

# TOWN OF NORTH CASTLE WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

#### Application for Site Development Plan Approval

Application Name	
 Sankar Residence	



**Director of Planning** 

#### WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

TOWN OF NORTH CASTLE

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# APPLICATIONS REQUIRING PLANNING BOARD APPROVAL SCHEDULE OF APPLICATION FEES

Type of Application	Application Fee
Site Development Plan	\$200.00
Each proposed Parking Space	\$10
Special Use Permit (each)	\$200 (each)
Preliminary Subdivision Plat	\$300 1 <sup>st</sup> Lot \$200 (each additional lot)
Final Subdivision Plat	\$250 1 <sup>st</sup> Lot \$100 (each additional lot)
Tree Removal Permit	\$75
Wetlands Permit	\$50 (each)
Short Environmental Assessment Form	\$50
Long Environmental Assessment Form	\$100
Recreation Fee	\$10,000 Each Additional Lot
Discussion Fee \$200.00  Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant' representative wishes to discuss a subdivision proposal to the Planning Board, a discussion from the Planning Board, and the Pl	

\*Any amendment to previously approved applications requires new application forms and Fes\*

\$200.00 shall be submitted for each informal appearance before the board.



#### TOWN OF NORTH CASTLE

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PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

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#### PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

Type of Application Deposit*	Amount of Initial Escrow Account			
Concept Study	\$500.00			
Site Plan Waiver for Change of Use	\$500.00			
Site Development Plan for:				
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit			
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space			
1 or 2 Family Projects	\$2,000.00			
Special Use Permit	\$2,000.00 plus \$50.00 for each			
Subdivision:	required parking space			
Lot Line Change resulting in no new lots	\$1,500.00			
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)			
Preparation or Review of Environmental Impact Statement	\$15,000.00			

\* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

Applicant Signature

# 108 | 2021

# I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: Che	erryann Sankar	
Mailing Address: 26 Carolyn	Place, Armonk, New York 10504	
Telephone: 347-236-6287	_ Fax:	e-mail cherryann@almechanical.net
Name of Applicant (if different):		
Address of Applicant:		
Telephone:	Fax:	_ e-mail
Interest of Applicant, if other than	Property Owner:	
Is the Applicant (if different from	the property owner) a Contract Vendee	?
Yes No		
If yes, please submit affidavit sati	ng such. If no, application cannot be rev	viewed by Planning Board
Name of Professional Preparing S Ralph Alfonzetti, P.E.	ite Plan:	
Address:14 Smith Ave, Mou	nt Kisco, NY 10549	
Telephone: <u>914-666-9800</u>	Fax:	e-mail info@alfonzettieng.com
Name of Other Professional:L	ucio Di Leo, r.a., aia	
Address: 50 Fifth Ave., Pell	nam, NY 10803	
Telephone: 914-273-6843	Fax:	e-mail <u>lucio@studiorai.co</u> m
Name of Attorney (if any):		
Address:		
Telephone:	Fax:	e-mail

#### Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:

Signature of Property Owner:

MUST HAVE BOTH SIGNATURES

#### II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: _ 26 Carolyn Place	_
Location (in relation to nearest intersecting street):	
1,000 feet north south, east or west) of Meadow Hill Pl.	
Abutting Street(s):	_
Tax Map Designation (NEW): Section 100.04 Block 1	Lot_ 3
Tax Map Designation (OLD): SectionBlock	Lot
Zoning District: R-2A Total Land Area 2.013 Acres	
Land Area in North Castle Only (if different)	
Fire District(s) Armonk FD School District(s) Byram Hills	
Is any portion of subject property abutting or located within five hundred (5	00) feet of the following:
The boundary of any city, town or village?  No Yes (adjacent) Yes (within 500 feet) _X If yes, please identify name(s): New Castle  The boundary of any existing or proposed County or State park or an No _X _ Yes (adjacent) Yes (within 500 feet)   The right-of-way of any existing or proposed County or State parkw or highway?  No _X _ Yes (adjacent) Yes (within 500 feet)   The existing or proposed right-of-way of any stream or drainage char for which the County has established channel lines?  No Yes (adjacent) Yes (within 500 feet) _X   The existing or proposed boundary of any county or State owned lar or institution is situated?  No _X _ Yes (adjacent) Yes (within 500 feet)	ay, thruway, expressway, road
The boundary of a farm operation located in an agricultural district? No _X _ Yes (adjacent) Yes (within 500 feet)	
Does the Property Owner or Applicant have an interest in any abutting prop No _X Yes	erty?
If yes, please identify the tax map designation of that property:	

#### III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: Residence			
Gross Floor Area: Existing 41	49.1 S.F. Proposed <u>5</u> 507	.3 _ S.F.	
Proposed Floor Area Breakdown:			
Retail	S.F.; Office	S.F.;	
Industrial	S.F.; Institutional	S.F.;	
Other Nonresidential	S.F.; Residential _5507.3	S.F.;	
Number of Dwelling Units:	1		
Number of Parking Spaces: Existin	g 2 Required 2	Proposed 0	
Number of Loading Spaces: Existing	ng <u>N/A</u> Required <u>N/A</u>	ProposedN/A	
Earthwork Balance: Cut C	C.Y. Fill C.Y.		
Will Development on the subject p	roperty involve any of the follow	ing:	
Areas of special flood hazar (If yes, application for a De Code may also be required)	velopment Permit pursuant to Ch	apter 177 of the North Castle	Town
Trees with a diameter at bre	east height (DBH) of 8" or greater	<del>.</del> ?	
No X Yes (If yes, application for a Tre Code may also be required.)	ee Removal Permit pursuant to C	napter 308 of the North Castle	Town
Town-regulated wetlands? (If yes, application for a To Code may also be required.)	wn Wetlands Permit pursuant to	Chapter 340 of the North Castl	le Town
State-regulated wetlands? I	No X Yes te Wetlands Permit may also be a	required)	

#### IV. SUBMISSION REQUIREMENTS

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:** 

•	One (1) PDF set	of the site	development	plan a	pplication	package	in a single	PDF file.
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•	A check for the required application fee and a check for the required Escrow Account, both made
	payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees.'

(continued next page)

#### V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and so indicated with a check mark in the blank line provided. If a particular item is not relevant to the subject property or the development proposal, the letters "NA" should be entered instead. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

#### **Legal Data:**

Χ	Name of the application or other identifying title.
Χ	Name and address of the Property Owner and the Applicant, (if different).
X	Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
X	Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
X	Existing zoning, fire, school, special district and municipal boundaries.
X	Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
X	Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
X	Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
X	Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
X	_North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
X	A signature block for Planning Board endorsement of approval.

#### **Existing Conditions Data:**

_X	Location of existing use and design of buildings, identifying first floor elevation, and other structures.
_X	Location of existing parking and truck loading areas, with access and egress drives thereto.
_X	Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
_X	Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
N/A	Location, size and design of existing signs.
_N/A_	Location, type, direction, power and time of use of existing outdoor lighting.
<u>N/A</u>	Location of existing outdoor storage, if any.
_X	Existing topographical contours with a vertical interval of two (2) feet or less.
_X	Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.
<u>Propo</u>	sed Development Data:
N/A	Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
_X	Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
_X	Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
N/A	Proposed sight distance at all points of vehicular access.
N/A	Proposed number of employees for which buildings are designed
N/A	Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
N/A	Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
_X	Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

X Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction. N/A Location, size and design of all proposed signs. N/A Location, type, direction, power and time of use of proposed outdoor lighting. N/A Location and design of proposed outdoor garbage enclosure. N/A Location of proposed outdoor storage, if any. N/A Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings. N/A Type of power to be used for any manufacturing N/A Type of wastes or by-products to be produced and disposal method N/A In multi-family districts, floor plans, elevations and cross sections X The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction. X Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street. X Proposed soil erosion and sedimentation control measures. N/A For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code. N/A For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code. <u>N/A</u> For all proposed site development plans involving disturbance to Town-regulated wetlands,

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the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

#### Short Environmental Assessment Form Part 1 - Project Information

#### **Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information					
Name of Action or Project:					
Sankar Residence					
Project Location (describe, and attach a location map):					
26 Carolyn Place, Armonk, New York 10504					
Brief Description of Proposed Action:					
Removal of the existing poolquipment, pool, and attached patio and cabana. Also proportion cabana, as well as the required stormwater mitigation system.	osal of a p	roposed pool, pool equip	oment,	, terrace,	and
Name of Applicant or Sponsor:	Teleph	one: 347-326-6287			
Cherryann Sankar		: cherryann@almechan	oical not		
Address:		cherryalin@aimechan	iicaiiii		
26 Carolyn Place					
City/PO:		State:	Zip	Code:	
Armonk		New York	1050	)4	
1. Does the proposed action only involve the legislative adoption of a plan, l	local law	, ordinance,		NO	YES
administrative rule, or regulation?  If Yes, attach a narrative description of the intent of the proposed action and	l the envi	ronmental resources t	that	<b>/</b>	
may be affected in the municipality and proceed to Part 2. If no, continue to			inat		
2. Does the proposed action require a permit, approval or funding from any	other go	vernmental Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:				<b>/</b>	
3.a. Total acreage of the site of the proposed action?	2.01	acres			l
b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned	0.4	<sub>z</sub> acres			
or controlled by the applicant or project sponsor?	2.01	3 acres			
4. Check all land uses that occur on, adjoining and near the proposed action  ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Comm ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (☐ Parkland ☐ Common ☐ Parkland ☐ Description ☐ Desc	nercial	`	ban)		

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?		<b>~</b>	
b. Consistent with the adopted comprehensive plan?		>	
6. Is the proposed action consistent with the predominant character of the existing built or natural		NO	YES
landscape?			<b>~</b>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental At	rea?	NO	YES
If Yes, identify:	<u> </u>	<b>'</b>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES
b. Are public transportation service(s) available at or near the site of the proposed action?		<u> </u>	
		<b>V</b>	<u> </u>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed ac	tion?	<u>/</u>	TVEC
9. Does the proposed action meet or exceed the state energy code requirements?  If the proposed action will exceed requirements, describe design features and technologies:		NO	YES
			<b>V</b>
10. Will the proposed action connect to an existing public/private water supply?		NO	YES
If No, describe method for providing potable water:	ļ		<b>V</b>
		Ш	
11. Will the proposed action connect to existing wastewater utilities?		NO	YES
If No, describe method for providing wastewater treatment:			<b>V</b>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		NO	YES
b. Is the proposed action located in an archeological sensitive area?		<b>V</b>	
		<b>V</b>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contai wetlands or other waterbodies regulated by a federal, state or local agency?	n	NO V	YES
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?			一
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check a ☐ Shoreline  Forest ☐ Agricultural/grasslands ☐ Early mid-successi		apply:	
□ Wetland □ Urban	Onai		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed		NO	YES
by the State or Federal government as threatened or endangered?		<b>V</b>	
16. Is the project site located in the 100 year flood plain?		NO	YES
		<b>'</b>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,		NO	YES
a. Will storm water discharges flow to adjacent properties?		Ш	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drain	ıs)?		
If Yes, briefly describe: NO VES  Cultec chambers are proposed to contain any runoff due to any additions.			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain purpose and size:		
	~	
19 Has the site of the proposal action.		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:		
		Ш
20 Hoo the site of the		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:		
		Ш
I AFFIRM THAT THE INCORMATION PROVIDED A POLYTRE		
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE E KNOWLEDGE	BEST O	F MY
Applicant/sponsor name: Cherryann Sankar  Date: 4/08/00	211	
Signature:	4	



