEIGHT				
GARAGE ROOF	11	7 0 / 0	11.5833 FT	X	31.9%	=	3.69756 FT
PORCH ROOF	12	6 3 / 4	12.5625 FT	X	8.2%	=	1.03549 FT
MAIN ROOF HIGH PEAK	27	7 1 / 4	27.6042 FT	X	21.1%	=	5.81473 FT
MAIN ROOF LOW PEAK	26	8 1 / 4	26.6875 FT	X	38.8%	=	10.3471 FT

AVERAGE MEAN ROOF HEIGHT	20.8949 FT
---------------------------------	-------------------

PROPERTY INFORMATION

ADDRESS: 111 ROUND HILL ROAD, ARMONK, NY 10504
MUNICIPALITY: TOWN OF NORTH CASTLE
MAP: WESTCHESTER COUNTY MAP NO. 27849
TAX MAPS: 109.01-1-49.5 & 109.01-1-1-49.4
LOT(S): 4 & 5
LOT AREA: (20.7 ACRES) LOT 4: 4.7 ACRES LOT 5: 16 ACRES
ZONE: R-2A
DOC CONTROL: 632203318
SCOPE OF WORK: NEW BARN WITH ACCESSORY APARTMENT & LOT SUBDIVISION

ZACHARY HARWIN, RA

CONTACT INFO

OWNERSHIP
ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
ZACHARY HARWIN, RA
PHONE: 516-510-3747
EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
TERRY LENNON
TPL ARCHITECT
100B Danbury Road, Suite 105M,
Ridgefield, CT 06877
(914) 276-0225

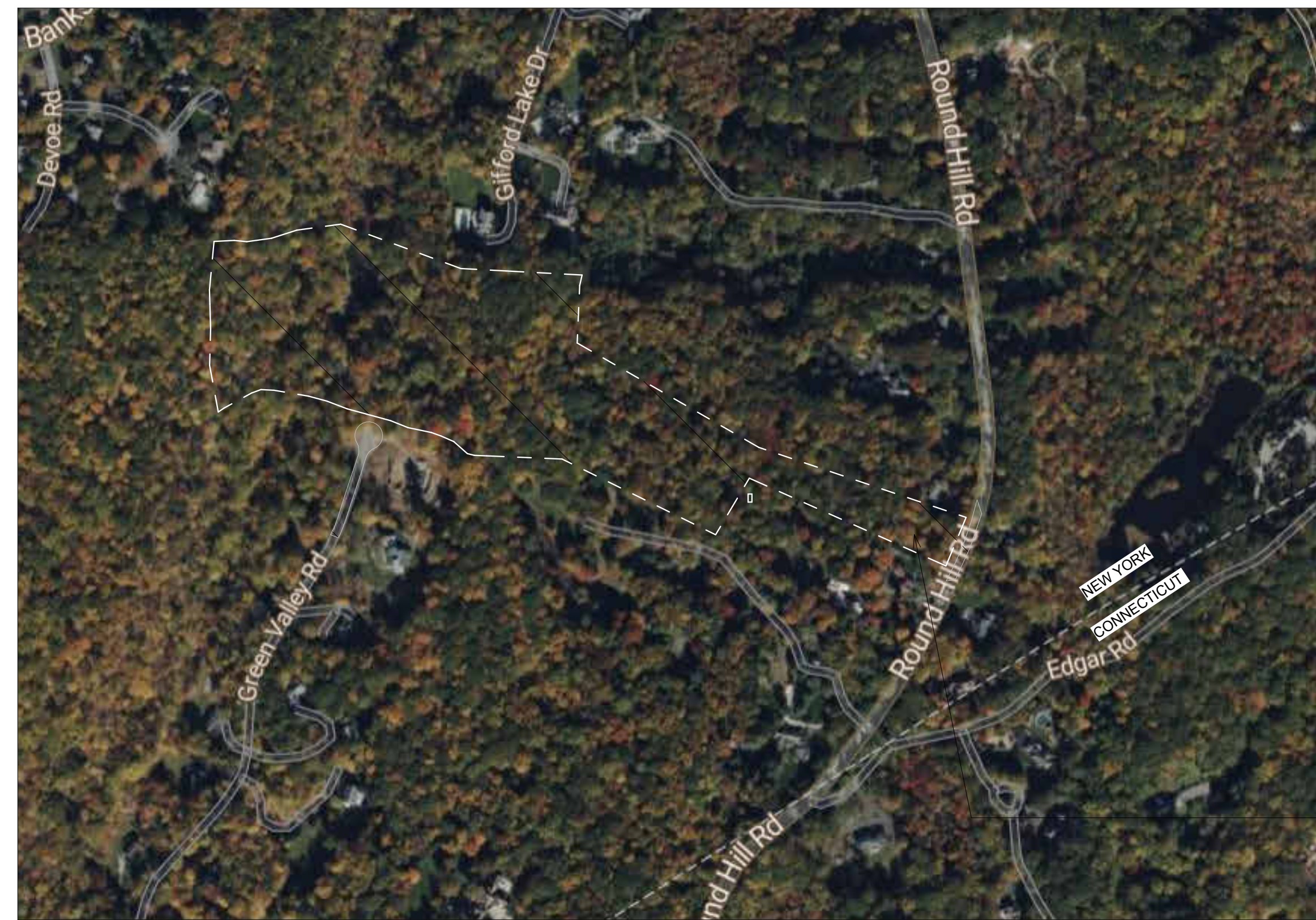
CIVIL ENGINEER
Richard Williams, Jr., PE
INSITE ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, New York 10512
(845) 225-9690 x118
(845) 225-9717 Fax
www.insite-eng.com