#### TOWN OF NORTH CASTLE

#### WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

#### PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

January 29, 2019 Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

#### FLOOR AREA CALCULATIONS WORKSHEET

Applicat	tion Name or Identifying Title:	Sankar Residence	Date: 3/19/24
Tax Ma <sub>l</sub>	Designation or Proposed Lot No.:	100.04-2-1	_
Floor Ar	<u>rea</u>		
1.	Total Lot Area (Net Lot Area for Lo	ots Created After 12/13/06):	87,555.6
2.	Maximum permitted floor area (per	r Section 355-26.B(4)):	13,270
3.	Amount of floor area contained with 4,149.10 existing +		4,149.10
4. -	Amount of floor area contained with existing +		0
5. -	Amount of floor area contained with 745.2 existing +		745.2
6. -	Amount of floor area contained with existing +	hin porches capable of being enclosed: _ proposed =	0
7. -	Amount of floor area contained with existing +	hin basement (if applicable – see definition _ proposed =	n): 0
8.	Amount of floor area contained with existing +	hin attic (if applicable – see definition): _ proposed =	0
9. -	Amount of floor area contained with existing +613		613
10. Pro	posed floor area: Total of Lines	33-9=	_5,507.3
and the pyour pro		ERED ARCH	



#### TOWN OF NORTH CASTLE

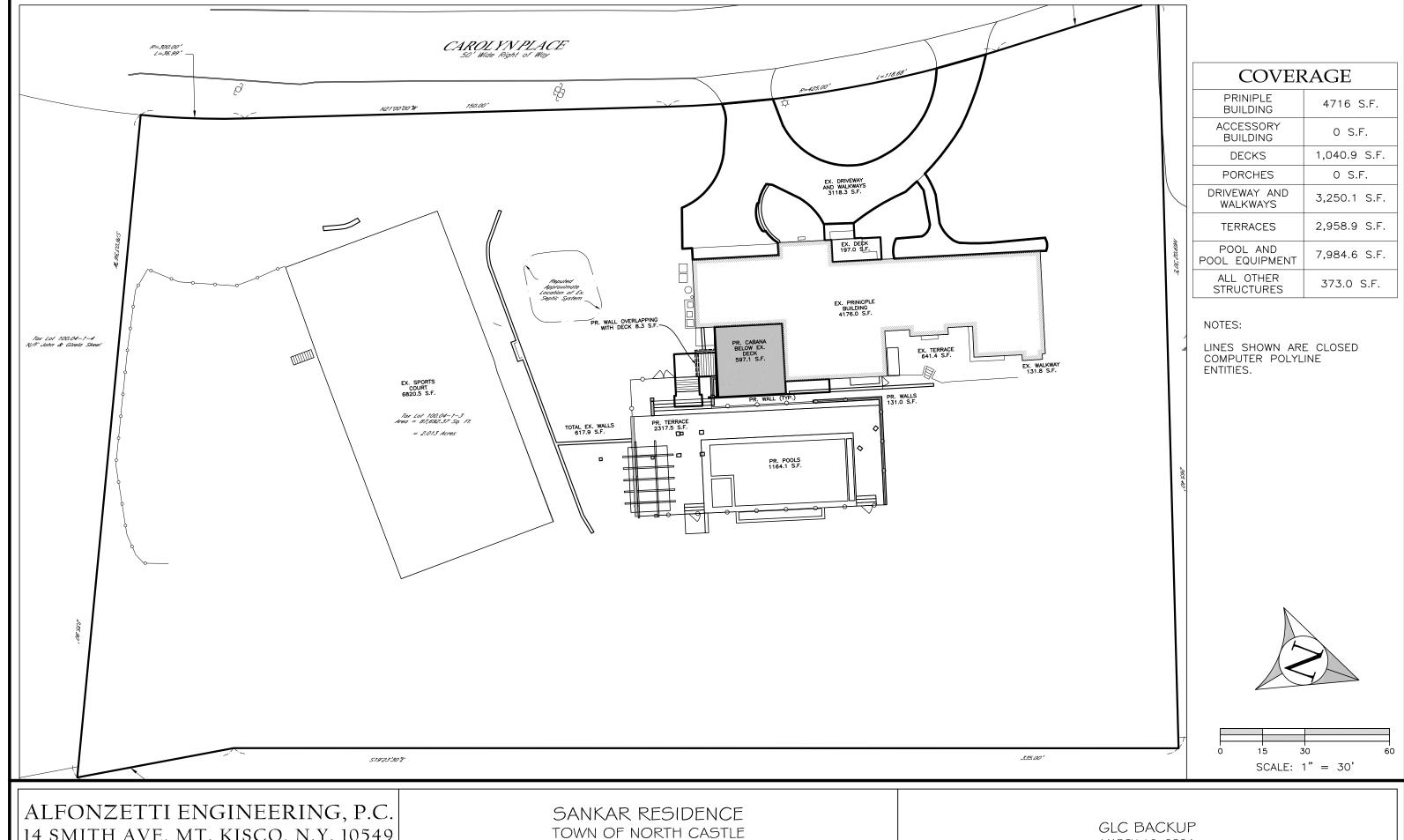
#### WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

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#### GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Applica	tion Name or Identifying Title: Sankar Residence	Date: <u>03/19/24</u>
Tax Maj	p Designation or Proposed Lot No.: 100.04-1-3	
Gross L	ot Coverage	
1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	_87,692.4 s.f.
2.	<b>Maximum</b> permitted gross land coverage (per Section 355-26.C(1)(b)):	_13298.6 s.f.
3.	<b>BONUS</b> maximum gross land cover (per Section 355-26.C(1)(b)):	
_0_	Distance principal home is beyond minimum front yard setback $x 10 = 0$	<u>0 s.f</u> .
4.	<b>TOTAL Maximum Permitted gross land coverage</b> = Sum of lines 2 and 3	<u>13,298.6 s.f</u> .
5.	Amount of lot area covered by <b>principal building:</b> 4176.0 existing + 0 proposed =	4,176.0 s.f.
6.	Amount of lot area covered by <b>accessory buildings:</b> 0  proposed =	_0 s.f
7.	Amount of lot area covered by <b>decks:</b> 1376.5 existing +597.1 proposed =	1,040.9 s.f.
8.	(335.6) To be removed (597.1) Deck built above existing  Amount of lot area covered by <b>porches:</b> 0 existing + 0 proposed =	0 s.f.
9.	Amount of lot area covered by <b>driveway</b> , <b>parking areas and walkways:</b> 3250.1 existing + 0 proposed =	3,250.1 s.f.
10.	Amount of lot area covered by <b>terraces:</b>	2,958.9 s.f.
11.	Amount of lot area covered by <b>tennis court</b> , <b>pool and mechanical equip</b> :	_7,984.6 s.f.
12.	Amount of lot area covered by <b>all other structures:</b> 617.9 existing + 133.1 proposed = (367.4) To be removed (8.3) Overlapping with deck	373.0 s.f.
13. Prop		19783.5 s.f.
the projection does not	13 is less than or equal to Line 13 complies with the Town's maximum ect may proceed to the Residental Property of the Complies with the Town's regulations.  The complex with the Town's regulations.  The complex with the Town's regulations.  O3/19/2  Date	is greater than Line 4 your proposal

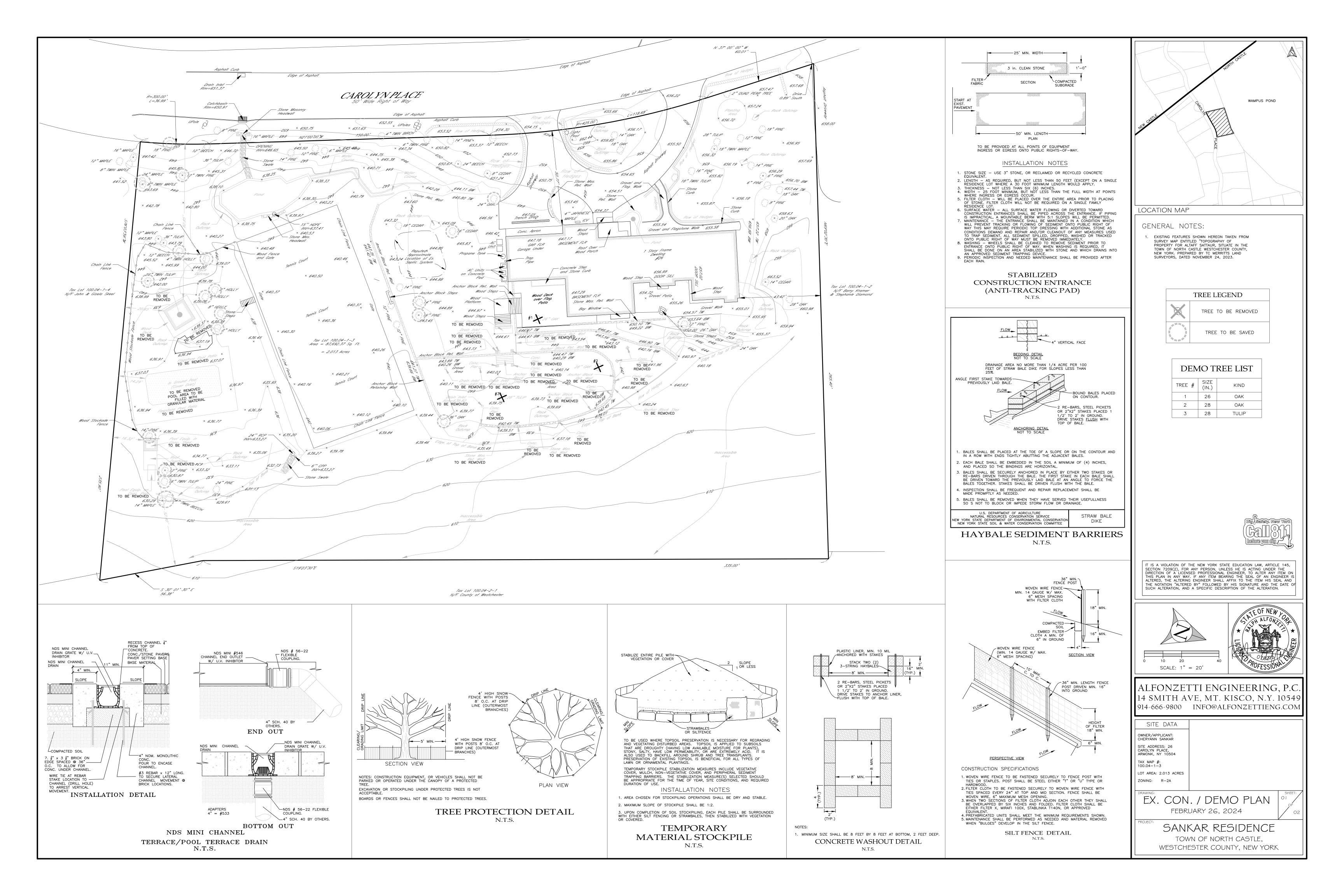


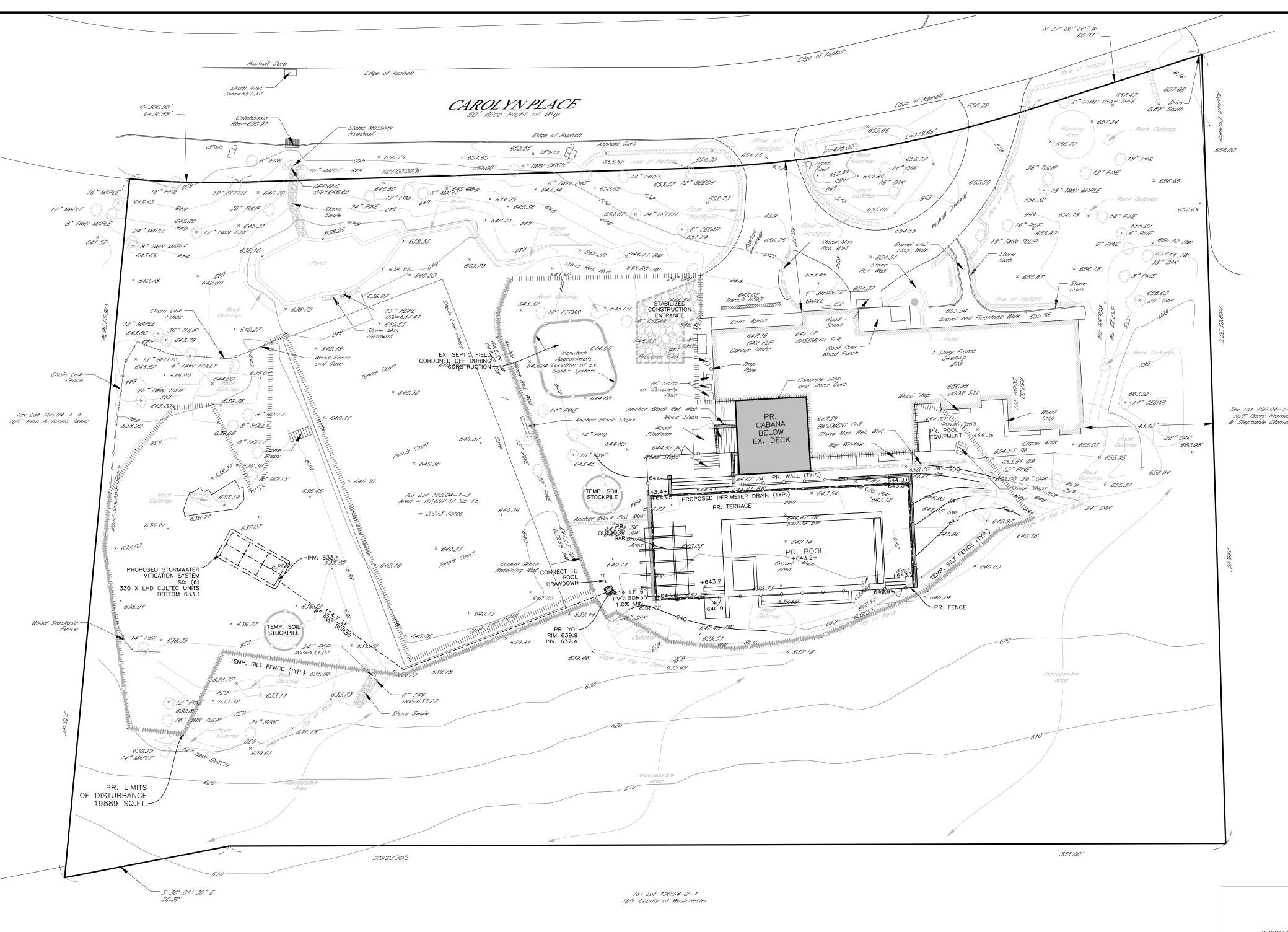
14 SMITH AVE, MT. KISCO, N.Y. 10549 914-666-9800 INFO@ALFONZETTIENG.COM

TOWN OF NORTH CASTLE WESTCHESTER COUNTY, NEW YORK

MARCH 18, 2024

REVISED: APRIL 6, 2024





CONSTRUCTION SEQUENCE:

REMOVE TREES PER SITE DEMOLITION PLAN.

CONSTRUCTED.

4. STAGING AREA SHALL BE WITHIN THE DISTURBANCE LIMITS.

IN JUNE OF 2024. THE GENERAL SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:

1. SURVEY AND STAKE LIMITS OF DISTURBANCE AND EROSION CONTROL INSTALLATION.

END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS.

6. EXCAVATE FOR PROPOSED FOOTINGS/FOUNDATION. HOUSE FRAMING AND SUPERSTRUCTURE IS

EXCAVATE AND INSTALL SUBSURFACE UTILITIES; ELECTRIC TELEPHONE/CABLE/DRAINAGE. SEPTIC SYSTEM SHALL BE INSTALLED.

REMOVE EROSION CONTROL: SILT FENCE AND ANTI-TRACKING PAD. DISCARD EROSION CONTROL DEVICES IN AN LAWFUL MANNER.

8. FINAL GRADING, SEEDING, SODDING, AND OTHER SOIL STABILIZING LANDSCAPING FOR FINAL SITE

INSTALL EROSION CONTROLS (ANTI-TRACKING PAD, SILT FENCE, TEMPORARY SOIL STOCKPILES) AS

SHOWN ON THE EROSION CONTROL PLAN AND PER THE RESPECTIVE EROSION CONTROL DETAILS.

STRIP TOPSOIL AND ROUGH GRADING. NOTE THAT DISTURBED SOIL THAT WILL NOT BE WORKED FOR A PERIOD GREATER THAN 14 DAYS MUST BE STABILIZED. STABILIZATION MUST BE INITIATED BY THE

EROSION CONTROL NOTES:

AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.

BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.

AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND

. INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2"-3" DIAMETER CRUSHED STONE 6"

4. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL

STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION

. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES,

'. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.

B. ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.

9. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.

10. ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD

12. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS

13. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.

AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.

STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).

1. UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED

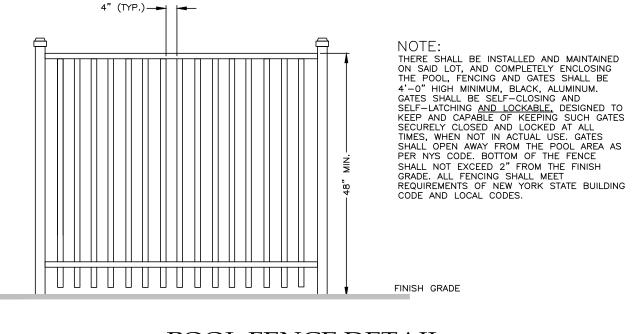
14. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK

IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.

6. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.

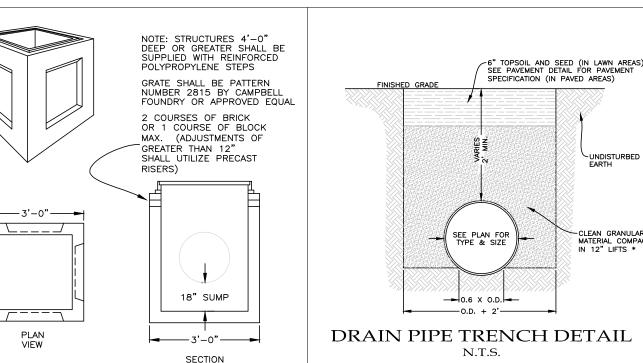
EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.

. PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.

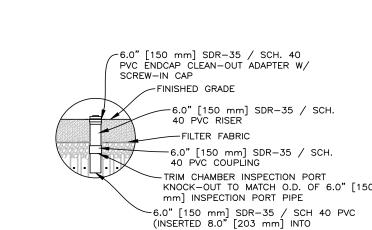


# POOL FENCE DETAIL

(OR APPROVED EQUAL)



YARD DRAIN N.T.S.



#### 'CULTEC' CHAMBERS INSPECTION PORT NON-TRAFFIC APPLICATION N.T.S

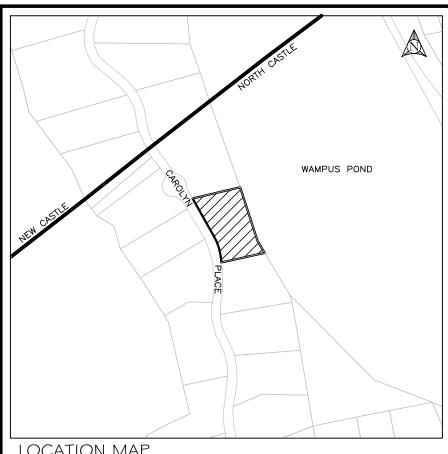
#### CULTEC NO. 410 NON-WOVEN GEOTEXTILE AROUND STONE. TOP AND SIDES MANDATORY, DO NOT INSTALL AT BOTTOM HVLV FC-24 FEED CONNECTOR WHERE SPECIFIED — NATURALLY COMPACTED FILL 1-2 INCH [25-51 mm] DIA. WASHED, CRUSHED STONE - FINISHED GRADE - 6.0" [152 mm] MIN. 6.0" [152 mm] MIN 58.0" [1473 mm] MIN 52.0" [1321 mm] — CULTEC NO. 66 WOVEN GEOTEXTILE (FOR SCOUR PROTECTION) TO BE PLACED BENEATH INTERNAL - DESIGN ENGINEER RESPONSIBLE FOR ENSURING THE

WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS

# DOOL DDAW DOWN CALCII ATION

769 S.F. X (6.46IN. / (12IN./FT.)) = 414.0 C.F. 414.0 C.F. / (79.26 C.F./CHAMBER) = 5.22 CHAMBERS ROUND UP TO SUFFICE ENOUGH CULTEC CHAMBERS = 6 CHAMBERS

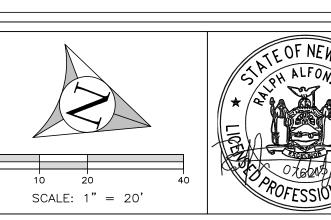
IMPERVIOUS AREA CHART				
EXISTING IMPERVIOUS AREA	18882.7 S.F.			
TOTAL PROPOSED IMPERVIOUS AREA	19651.7 S.F.			
NET CHANGE IN IMPERVIOUS AREA	769 S.F.			



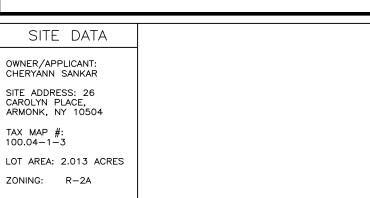
LOCATION MAP

# Dig Safely. New York

#### IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C 14 SMITH AVE, MT. KISCO, N.Y. 10549 914-666-9800 INFO@ALFONZETTIENG.COM



PROPOSED POOL FEBRUARY 26, 2024

> SANKAR RESIDENCE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK

#### RECHARGER 330XLHD HEAVY DUTY CHAMBER THE PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ONE PHASE. THE CONSTRUCTION WILL BE IN A SEQUENCE THAT WILL MINIMIZE THE POTENTIAL FOR EROSION. CONSTRUCTION IS SCHEDULED TO BEGIN FTC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL COLF 753 (FORMERLY CODE 53) ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) 2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE 3. EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE 4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL 5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION. 12.0" [305 mm] MIN. 7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR 8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING MANIFOLD FEATURE AND BENEATH ALL REQUIRED BEARING CAPACITY OF SUB-GRADE SOILS (TYP.) INLET/OUTLET PIPES 9. ALL PROPOSED OR DISTURBED SLOPES, 1H:2V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. 10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY.