KEY PLAN



1 LOCATION MAP
1 1/2" = 1'-0"

PROPERTY LOCATION



2 SATELLITE MAP
1 1/2" = 1'-0"

PROPERTY LOCATION

SHEET LIST

Sheet Number	Sheet Name
A001	TITLE SHEET
A013	FLOOR AREA DIAGRAMS
A014	AREA CALCULATIONS
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A104	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A300	BUILDING SECTIONS
A900	EXTERIOR 3D VIEWS
A901	EXTERIOR RENDER

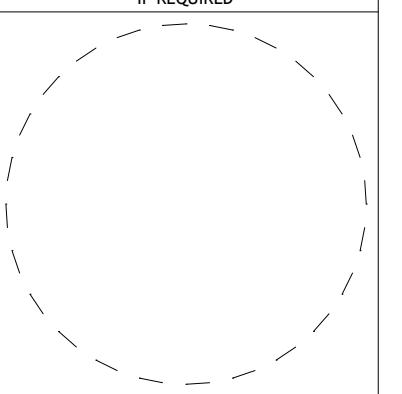
UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS.

No.	Description	Date

DEPT OF BUILDINGS NO.
... ..

FILING TYPE PROFESSIONAL SEAL
IF REQUIRED



Project Number Project Number

LOT 5 - BARN W/
ACCESSORY APARTMENT

111 ROUND HILL ROAD
ARMONK, NY

BLOCK: LOT:
DRAWING TITLE

TITLE SHEET

DRAWING NO.

A001

Drawn By: Author Sheet: of

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

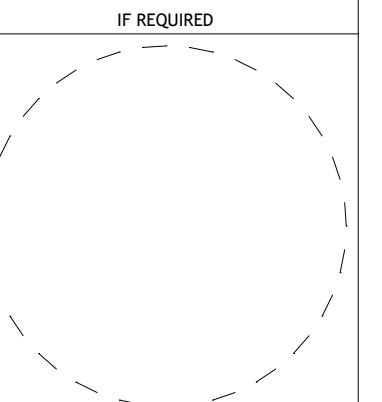
NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS

No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE

PROFESSIONAL SEAL
 IF REQUIRED



Project Number Project Number

**LOT 5 - BARN W/
 ACCESSORY APARTMENT**

**111 ROUND HILL ROAD
 ARMONK, NY**

BLOCK: LOT:

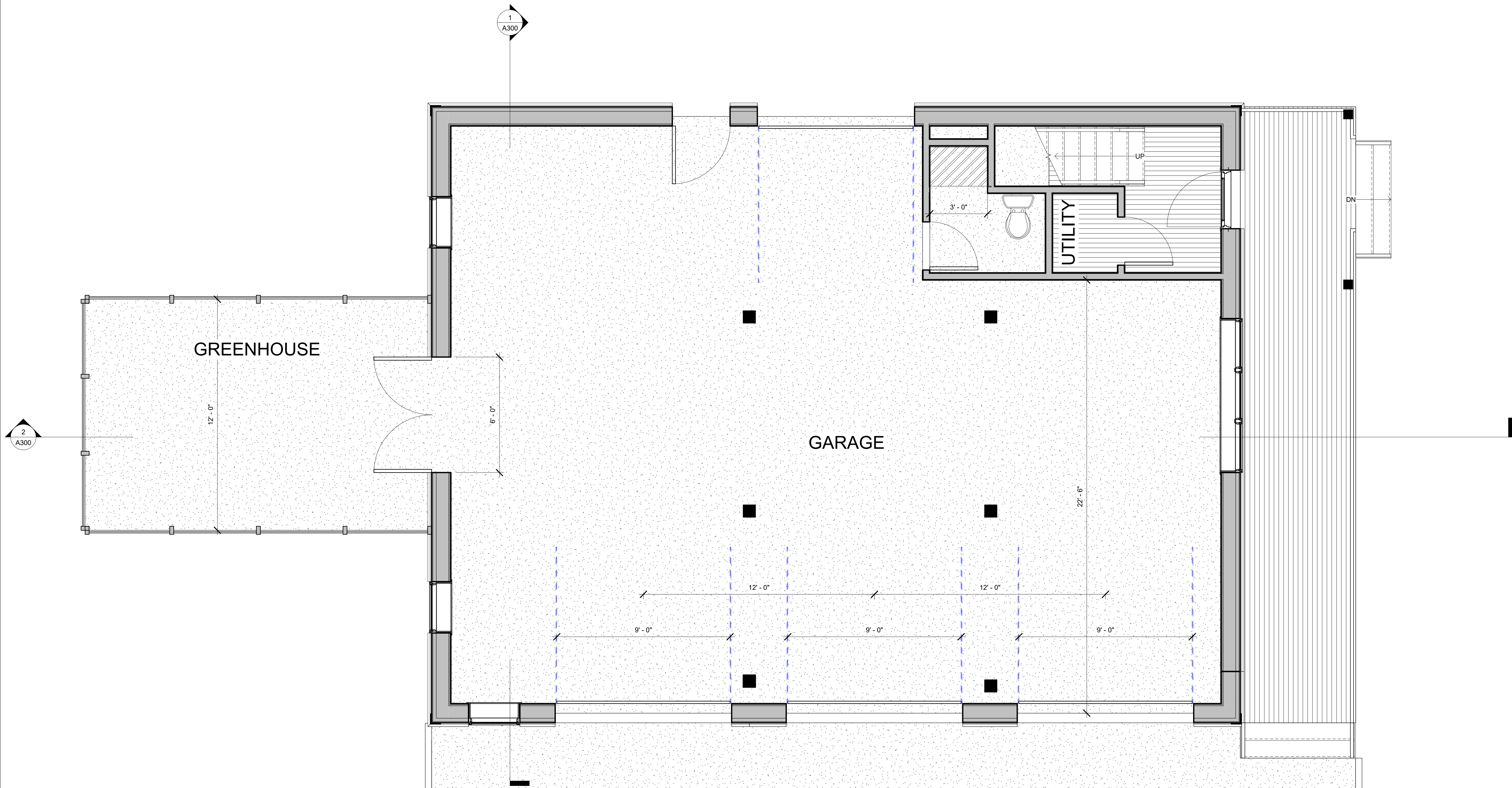
DRAWING TITLE

FIRST FLOOR PLAN

DRAWING NO.