STORAGE PROVIDED = 11.32 CF/FT [1.05 m³/m] PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS

# 330XLHD CULTEC DETAIL

DRAINAGE CALUALTIONS

POOL DRAW DOWN CALCULATION					
	POOL AREA	1,082 S.F.			
	POOL DRAW DOWN	0.5 FT			
	POOL DRAW DOWN VOLUME	541 C.F			

CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.

11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE

DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A

CONSTRUCTION NOTES:

LICENSED PROFESSIONAL ENGINEER.

ENGINEER.

PRIOR TO THE START OF CONSTRUCTION.

ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.

AGENCY AND THE APPROPRIATE UTILITY COMPANY.

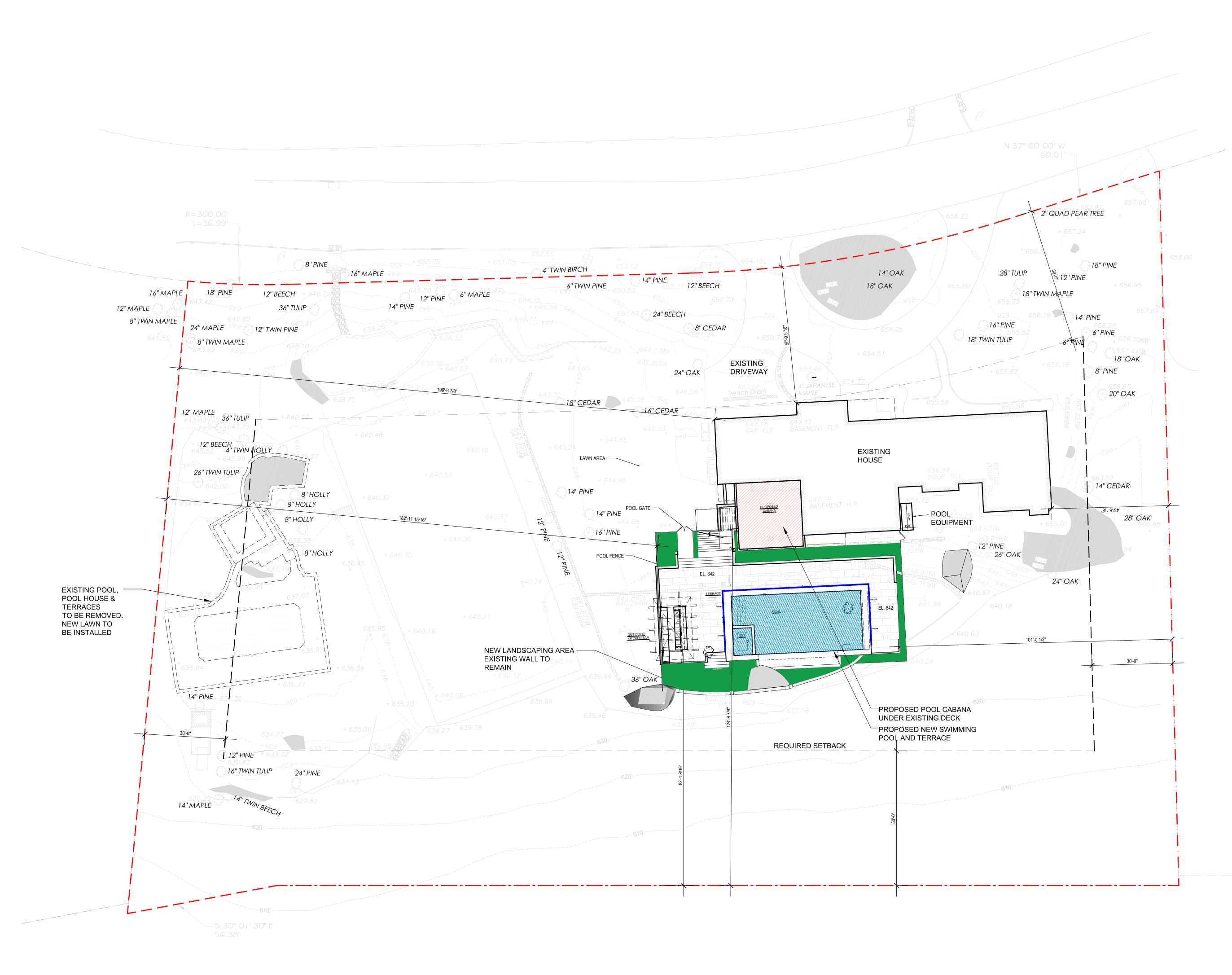
12. OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.

# 26 CAROLYN PLACE

# PROPOSED CABANA AND POOL

Tuesday, March 19, 2024





# SITE PLAN

SCALE: 1"=10'-0"

# CERTIFICATION

ALL EXISTING INFORMATION ON THIS SITE PLAN WAS TAKEN FROM A SURVEY PREPARED BY:

TC MERRITTS LAND SURVEYORS 394 BEDFORD ROAD PLEASANTVILLE, NY 10570 TEL.: (914) 769-8003

TITLED : 26 CAROLYN PLACE, ARMONK DATED : NOVEMBER 24, 2021 FILED : MAP NO. :

ARCHITECT IS NOT RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS

# LIST OF DRAWINGS

No.	DRAWING NAME
CS	COVER SHEET
SP SP-2 GN	SITE PLAN/ SCHEDULES SURVEY POOL LOCATION & TERRACE GENERAL NOTES SHEET
A-100 A-101 A-200 A-201 A-300 A-400	EXISTING CONDITIONS PROPOSED PLANS ELEVATIONS POOL BAR PLANS CROSS SECTION CROSS SECTION DETAIL
S-100	STRUCTURAL PLANS

studio rai Architectural Design P.C. 50 FIFTH AVE. PELHAM, NY 10803 914.273.6843 WWW.STUDIORAI.COM

HEATING AIR CONDITIONING

STRUCTURAL ENGINEERS

ALFONZETTI ENGINEERING P.C. 14 Smith Ave, Mt Kisco, NY 10549 (914) 666-9800

LOCATION MAP NOT TO SCALE

- SITE North Castle

North Castle		
<b>→</b> \ 7.		

# ZONING SCHEDULE TOWN OF NORTH CASTLE

ZONE / USE: R-2A			
ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE (SQ. FT.)	2 ACRES	2 ACRES	2 ACRES
MINIMUM LOT WIDTH (FEET)	150 FEET	366 FEET	366 FEET
MINIMUM FRONT YARD (FEET)	50 FEET	50'-9"	50'-9"
MINIMUM EACH SIDE YARD	30 FEET	43'-5"	43'-5"
(FEET)		199'-6"	182'-11"
MINIMUM 2 SIDE YARDS (FEET)	60 FEET	243'-0"	226'-4"
MINIMUM REAR YARD (FEET)	50 FEET	124'-9"	124'-9"(PROP. CABANA)
		(EXIST. DECK)	82'-1"(POOL TERRACE
MAXIMUM HEIGHT (STORIES)	2 1/2 STORY	2 STORY	2 STORY
MAXIMUM HEIGHT (FEET)	30 FEET	20'-11"	20'-11"

PROPOSED RESIDENCE

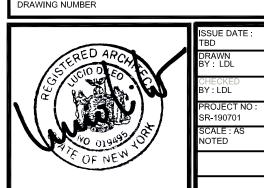
26 CAROLYN PLACE ARMONK, NY 10504

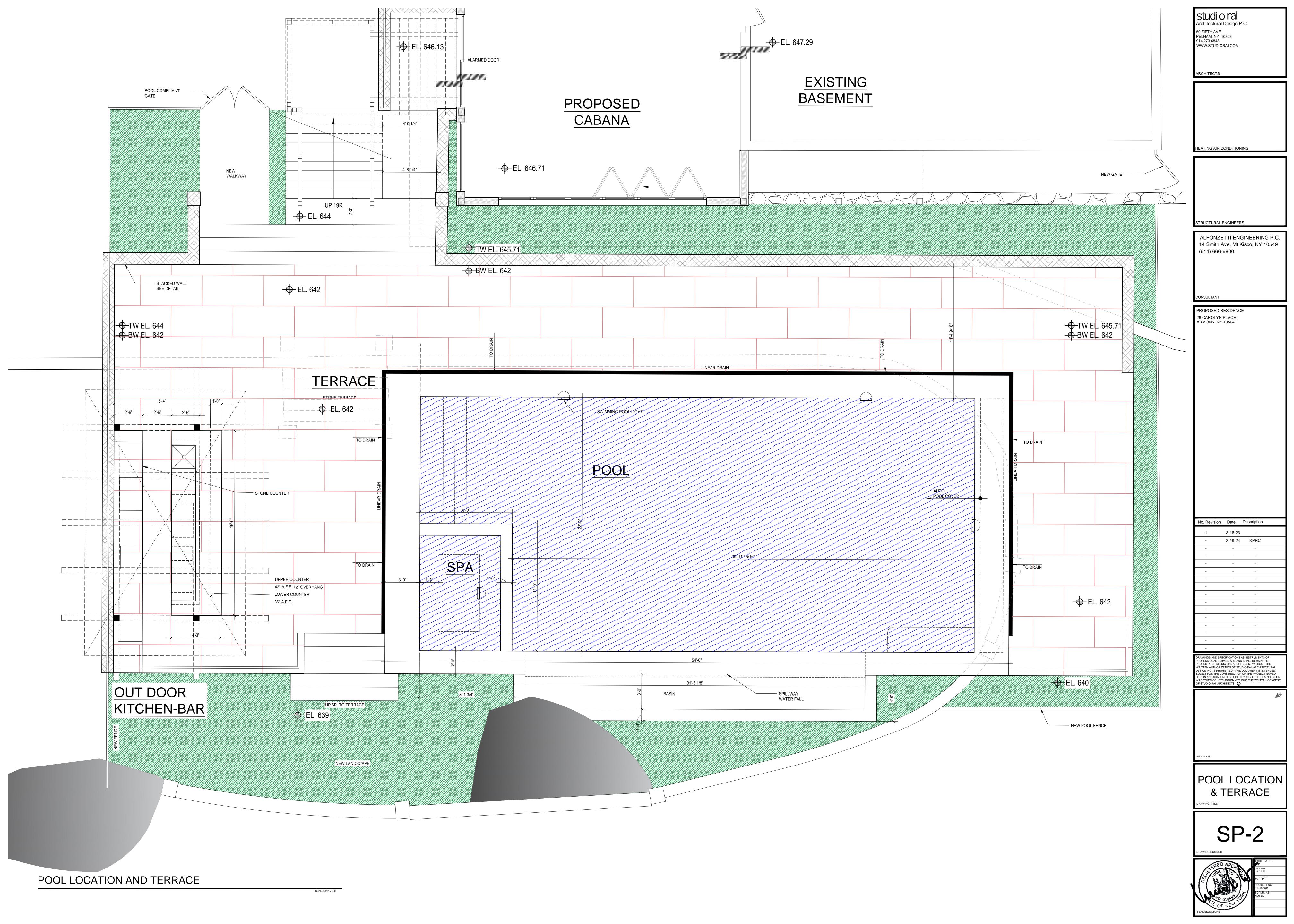
No. Revision Date Description 3-19-24 RPRC

WRITTEN AUTHORIZATION OF STUDIO RAI, ARCHITECTS. WITHOUT THE WRITTEN AUTHORIZATION OF STUDIO RAI, ARCHITECTURAL DESIGN P.C. IS PROHIBITED. THIS DOCUMENT IS INTENDED SOLELY FOR THE CONSTRUCTION OF THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF STUDIO RAI, ARCHITECTS.

SITE PLAN

DRAWING TITLE





#### **SECTION 1: GENERAL DATA**

- 1. ALL WORK SHALL COMPLY WITH 2020 NYS SUPPLEMENT AND LOCAL CODES AND ORDINANCES, AND SHALL BE DONE TO THE HIGHEST INDUSTRY STANDARDS.
- 2. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD, NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. 3. CONTRACTOR, BY SUBMITTING HIS BID, REPRESENTS THAT HE HAS VISITED THE PROJECT LOCATION AND AGREES WITH PLANS AND DETAILS AS REPRESENTING THE FULL EXTENT OF CONSTRUCTION. IF CONTRACTOR HAS FOUND THAT PLANS AND DETAILS ARE AT VARIANCE WITH WHAT IS PHYSICALLY IN THE FIELD, HE SHALL NOTIFY THE ARCHITECT OR OWNER BEFORE SUBMITTING HIS BID.
- 4. ALL MATERIALS SHALL BE NEW AND OF THE BEST QUALITY.

### SECTION 2: SITE WORK

- 1. DO NOT BACK FILL AGAINST FOUNDATION WALLS UNTIL MORTAR AND/OR CONCRETE HAVE ATTAINED DESIGNED STRENGTH.
- 2. DO NOT BACK FILL AGAINST FOUNDATION WALLS UNTIL FIRST FLOOR PLATFORM IS IN PLACE
- 3. AT NO TIME SHALL BULLDOZERS, TRUCKS OR OTHER HEAVY EQUIPMENT BE PERMITTED TO APPROACH FOUNDATION WALLS 4. AREAS UNDER CONCRETE FLOOR SLABS TO BE BACK FILLED WITH CLEAN FREE DRAINING MATERIAL AND FULLY COMPACTED TO 95% OF PROCTOR DENSITY WITH POWER TAMPER. PLACE FILL IN 12" MAX. LIFTS.
- 5. THE CONTRACTOR SHALL VERIFY ALL DRAWINGS FOR COORDINATION'S BETWEEN TRADES; PROVIDE AND/OR INSTALL ANCHORS, INSERTS, HANGERS, ETC., AS REQUIRED FOR VARIOUS TRADES.
- 6. ALL FOOTINGS SHALL BE PLACED DIRECTLY ON UNDISTURBED SOIL WITH A MIN. BEARING CAPACITY OF 2 TONS/SQ.FT OR SOLID
- 7. ALL EXTERIOR FOOTINGS SHALL BE PLACED AT A MINIMUM OF 3'-6" BELOW FINAL GRADE (UNLESS ON SOUND ROCK). ELEVATIONS OF BOTTOM OF FOOTINGS SHOWN ON PLANS ARE FOR ESTIMATING PURPOSED AND SHALL BE ADJUSTED TO REQUIRED BEARING STRATA AS FOUND UPON EXCAVATION. FOOTINGS SHALL NOT BE PLACED ONROCK WHOSE SURFACE SLOPES MORE THAN 10%.
- 8. WHERE FOOTINGS ARE STEPPED, BOTTOMS TO BE STEPPED NOT MORE THAN ONE FOOT VERTICAL TO TWO FEET HORIZONTAL.

## SECTION 3: CONCRETE

#### CONCRETE GENERAL NOTES

- 1. CONCRETE IS TO BE PLACED IN CONFORMANCE WITH A.C.I. 304, LATEST ADDITION. CONCRETE IS NOT TO BE SUBJECT TO DROPS OF MORE THAN 5'-0".
- 2. ALL CONCRETE IS TO BE CONTROLLED STONE CONCRETE COMPLYING WITH ALL A.C.I. BUILDING CODE REQUIREMENTS. CONCRETE IS TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS. SEE FOUNDATION PLANS FOR LOCATIONS OF CONCRETE WITH A HIGHER COMPRESSIVE STRENGTH.
- 3. ALL POURS ARE TO BE TERMINATED BY FORMS. PROVIDE KEY WAYS AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE
- 4. ALL CONCRETE IS TO BE FORMED, UNLESS OTHERWISE APPROVED BY THE ARCHITECT.
- 5. OBTAIN CONCRETE MANUFACTURER'S CERTIFICATES OF COMPLIANCE SHOWING CONCRETE CLASS, AGGREGATE SIZES, ADDITIVES USED AND FIBER MESH REINFORCEMENT (IF APPLICABLE).
- 6. THE FOUNDATION SUBCONTRACTOR IS TO OBTAIN CONCRETE TEST CYLINDERS FOR EACH CLASS OF CONCRETE SPECIFIED. TAKE TWO (2) CYLINDERS EACH FOR EACH 150 CU. YDS. OR FRACTIONS THEREOF. TEST ONE (1) CYLINDER AT SEVEN (7) DAYS AND ONE (1) CYLINDER AT 28 DAYS. CYLINDER TESTS TO BE PERFORMED BY A CERTIFIED TESTING LABORATORY. TEST REPORTS ARE TO INCLUDE CONCRETE CLASS, SLUMP, GAGE AND LOCATION OF CONCRETE. SUBMIT THREE (3) COPIES OF TEST REPORTS TO THE ARCHITECT FOR REVIEW AND APPROVAL.
- 7. THE FOUNDATION SUBCONTRACTOR IS TO SUBMIT FOUR (4) COPIES OF THE STEEL REINFORCEMENT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL. THE SHOP DRAWINGS ARE TO INDICATE REINFORCEMENT TYPE, SIZES, QUANTITIES, PLACEMENT AND ALL BENDS AND LAPS FOR ALL FOUNDATION REINFORCEMENT AS INDICATED ON THE DRAWINGS.
- 8. ALL STEEL REINFORCEMENT IS TO BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL A-615 GRADE 60. BENDS IN REINFORCEMENT ARE TO BE SHOP FABRICATED. FIELD BENDS WILL NOT BE PERMITTED.
- 9. ALL REINFORCEMENT STEEL IS TO BE SECURELY WIRED TOGETHER IN THE FORMWORK. TWO WAY MATS OF STEEL ARE TO BE TIED AT ALTERNATE INTERSECTIONS BOTH WAYS.
- 10. THE FOUNDATION SUBCONTRACTOR IS TO PROVIDE HIGH CHAIRS, SPACERS, SUPPORTS, ETC. AS NECESSARY FOR THE PROPER PLACEMENT OF THE REINFORCEMENT STEEL.
- 11. PROVIDE CLEARANCES FROM FACES OF CONCRETE TO REINFORCEMENT AS FOLLOWS:
- CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ------3"
- EXPOSED TO EARTH OR WEATHER (#5 BAR OR SMALLER) -----1 1/2"
- EXPOSED TO EARTH OR WEATHER (#6 BAR OR LARGER) -----2"
- NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH:
- SLABS, WALLS AND JOISTS -----3/4"
- BEAMS, GIRDERS, COLUMNS
- (PRINCIPAL REINFORCEMENT, TIES, STIRRUPS OR SPIRALS) -----1 1/2"
- 12. LENGTH OF REINFORCEMENT SPLICES ARE TO CONFORM TO A.C.I. BUILDING CODE REQUIREMENTS, BUT IN NO CASE ARE THE SPLICES TO BE LESS THAN 30 BAR DIAMETERS OR AS OTHERWISE APPROVED BY THE ARCHITECT.
- 13. WELDED WIRE FABRIC IS TO CONFORM TO A.S.T.M. SPECIFICATION A-185.
- 14. ALL SLABS ON GRADE ARE TO BE REINFORCED WITH WELDED WIRE FABRIC 3/4" DOWN FROM TOP OF SLAB, AND OVER ANY PIPES OR CONDUITS IN THE SLAB. SIZE AND TYPE TO BE AS INDICATED ON THE DRAWINGS, BUT IN NO CASE IS THE W.W.F. TO BE LESS THAN 6x6 - W1.4/W1.4 W.W.F. FOR 4" SLABS.
- FIBER MESH REINFORCEMENT INTEGRAL WITH THE CONCRETE MIX MAY BE SUBSTITUTED FOR W.W.F. IN 4" SLABS ON GRADE.
- 15. W.W.F. IS TO LAP ONE FULL MESH SQUARE AT ALL SIDE AND END LAPS, AND BE WIRED TOGETHER
- 16. POUR SLABS ON GRADE IN ALTERNATING LANE PATTERNS NOT TO EXCEED 800 S.F. IN AREA, OR MORE THAN 40 FEET IN LENGTH BETWEEN CONSTRUCTION OR EXPANSION JOINTS. PROVIDE DIAMOND SHAPED ISOLATION JOINTS AT ALL INTERIOR COLUMNS. EXPANSION JOINTS ARE TO BE MADE FROM PRE FORMED ASPHALT IMPREGNATED FIBERBOARD.
- 17. PLACE A MINIMUM OF 4" CRUSHED STONE UNDER ALL SLABS ON GRADE.
- 18. INSTALL 6 MIL POLYETHYLENE VAPOR BARRIER UNDER ALL SLABS ON GRADE, LAP ENDS A MINIMUM OF 6" AND TAPE.
- 19. PROVIDE EXPANSION JOINTS BETWEEN ALL SLABS AND VERTICAL SURFACES, BETWEEN SIDEWALK SLABS AND CURBS, SIDEWALK SLABS AND EXTERIOR WALLS AND IN SIDEWALK SLAB SPACED A MAXIMUM OF 10'-0" O.C.
- 20. PROVIDE 1/4" x 1" DEEP SAW CUTS (CUT INTO SLABS WITHIN 24 HOURS OF POUR) OR FORMED JOINT FILLED WITH SEALER AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT.
- 21. THE FOUNDATION CONTRACTOR IS TO ASCERTAIN THE LOCATIONS OF ALL SLEEVES, INSERTS, ANCHOR BOLTS AND EMBEDMENTS REQUIRED BY ALL OTHER TRADES. SUCH EMBEDMENTS ARE TO BE CHECKED FOR COMPLETENESS AND PROPER LOCATION PRIOR TO CONCRETE BEING PLACED.
- 22. NOTIFY THE BUILDING AS LEAST 24 HOURS PRIOR TO THE PLACEMENT OF CONCRETE FOOTINGS FOR REQUIRED INSPECTIONS.
- 23. CURING OF CONCRETE IS TO START AS SOON AS THE FINISHES WILL NOT BE MARRED THEREBY. DELAYING THE CURING PROCESS WILL NOT BE PERMITTED.
- 24. ALL COLD WEATHER CONCRETING TO BE PERFORMED IN ACCORDANCE WITH ALL RECOMMENDATIONS OF THE A.C.I. PROVIDE AND INSTALL TEMPORARY INSULATING BLANKETS AS REQUIRED TO PROTECT CONCRETE FROM FREEZING. CORROSIVE ADMIXTURES SUCH AS THOSE CONTAINING CALCIUM CHLORIDE MAY NOT BE USED.
- PROVIDE NON-SHRINK GROUT UNDER ALL LEVELING PLATES AND BEARING PLATES.
- 26. APPLY TROWEL FINISH TO ALL MONOLITHIC SLAB SURFACES EXPOSED TO VIEW OR RECEIVING FLOORING. VARIATIONS IN FLOOR SLABS ARE NOT TO EXCEEDED 1/8" IN 10'-0" UNLESS SLAB PITCHES TOWARD FLOOR DRAIN.
- 27. APPLY NON-SLIP BROOM FINISHES TO ALL EXTERIOR WALKS, GARAGE FLOORS AND ELSEWHERE AS INDICATED ON THE DRAWINGS.
- 28. INSTALL CONCRETE SLAB SEALER TO ALL INTERIOR SLABS EXPOSED TO VIEW NOT RECEIVING FINISHES TO PREVENT DUSTING