A101

Drawn By: Author Sheet: of



1 First Floor Present
 3/8" = 1'-0"

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

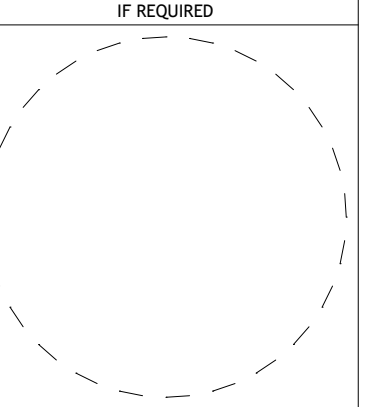
UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS

No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE PROFESSIONAL SEAL
 IF REQUIRED



Project Number Project Number

**LOT 5 - BARN W/
 ACCESSORY APARTMENT**

**111 ROUND HILL ROAD
 ARMONK, NY**

BLOCK: LOT:

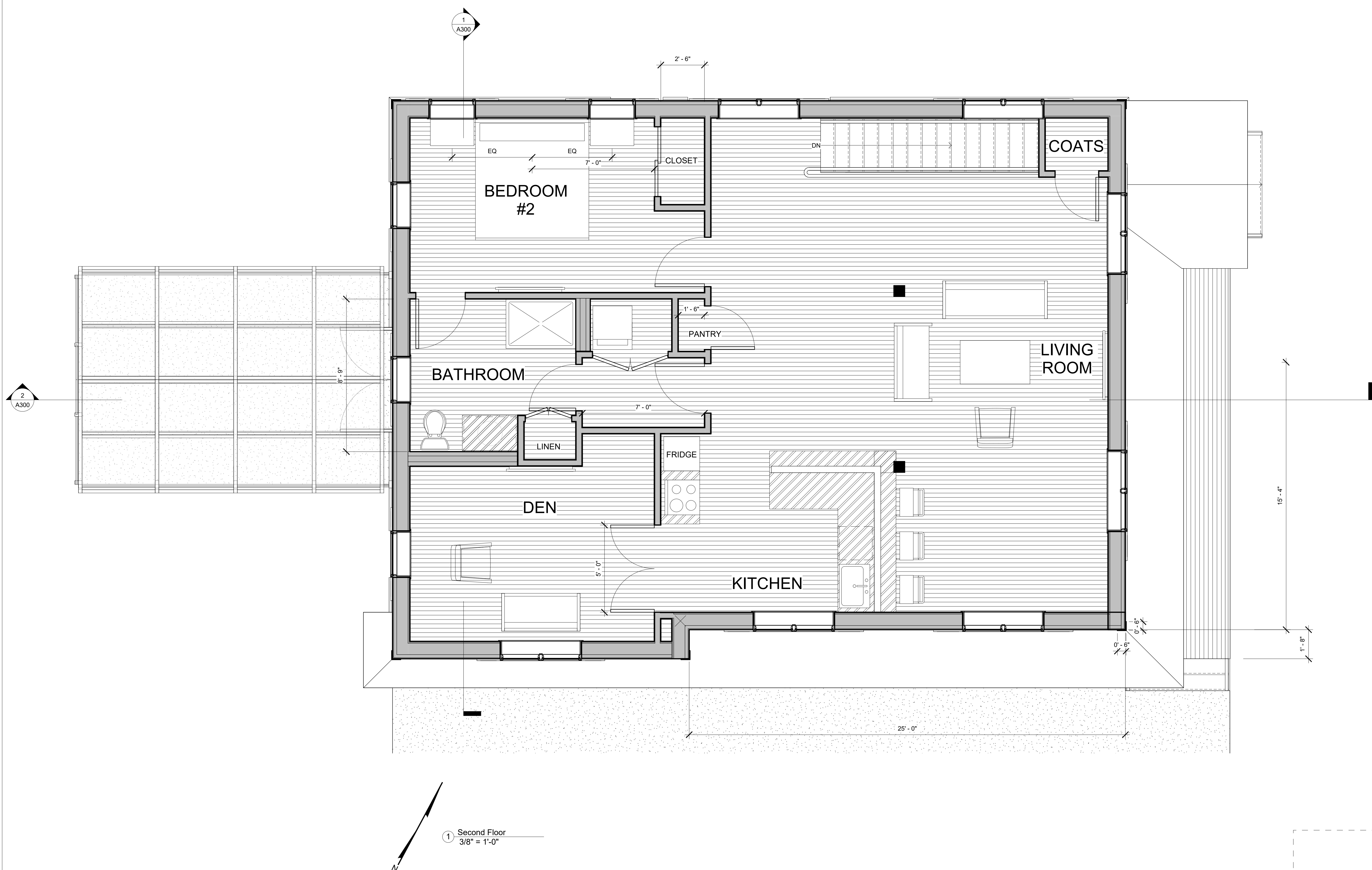
DRAWING TITLE

SECOND FLOOR PLAN

DRAWING NO.