#### SECTION 4: MASONRY

- 1. STONE AND CONCRETE MASONRY WALLS SHALL CONFORM TO THE RECOMMENDED PRACTICE FOR ENGINEERED BRICK MASONRY", LATEST EDITION BY STRUCTURAL CLAY PRODUCTS INSTITUTE, AND "SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY" BY NATIONAL CONCRETE MASONRY ASSOCIATION.
- 2. ALL UNITS SHALL BE PLACED IN RUNNING BOND, EXCEPT WHERE INDICATED.
- 3. MORTAR SHALL BE TYPE M OR S MIN. 1 PART PORTLAND CEMENT, 1/4 TO 1/2 PART HYDRATED LIME, AND 2-1/4 TO 3 PARTS SAND.
- 4. STORE ALL UNITS OFF GROUND TO PREVENT CONTAMINATION. COVER MATERIALS TO PROTECT FROM THE
- 5. NO AIR-ENTRAINING ADMIXTURES OR ANTIFREEZE COMPOUNDS, SUCH AS CALCIUM CHLORIDE SHALL BE ADDED TO
- 6. THE FIRST BLOCK COURSE ON FOOTING SHALL BE FILLED SOLID WITH CONCRETE
- 7. VERTICAL CONTROL JOINTS SHALL BE PLACED AT THE MAXIMUM DISTANCE OF 50' ON CENTER FOR STRAIGHT WALLS. CONTROL JOINTS SHALL BE CONSTRUCTED USING SASH BLOCKS AND DUR-O-WAL PERFORMED REGULAR RAPID CONTROL JOINT. WALL REINFORCEMENT SHALL BE DISCONTINUOUS AT JOINTS.
- 8. ALL WALLS SHALL BE ADEQUATELY BRACED UNTIL SECURELY TIED TO THE STRUCTURE. NO WORK SHALL BE DONE SUBJECT TO FREEZING CONDITIONS.
- 9. STEEL LINTELS SHALL HAVE MINIMUM OF 5" BEARING. PRECAST LINTELS SHALL HAVE MINIMUM BEARING OF 8". BEARING POINTS SHALL BE GROUTED SOLID FOR THREE COURSED BELOW LINTEL.

# SECTION 5: METALS

- 1. STEEL CONSTRUCTION SHALL CONFORM TO AISC "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION.
- 2. MATERIALS FOR STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS: BEAMS, GIRDERS, MISC. STEEL: A36 PLATES: A36
- 3. ALL BOLTED CONNECTIONS SHALL BE MADE USING A325-F BOLTS, 3/4" DIAMETER INSTALLED IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL JOINTS" USING A325 OR A490 BOLTS: UNLESS OTHERWISE DETAILED.
- 4. STEEL CONCRETE REINFORCEMENT: BARS: NEW BILLET STEEL DEFORMED BARS, ASTM A 615, GRADE 60 SIZED AS NOTED ON DRAWINGS. WELDED WIRE FABRIC (WWF): ASTM A185, SIZES AS NOTED ON DRAWINGS.
- 5. PROVIDE 1/2" DIAMETER X 1'-6" LONG MINIMUM THREADED ANCHORS BOLTS AT 6'-0" O.C. MAXIMUM. MINIMUM 2 PER PLATE TO ANCHOR EXTERIOR SILLS, ANCHOR BOLTS SHALL BE ON A36 OR A307 STEEL, EMBODIMENT TO BE 8" FOR POURED CONCRETE, 15" FOR C.M.U.
- 6. ALL STEEL SHALL BE SHOP PAINTED WITH GRAY ZINC CHROMATE PRIMER 2.0 MILS. IN THICKNESS, EXCEPT WHERE FIELD WELDING IS TO BE DONE. ALL WELDS AND BARE SPOTS SHALL RECEIVE TOUCHUP PAINTING.
- 7. ALL COLUMNS UNLESS OTHERWISE NOTED, SHALL BE 4" DIAMETER STANDARD WEIGHT (MIN.) STEEL PIPE COLUMNS WITH BEARING PLATES AT TOP AND BOTTOM WELDED TO COLUMN. PRIME COAT OF PAINT TO BE APPLIED AFTER WELDING. (10"X10"X5/8" BOTTOM PLATE, UNLESS NOTED OTHERWISE).

# SECTION 6: WOOD AND PLASTICS

- 1.  $\,$  ALL FRAMING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED LUMBER AND ITS FASTENINGS" AS PUBLISHED BY THE NATIONAL LUMBER MANUFACTURERS ASSOCIATION.
- 2. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL FREE FROM LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZED INDICATED ON DRAWINGS.
- 3. ALL WORKMANSHIP INCLUDING NAILING, BLOCKING, BRIDGING, ETC. SHALL CONFORM TO THE NYSUFPBC.
- PROVIDE LEDGER BOARDS, BLOCKING, NAILERS, AND ROUGH FRAMING HARDWARE AS REQUIRED.
- 5. PROVIDE ALL REQUIRE 2 X FIRE BLOCKING AS SPECIFIED IN SECTION 602.8 OF RESIDENTIAL CODE OF NEW YORK STATE. WERE PARTIONS AT 10'-0" OR TALLER, INSTALL 2 X FIRE BLOCKING "CATS" AT MID POINT.
- ALL NEW LUMBER SHALL BE DOUGLAS FIR, NO 2 OR BETTER, WITH MIN. FB=1250 PSI AND E 1,500,000 PSI.
- 7. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMPING AND BE KILN DRY.
- 8. ALL BEAMS AND JOISTS AND RAFTERS TO BE SET WITH NATURAL CROWN UP
- 9. PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF SKYLIGHTS UNLESS OTHERWISE NOTED ON PLANS.
- 10. PROVIDE (2) 2X8 MINIMUM HEADER WHERE ROUGH OPENING DOES NOT EXCEED 3'-0".
- 11. PLYWOOD FOR SUBFLOOR SHEATHING SHALL BE 3/4" AND 1/2" ON WALLS AND ROOF SURFACES APA C-C PLUGGED EXTERIOR OR APA UNDERLAYMENT EXTERIOR. INDEX STAMP SHALL BE VISIBLE ON ALL SHEETS.
- 12. PLYWOOD SHALL BE NAILED TO JOISTS WITH 8D COMMON NAILS AT 6" ON CENTER AT EXTERIOR EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORT.
- 13. USE PLY CLIPS OR OTHER EDGE SUPPORT FOR ALL PLYWOOD SHEATHING.
- 14. PLACE FACE GRAIN IN DIRECTION OF SPAN (TRAVERSE TO JOIST SPAN.).
- 15. LEAVE 1/16" SPACE AT ALL PLYWOOD PANEL AND JOINTS AND 1/8" SPACE AT ALL PANEL EDGE JOINTS.
- 16. JOIST HANGERS, FRAMING ANCHORS AND RAFTER ANCHORS SHALL BE HOP DIPPED GALVANIZED, "ZMAX" GALVANIZED COATED OR STAINLESS STEEL FOR PRESSURE TREATED LUMBER AS MANUFACTURED BY "SIMPSON" OR APPROVED EQUAL. GALVANIZED OR STAINLESS STEEL SPECIALITY NAILS AS SUPPLIED BY MANUFACTURER SHALL BE USED FOR REQUIRED NAILING.
- 17. METAL CROSS BRIDGING SHALL BE GALVANIZED STEEL AS MANUFACTURED BY "TECO", "SIMPSON" OR APPROVED EQUAL, AND INSTALLED ACCORDING TO MANUFACTURERS DIRECTIONS.
- 18. PROVIDE "X" BRIDGING OR SOLID BLOCKING EVERY 8'-0". BOTTOM ENDS OF BRIDGING SHALL NOT BE NAILED UNTIL AFTER ENTIRE STRUCTURE IS COMPLETE.
- 19. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
- 20. WHERE SHEATHING IS NOT PLYWOOD, DIAGONAL BRACING SHALL BE LET IN AT EXTERIOR CORNERS OR BRACE CORNERS WITH 1/2" CDX PLYWOOD 4'-0" IN EACH DIRECTION.
- 21. CORNER BOARDS, FASCIA BOARDS, DOORS AND WINDOWS CASINGS, AND DECORATIVE WOOD ITEMS SHALL BE WOOD 5/4" OR 3/4" NO.1 PINE OF SIZE. STYLE AND DESIGN AS INDICATED ON THE DRAWINGS, BACK PRIME PAINTED TRIM.
- 22. EXTERIOR WOOD POSTS SHALL BE PRESSURE TREATED WOOD, SET ON APPROVED TYPE HEAVY DUTY GALVANIZED METAL BASE, ANCHORED IN CONCRETE. BOXED FINISH TO MATCH WOOD TRIM.
- 23. WOOD PLATES AND SILLS IN CONTACT WITH CONCRETE FOUNDATION WALLS AND CONCRETE SLABS SHALL BE PRESSURE TREATED WOOD.
- 24. PRESSURE PRESERVATIVES TREATMENT FOR WOOD SHALL BE APPROVED BY LOCAL AUTHORITIES HAVING JURISDICTION.
- 25. PROVIDE (3) 2"X6" SPIKED AT BEARING POINTS OF ALL TRIPLE FRAMING MEMBERS UNLESS OTHERWISE NOTED.

# SECTION 7: THERMAL AND MOISTURE PROTECTION

- 1. FOUNDATION TO BE WATERPROOFED WITH AN APPROVED TYPE, BITUTHENE COATING APPLIED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTALLATION RECOMMENDATIONS.
- 2. PROVIDE 4" PVC FOOTING DRAINS WITH GRAVEL ALONG FOOTING OUT TO DAYLIGHT
- ALL WINDOWS, DOORS AND SKYLIGHTS TO BE WEATHER-STRIPPED AND CAULKED.
- 4. ALL SEALANTS TO BE SILICONE, COLORED TO MATCH SURROUNDING MATERIAL
- 5. ALL FLASHING SHALL BE NONFERROUS METAL (UNLESS OTHERWISE NOTED). FABRIC FLASHING MAY ONLY BE USED WITH WRITTEN APPROVAL OF THE ARCHITECT.
- 6. ALL ROOF TO ROOF, AND ROOF TO WALL JOINTS SHALL BE CONTINUOUSLY FLASHED.
- 7. ALL ROOFS DESIGNATED AS HAVING ASPHALTIC FIBERGLASS SHINGLE ROOFING SHALL HAVE 1 (ONE) LAYER OF 15 # ROOF FELT OVER PLYWOOD SHEATHING.
- 8. INSTALL 30 # FELT PAPER WERE ROOFS DESIGNATED AS HAVING METAL ROOFING. SLATE OR CLAY TILE ROOFS.
- 9. PROVIDE PROPER VENTILATION AT ALL ROOF CONDITIONS WITH SOFFIT VENTS, CONT. RIDGE VENTS, SCREENED LOUVERS OR OTHER VENTILATION METHODS INDICATED.
- 10. PROVIDE A MINIMUM OF 1" AIR SPACE BETWEEN SPRAY FOAM INSULATION AND UNDERSIDE OF ROOFING SHEATHING FOR VENTILATION.
- 11. ALL INSULATION TO BE SPRAY FOAM BARRIER INSTALLED ON THE HEATED SIDE (UNLESS OTHERWISE NOTED)
- 12. AT ALL PERIMETERS OF ROOF CORNICES, VALLEYS OR WERE VERTICAL WALL INTERSECT ROOF PLANE INSTYALL ONE LAYER OF ICE AND WATER SHIELD BY "GRACE" OR APPROVED EQUAL A MINIMUM OF 24" UP FROM FASCIA -(OR AS NOTED ON DRAWINGS).