A102

Drawn By: Author Sheet: of



ZACHARY HARWIN, RA

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

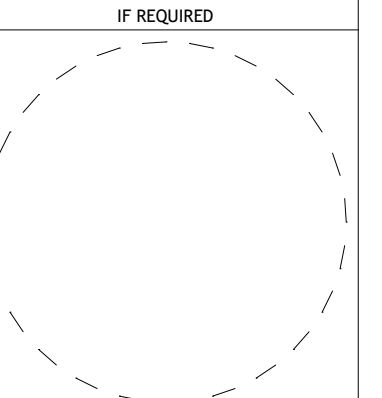
NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS

No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE

PROFESSIONAL SEAL
 IF REQUIRED



Project Number Project Number

**LOT 5 - BARN W/
 ACCESSORY APARTMENT**

**111 ROUND HILL ROAD
 ARMONK, NY**

BLOCK: LOT:

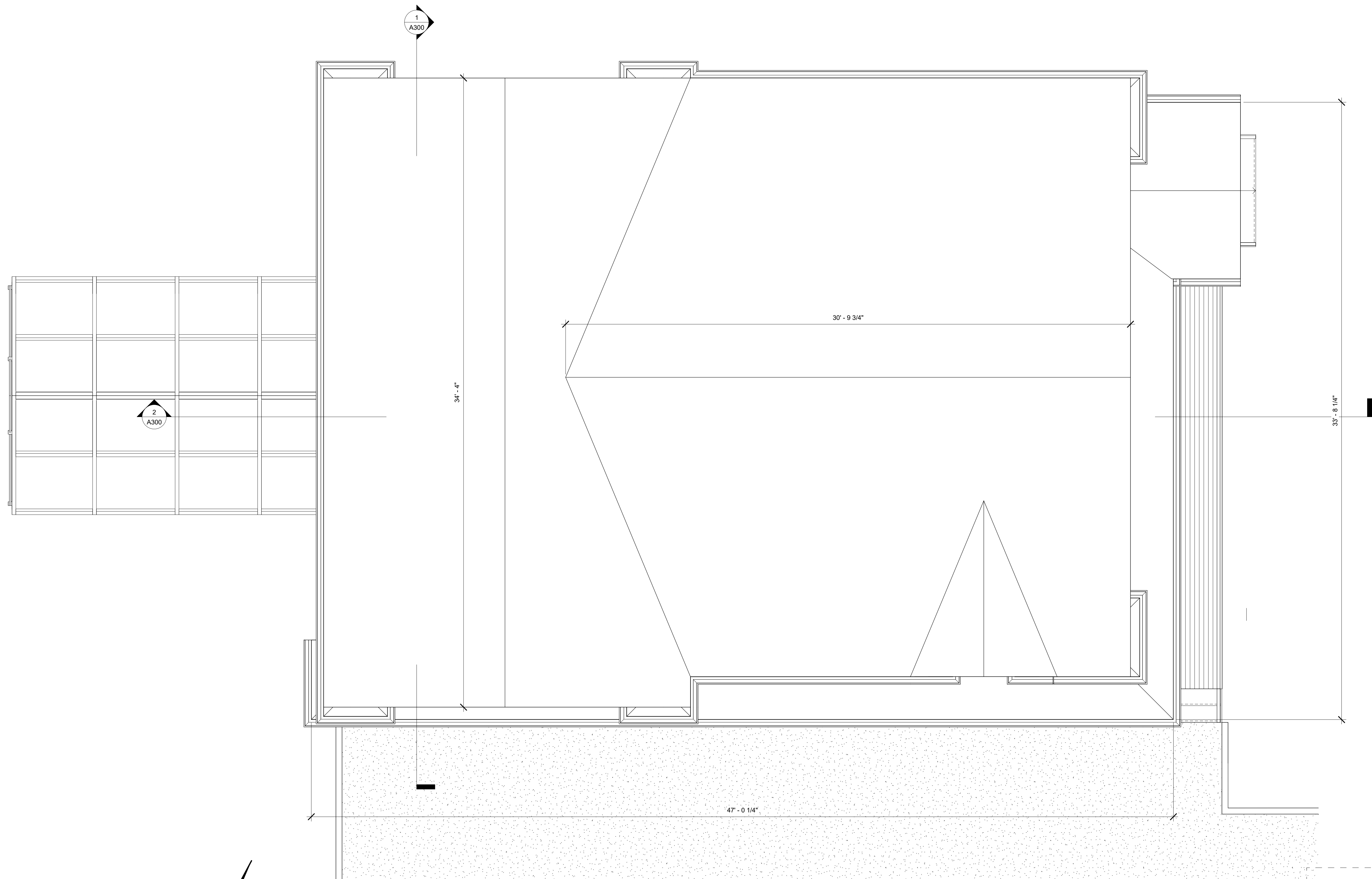
DRAWING TITLE

ROOF PLAN

DRAWING NO.

A104

Drawn By: Author Sheet: of



1 Roof Plan
 3/8" = 1'-0"

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS.

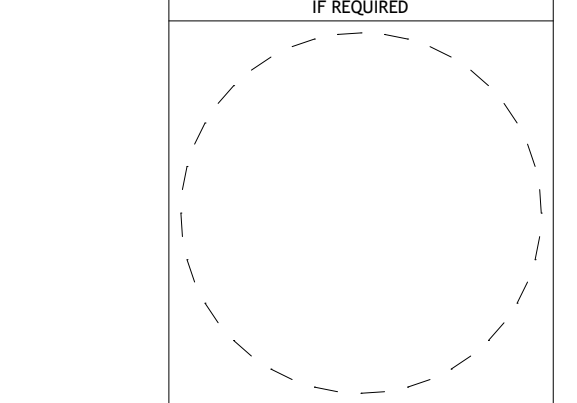
No. Description Date

No.	Description	Date

DEPT OF BUILDINGS NO.