## SECTION 8: WINDOWS AND DOORS

- SEE ARCHITECTURAL DRAWINGS FOR SPECIFICATIONS OF ALL EXTERIOR AND INTERIOR WINDOWS AND DOORS
- 2. ALL GLAZING IN DOORS, SHOWER / TUB ENCLOSURE AND DOORS, FIXED SIDE LIGHTS AND INTERIOR PARTITIONS WHERE SUCH GLAZING EXTENDS TO WITHIN 18" OF FLOOR LEVEL TO BE SHATTERPROOF TYPE GLASS, TEMPERED OR LAMINATED AS PER CODE REQUIREMENTS.

### **SECTION 9: FINISHES**

- 1. SEE ARCHITECTURAL DRAWINGS FOR SPECIFIC FINISHES OF FLOORS, WALLS AND CEILINGS FOR BOTH INTERIOR AND EXTERIOR SPACES.
- 2. ALL INTERIOR DRYWALL SURFACE NOT REQUIRING A FIRE RATING SHALL BE 1/2" OR 5/8" (AS NOTED ON PLANS) GYPSUM WALL BOARD AND SHALL RECEIVE 3 (THREE) COATS OF JOINT COMPOUND, TAPED AND SPACKLED, SANDED, PRIMED AND READY TO RECEIVE 1 (ONE) FINISHED PAINT COAT
- 3. ALL BATHROOM WALLS AND WET AREAS IN KITCHENS AND LAUNDRY ROOMS SHALL HAVE 1/2" WATER-RESISTANT GYPSUM WALL BOARD AND SHALL RECEIVE 3 (THREE) COATS OF JOINT COMPOUND, TAPED AND SPACKLED, SANDED, PRIMED AND READY TO RECEIVE 1 (ONE) FINISHED PAINT COAT.
- 4. ALL SHOWERS, TUB AREAS, WALLS OR CEILINGS DESIGNATED TO RECEIVE A TILE FINISH SHALL HAVE CEMENTITIOUS BACKER BOARD WITH 3 (THREE) COATS CEMENT BOARD JOINT COMPOUND AND JOINT MESH AS REQUIRED PRIOR TO TILE APPLICATION.
- PAPER OVER PLYWOOD SUBFLOOR, WIRE LATH WITH A MINIMUM OF 1 1/4" THICK CEMENT CONTRACTOR SHALL COORDINATE FRAMING AS REQUIRED FOR ALL ADJACENT FINISHED FLOORS TO BE FLUSH AND LEVEL WITH MUD JOB FINISHED FLOOR.

5. ALL FLOORS DESIGNATED AS A MUD JOB APPLICATION FOR A TILE FLOOR SHALL HAVE 30 # FELT

6. ALL FLOORS DESIGNATED AS A THIN SET APPLICATION FOR A TILE FLOOR SHALL HAVE 1/2"

CEMENTITIOUS BOARD OVER PLYWOOD SUBFLOOR, CONTRACTOR SHALL COORDINATE FRAMING AS

- REQUIRED FOR ALL ADJACENT FINISHED FLOORS TO BE FLUSH AND LEVEL WITH THIN SET FINISHED FLOOR. 7. ALL FLOORS DESIGNATED AS FINISHED WOOD FLOORS SHALL HAVE ROSIN PAPER OVER PLYWOOD SUBFLOOR AND SHALL RECEIVE 1 (ONE) COAT OF SEALER AND A MINIMUM OF 2 (TWO) COATS OF
- POLYURETHANE. CONTRACTOR SHALL COORDINATE 8. ALL FLOORS DESIGNATED AS HAVING CARPETING SHALL HAVE 3/8" UNDERLAYMENT OVER PLYWOOD SUBFLOOR AND SHALL HAVE PADDING UNDER CARPETING.
- ALL EXTERIOR TRIM SUCH AS WINDOW AND DOOR TRIM, FASCIAS, FRIEZES, MOLDING, WOOD PANELS, ETC. SHALL BE SECURED USING GALVANIZED FINISH NAILS - COUNTERSUNK, PUTTIED, SANDED AND SPOT PRIMED PRIOR TO PAINTING.
- 10. ALL EXTERIOR TRIM SUCH AS WINDOW AND DOOR TRIM, FASCIAS, FRIEZES, MOLDING, WOOD PANELS, ETC. SHALL BE EITHER FACTORY OR FIELD BACK PRIMED FRONT PRIMED AND RECEIVE 1 (ONE) EXTERIOR PAINT FINISH.
- 11. ALL ROOFING OR EXTERIOR WALL SIDING DESIGNATED AS CEDAR SHINGLES ON DRAWINGS SHALL BE (# 1 GRADE) RED CEDAR PERFECTION SHINGLES (BLUE LABEL) - EITHER FACTORY OR FIELD BACK PRIMED - WITH 2 (TWO) COATS OF FINISH STAIN. COORDINATE WITH ARCHITECT COLOR OF STAIN.
- 12. ALL ROOFING DESIGNATED AS ASPHALTIC FIBERGLASS SHINGLES SHALL BE 40 YEAR WARRANTY (MINIMUM) BY "TIMBERLINE OR APPROVED EQUAL. COORDINATE WITH ARCHITECT FOR SELECTION OF SHINGLE COLOR.

# SECTION 10: SPECIALITIES

NO WORK UNDER THIS SECTION

# SECTION 11: EQUIPMENT

1. OWNER SHALL PROVIDE ALL KITCHEN APPLIANCES - CONTRACTOR SHALL INCLUDE IN BASE BID INSTALLATION OF APPLIANCES AND ALL REQUIRED MECHANICAL AND /OR ELECTRICAL SYSTEMS AND CONNETCIONS REQUIRED FOR PROPER WORKING CONDITIONS.

# SECTION 12: FURNISHINGS

NO WORK UNDER THIS SECTION

# SPECIAL CONSTRUCTION

- CONTRACTOR SHALL INCLUDE IN BASE BID ALL PLUMBING FIXTURES AND INSTALLATION AS INDICATED ON DRAWINGS INCLUDING ALL FITTINGS REQUIRED FOR PROPER WORKING CONDITIONS. (PROVIDE PRICING ALLOWANCES AS DETAILED
- CONTRACTOR SHALL INCLUDE IN BASE BID MATERIALS AND INSTALLATION OF ALL KITCHEN CABINETRY AND BUILT-INS AS INDICATED ON DRAWINGS. (PROVIDE PRICING ALLOWANCES AS DETAILED IN INSTRUCTIONS TO BIDDERS)
- 3. IF DRAWINGS INDICATE A NEW FIREPLACE PROVIDE FRESH AIR INLET FOR FIREBOX AND AIR TIGHT NON-COMBUSTIBLE DOORS AT FIREPLACE OPENING COMPLYING WITH CHAPTER 10 OF RESIDENTIAL CODE OF NEW YORK

# SECTION 14: CONVEYING SYSTEMS

NO WORK UNDER THIS SECTION

# **SECTION 15: MECHANICAL**

- 1. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE, THE PLUMBING CODE OF NEW YORK STATE, THE NATIONAL PLUMBING CODE, LOCAL CODES HAVING JURISDICTIONS AND
- 2. PROVIDE HVAC SYSTEM USING ELECTRIC HEAT PUMP AIR SYSTEM PROVIDE 4 SEPARATE ZONES AND INSTALL THERMOSTATS. INSTALL RADIANT FLOOR HEATING SYSTEM
- USING QUICK TRACK METHOD. INSTALL RADIANT FLOOR IN KITCHEN AND MASTER BATHROOMS USING UNDER SHEATHING METHOD 3. CONTRACTOR SHALL PROVIDE ALL LABOR. MATERIALS AND EQUIPMENT NECESSARY TO INSTALL PLUMBING
- RELATED FIXTURES, VENTILATION, HEATING AND AIR CONDITIONING. ALL WORK SHALL COMPLY WITH NYSUFPBC AND LOCAL CODES AND ORDINANCES. SUBCONTRACTORS SHALL COORDINATE WORK WITH ALL OTHER TRADES.
- 4. HEATING AND AIR CONDITIONING EQUIPMENT SHALL BE SO SIZED AND INSTALLED TO MAINTAIN 68 DEGREE F INDOOR TEMPERATURE WITH 0 DEGREES F OUTDOOR TEMPERATURE.

6. BATHROOM, KITCHEN AND DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH THE RESIDENTIAL CODE OF

- 5. ALL HEATING AND AIR CONDITIONING, ACCESSORIES AND APPURTENANCES SHALL BE U.L. LISTED AND INSTALLED IN ACCORDANCE WITH SAME.
- NEW YORK STATE.
- 7. MECHANICAL ROOM SHALL BE VENTED WITH FRESH AIR INTAKES IN ACCORDANCE WITH NFPA CODES # 31 OR #
- 8. PROVIDE SHUT OFF VALVES AL ALL FIXTURES AND APPLIANCES.
- 9. PIPING AS PER LOCAL CODE. INSULATE HOT AND COLD WATER SUPPLIES.
- 10. PROVIDE 4 FREEZE PROOF OUTDOOR HOSE BIBS WHERE INDICATED ON PLANS. 11. NO WATER PIPES OR SOIL OR WASTE LINES SHALL BE EXPOSED IN UNINSULATED AND UNHEATED SPACES IN
- THE CRAWL SPACE OR BASEMENT. WATER SERVICE SHALL BE PROTECTED FROM FREEZING WHERE EXPOSE IN UNHEATED SPACES.
- 12. PITCH ALL WATER LINES TO LOW POINT TO DRAIN AND PROVIDE DRAIN VALVE. 13. CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT AND ACCESSORIES NECESSARY

#### FOR AIR CLEANERS AND ACCESSORIES TO HVAC 14. CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT AND ACCESSORIES NECESSARY

SECTION 16: ELECTRICAL

FOR NEW HUMIDIFYING SYSTEM FOR ENTIRE HOUSE AT EACH AIR HANDLER

- 1. ELECTRICAL INSTALLATION WIRING AND EQUIPMENT SHALL CONFORM TO THE RESIDENTIAL CODE OF NEW
- YORK STATE AND THE NATIONAL ELECTRIC CODE (NFPA NO. 70 LATEST EDITION) 2. NEW 400 AMP SERVICE TO BE PROVIDED