.....

PROFESSIONAL SEAL



Project Number Project Number

LOT 5 - BARN W/
ACCESSORY APARTMENT

111 ROUND HILL ROAD
ARMONK, NY

BLOCK: LOT:

DRAWING TITLE

ELEVATIONS

DRAWING NO.

A200

Drawn By: Author Sheet: of



1 South
1/4" = 1'-0"

LOT 5 BARN					
ROOF PEAK LENGTHS					
	FEET	INCHES	HEIGHT		
HIGH PEAK	34	4 0 / 0	34.3333 FT	23.5%	
LOW PEAK	30	9 3 / 4	30.8125 FT	21.1%	
PORCH	80	8 1 / 2	80.7083 FT	55.3%	
	0	0 0 / 0	0 FT	0.0%	
TOTAL LENGTH			145.854 FT	100.0%	
MEAN LEVEL ROOF HEIGHTS					
	FEET	INCHES	HEIGHT		
HIGH PEAK	23	5 0 / 0	23.4167 FT	X 23.5%	= 5.51216 FT
LOW PEAK	21	9 9 / 9	21.8333 FT	X 21.1%	= 4.61241 FT
PORCH	10	7 0 / 0	10.5833 FT	X 55.3%	= 5.85628 FT
AVERAGE MEAN ROOF HEIGHT			15.9809 FT		



2 East
1/4" = 1'-0"

ZACHARY HARWIN, RA

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS

No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE	PROFESSIONAL SEAL
	IF REQUIRED

Project Number Project Number
**LOT 5 - BARN W/
 ACCESSORY APARTMENT**

111 ROUND HILL ROAD
 ARMONK, NY

BLOCK: LOT:
 DRAWING TITLE

ELEVATIONS

DRAWING NO.

A201

Drawn By: Author Sheet: of



CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

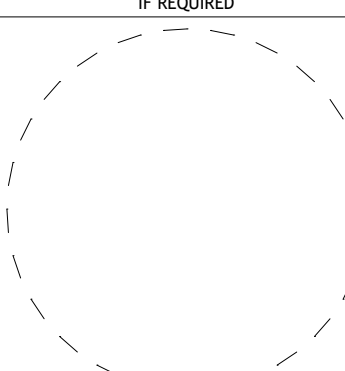
KEY PLAN

UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL, AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS.

No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE	PROFESSIONAL SEAL IF REQUIRED
	

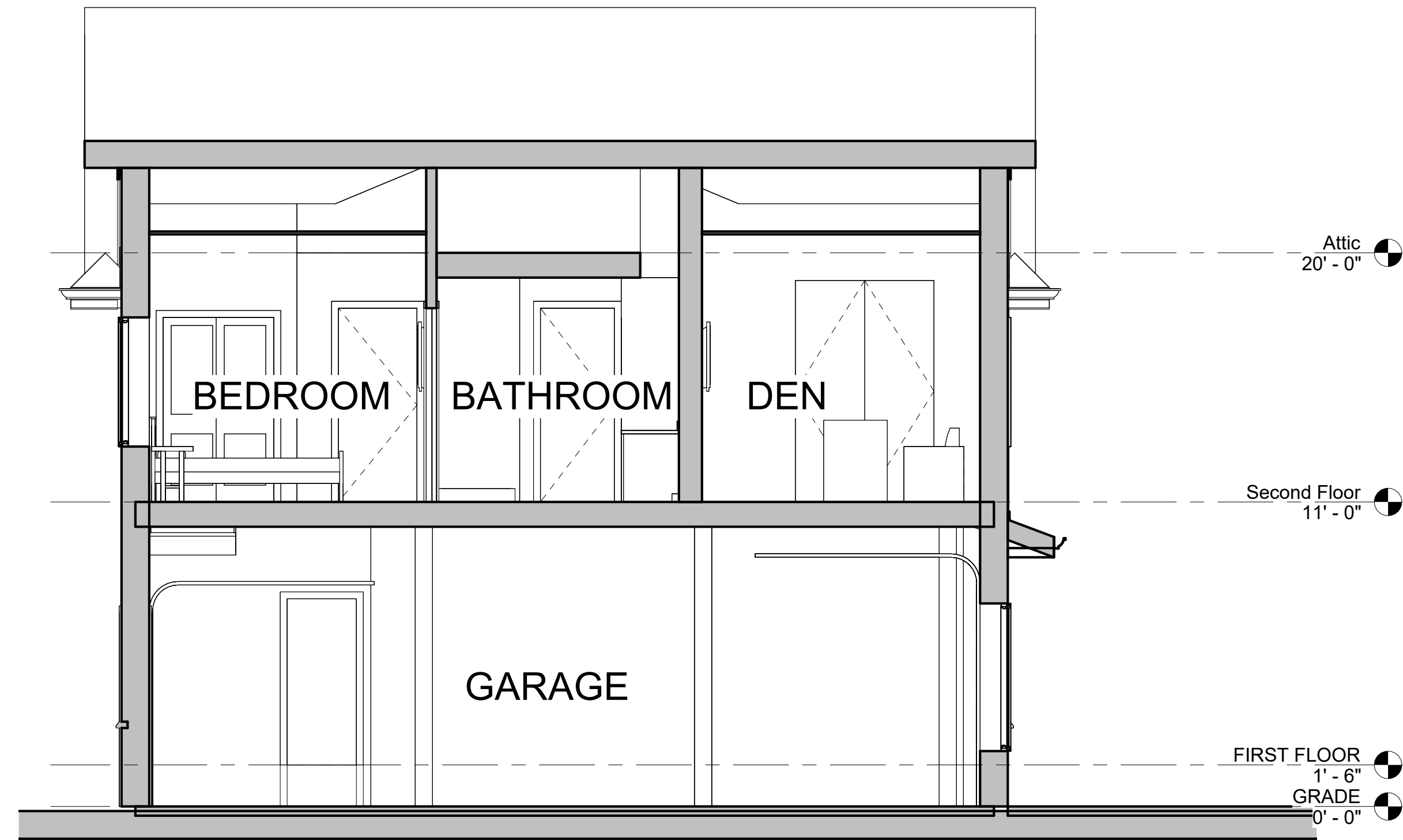
Project Number Project Number
**LOT 5 - BARN W/
 ACCESSORY APARTMENT**

111 ROUND HILL ROAD
 ARMONK, NY

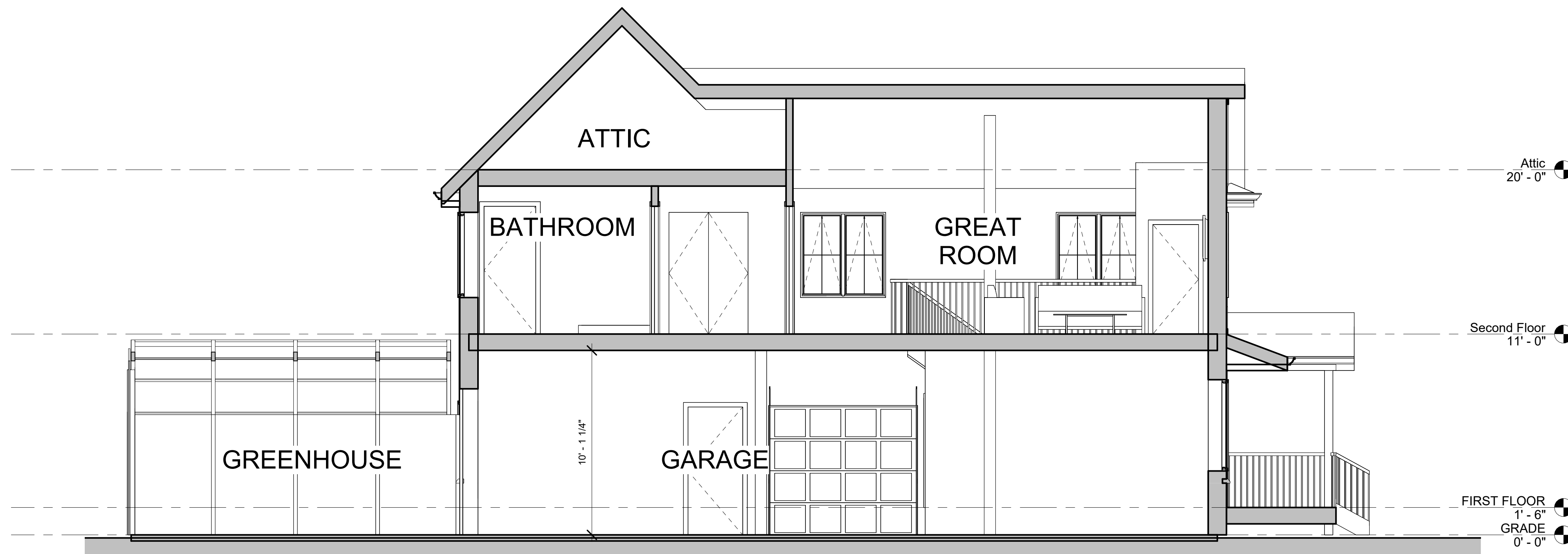
BLOCK: LOT:
 DRAWING TITLE
BUILDING SECTIONS

DRAWING NO.
A300

Drawn By: Author Sheet: of



① NORTH - SOUTH SECTION
 1/4" = 1'-0"



② EAST-WEST SECTION
 1/4" = 1'-0"

ZACHARY HARWIN, RA

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

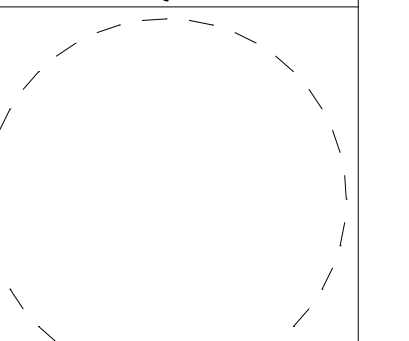
UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL AND STATE CODES, ORDINANCES ETC. THE ARCHITECT /DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS

No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE PROFESSIONAL SEAL
 IF REQUIRED



Project Number Project Number

**LOT 5 - BARN W/
 ACCESSORY APARTMENT**

**111 ROUND HILL ROAD
 ARMONK, NY**

BLOCK: LOT:

DRAWING TITLE

EXTERIOR 3D VIEWS

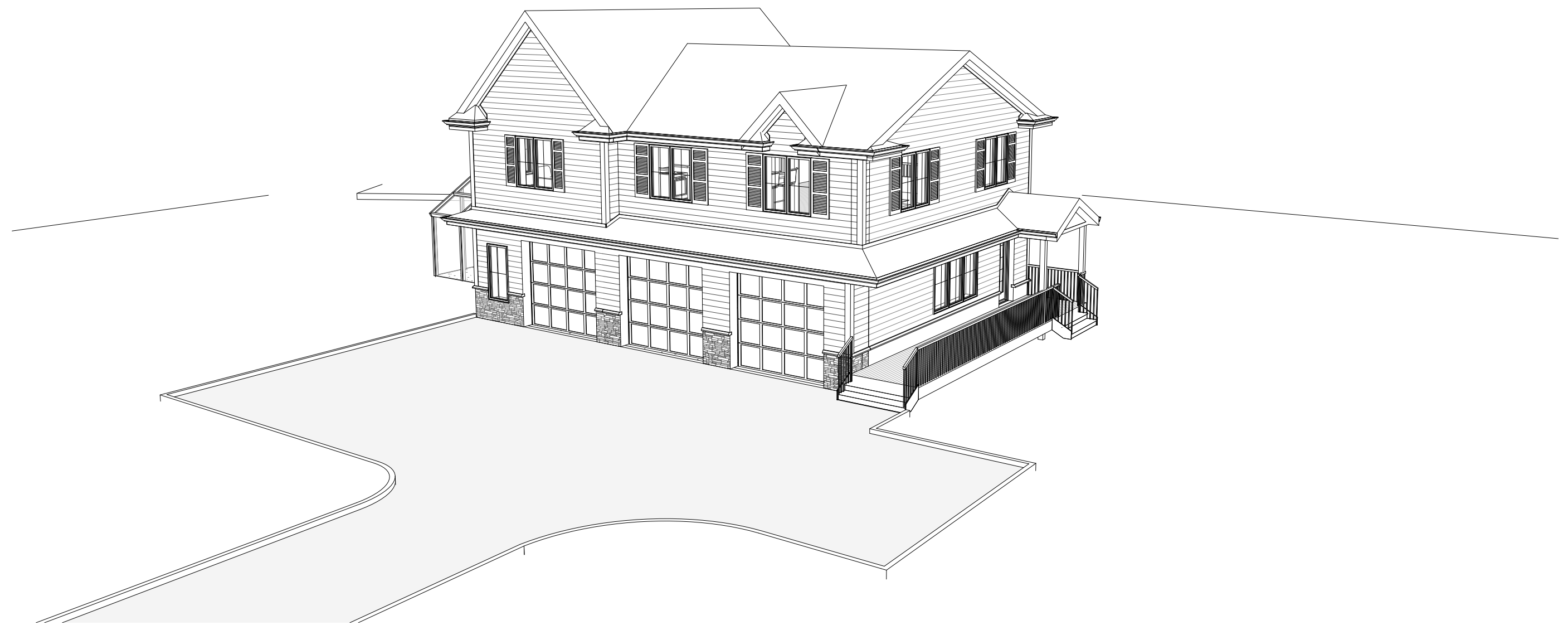
DRAWING NO.

A900

Drawn By: Author Sheet: of



1 Courtyard view 1



2 Bird's Eye View 1



4 Porch View 1



3 Rear View 1

ZACHARY HARWIN, RA

CONTACT INFO

OWNERSHIP
 ROUND HILL ROAD REALTY LLC

DESIGN ARCHITECT
 ZACHARY HARWIN, RA
 PHONE: 516-510-3747
 EMAIL: zacharyharwin@gmail.com

ARCHITECT OF RECORD
 TERRY LENNON
 TPL ARCHITECT
 100B Danbury Road, Suite 105M,
 Ridgefield, CT 06877
 (914) 276-0225

CIVIL ENGINEER
 Richard Williams, Jr., PE
 INSITE ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, New York 10512
 (845) 225-9690 x118
 (845) 225-9717 Fax
 www.insite-eng.com

KEY PLAN

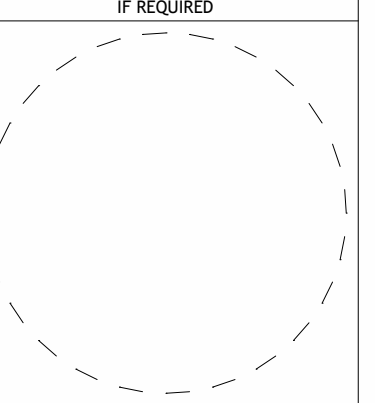
UNLESS PREVIOUSLY AGREED OTHERWISE, THE AUTHOR OF THESE DRAWINGS EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. ALL DESIGNS, SPECIFICATIONS AND DRAWINGS ARE THE PROPERTY OF THE AUTHOR, WHICH ARE TO BE USED ONLY AS INDICATED FOR THIS PROJECT. THEY SHALL NOT BE USED ON ANY OTHER PROJECT IN FULL OR IN PART, WITHOUT FIRST OBTAINING THE WRITTEN APPROVAL OF THE AUTHOR. THESE DOCUMENTS SHALL NOT BE TRANSFERRED TO ANY UNAUTHORIZED 3RD PARTY WITHOUT THE SAME PRIOR CONSENT.

NOTE: ALL WORK SHALL COMPLY WITH LOCAL, MUNICIPAL AND STATE CODES, ORDINANCES ETC. THE ARCHITECT/DESIGNER IS NOT RESPONSIBLE FOR SITE SUPERVISION, SAFETY, OR CONSTRUCTION MEANS AND METHODS

No.	Description	Date

DEPT OF BUILDINGS NO.

FILING TYPE PROFESSIONAL SEAL
IF REQUIRED



Project Number Project Number

**LOT 5 - BARN W/
 ACCESSORY APARTMENT**

**111 ROUND HILL ROAD
 ARMONK, NY**

BLOCK: LOT:

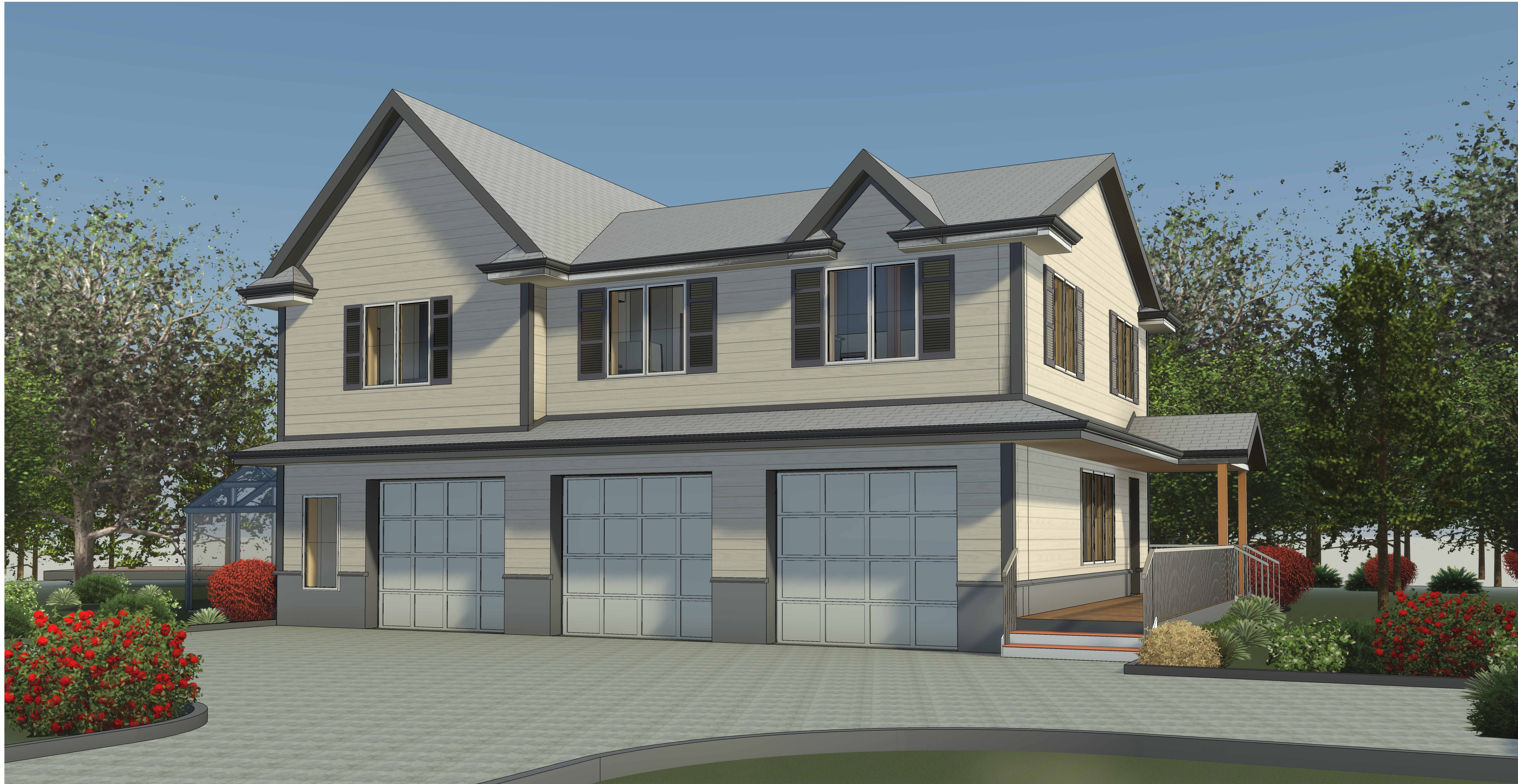
DRAWING TITLE

EXTERIOR RENDER

DRAWING NO.

A901

Drawn By: Author Sheet: of

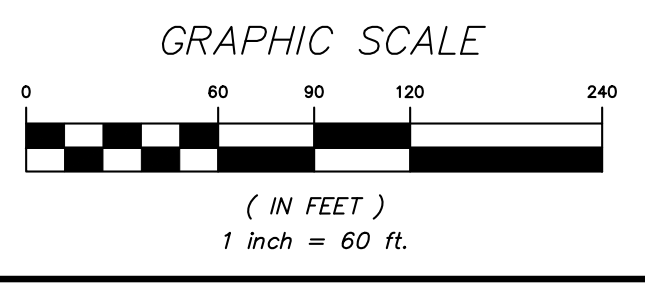




LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING DIRT TRAIL
	EXISTING GATE
	EXISTING CHAIN LINK FENCE
	EXISTING DEER FENCE
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING WETLAND BUFFER
	EXISTING 100 YR. FLOODPLAIN BOUNDARY
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	EXISTING TREELINE
	EXISTING INDIVIDUAL TREE
	EXISTING DECIDUOUS TREE (See Tree Legend)
	EXISTING PROPERTY LINE TO BE REMOVED

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.



NO.	DATE	REVISION	BY

		3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com	
PROJECT: 10 & 20 ROUND HILL ROAD <small>ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY</small>			
DRAWING: EXISTING CONDITIONS & REMOVALS PLAN			
PROJECT NUMBER	22222.100	PROJECT MANAGER	R.D.W.
DATE	2-26-24	DRAWN BY	T.S.M.
SCALE	1" = 60'	CHECKED BY	A.D.T.
DRAWING NO.			SHEET
EX-1			2
			12