## DESIGN LOAD ALLOWANCES

	TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA								
WIND SUBJECT TO DAMAGE FROM									
GROUND SNOW LOAD	SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMPERATURE	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
30 PSF	115 MPH	В	SEVERE	42"	VERY HEAVY	SLIGHT TO MODERATE	10^ F.	YES	YES

			MODELIVIE			
UNIFORMLY DISTRIBUTED LIVE LOADS (in psf)						
<u>USE</u>			MIN. REQUIRED PER TABLE R301.4	PROVIDED		
EXTER	RIOR BALCONG	CIES	60 PSF	60 PSF		
DECKS	3		40 PSF	40 PSF		
PASSE	NGER VEHIC	LE GARAGES	50 PSF	50 PSF		
ATTICS	S WITHOUT ST	ORAGE	10 PSF	10 PSF		
ATTICS WITH STORAGE		AGE	20 PSF	20 PSF		
ROOM	S OTHER TAH	N SLEEPING ROOMS	40 PSF	40 PSF		
SLEEP	ING ROOMS		30 PSF	30 PSF		
STAIRS	S		40 PSF	40 PSF		
GUARE	DRAILS AND H	ANDRAILS	200 PSF	200 PSF		

	ROOF DESIGN LOAD	
GROUND SNOW	MIN. ROOF LIVE LOAD REQUIRED PER ASCE 7	PROVIDED
LOAD	(FLAT ROOFS WITH 1/4" PER FT TO 3 ON 12 ROOF SLOPE) - 34.65 PSF	35 PSF
45 005	(3 ON 12 TO 6 ON 12 ROOF SLOPE) - 29.9 PSF	30 PSF
45 PSF	(7 ON 12 OR GREATER ROOF SLOPE) - 22.5 PSF	30 PSF

# ENERGY CONSERVATION CONSTRUCTION CODE OF N.Y.S.

2020 NYS SUPPLEMENT SINGLE FAMILY RESIDENTIAL **BUILDING TYPE:** 

5,750 (WESTCHESTER COUNTY)

7 DEGREES F. (WINTER DESIGN DRY BULB)

84 DEGREES F. (SUMMER DESIGN DRY BULB)

# DESIGN TEMPERATURES (PER TABLE 302.1):

**ENVELOPE** 

**SLAB PERIMETER** 

CRAWLSPACE (UNVENTILATED)

CODE DESIGN COMPLIANCE METHOD:

DESIGN DEGREE DAYS (PER TABLE 302.1):

COMPONENT	MIN. R VALUE PROVIDED	MAX. U - FACTOR PROVIDED
GLAZING	N/A	U -0.40
SKYLIGTH	N/A	U -0.55
FENESTRATION	N/A	U -0.32
CEILING	R-49	
EXTERIOR WOOD FRAME WALL	R-20(CAVITY)+5(CC	ONTINUOUS) OR 13(CAVITY)+10(CONTINUOUS
FLOOR	R-30	
BASEMENT WALL (CONDITIONED SPACE)	R-15/19	

# [NY] TABLE R402.1.2

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT<sup>8</sup>

R-10, 4 FT.

R-15/19

CLIMATE ZONE	FENESTRATION <i>U</i> -FACTOR <sup>b</sup>	SKYLIGHT <sup>b</sup> <i>U</i> -FACTOR	GLAZED FENESTRATION SHGC <sup>b, e</sup>	CEILING R- VALUE	WOOD FRAME WALL R- VALUE	MASS WALL R- VALUE <sup>i</sup>	FLOOR R- VALUE	BASEMENT <sup>c</sup> WALL <i>R</i> -VALUE	SLAB <sup>d</sup> R- VALUE & DEPTH	SPACE <sup>C</sup> WALL R- VALUE
4	0.32	0.55	0.40	49	20 or 13+5 <sup>h</sup>	8/13	19	10 /13	10, 2 ft	10/13
5	0.30	0.55	NR	49	20 or 13+5 <sup>h</sup>	13/17	30g	15/19	10, 2 ft	15/19
6 Option 1	0.30	0.55	NR	49	20+5 <sup>h</sup> or 13+10 <sup>h</sup>	15/20	30 <sup>g</sup>	15/19	10, 4 ft	15/19
6 Option	0.28	0.55	NR	60	23	19/21	308	15/19	10, 4 ft	15/19

HEATING AIR CONDITIONING

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STRUCTURAL ENGINEERS

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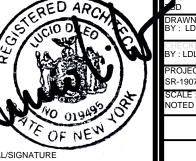
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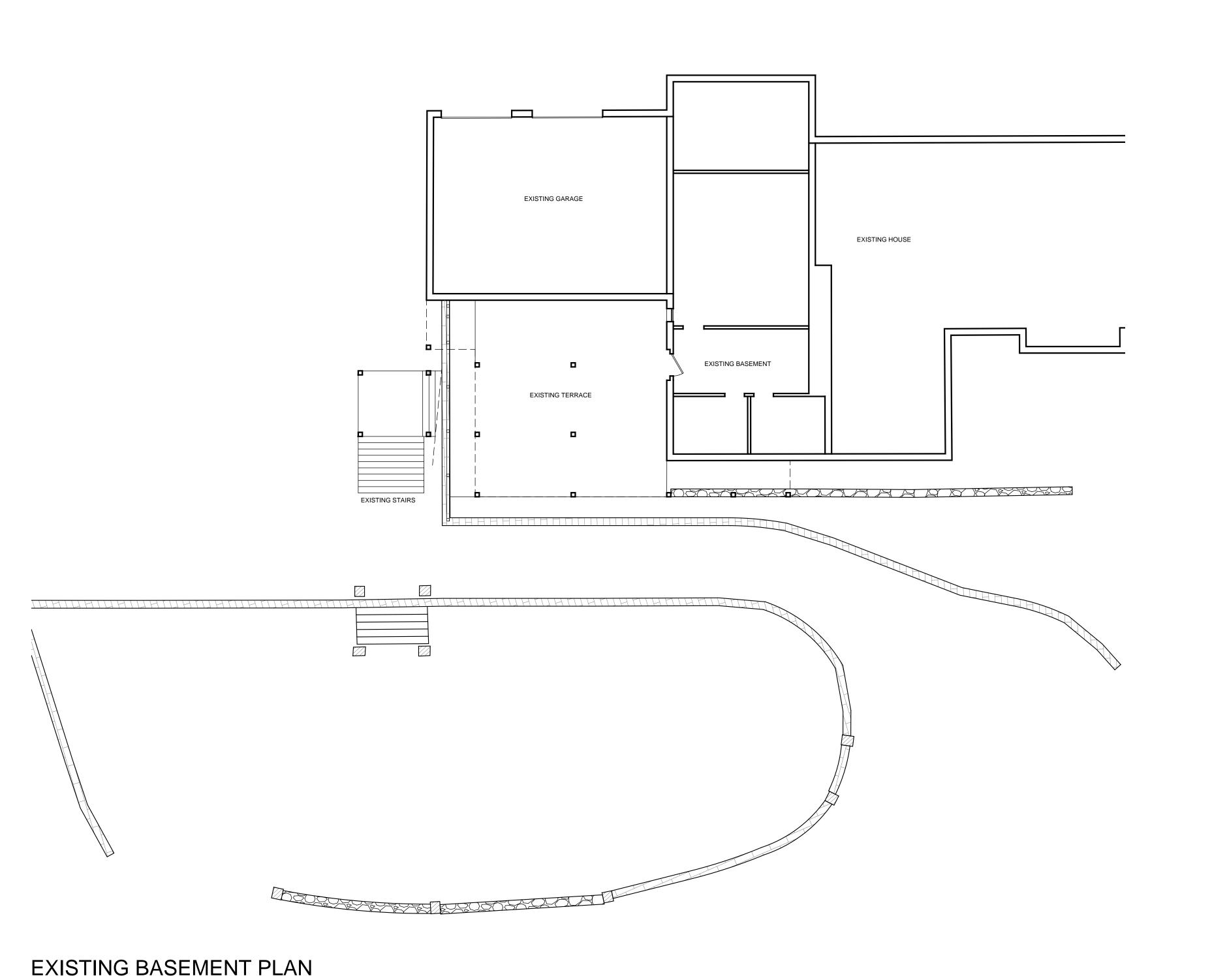
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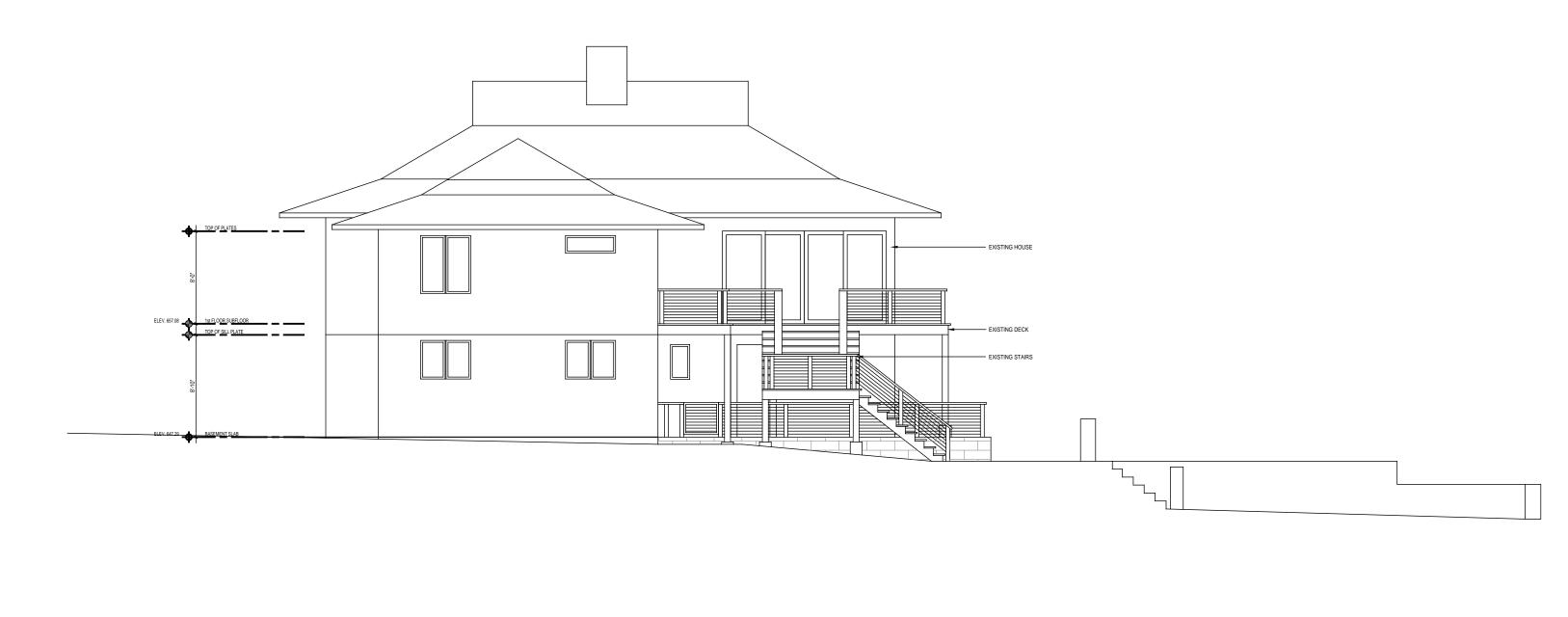
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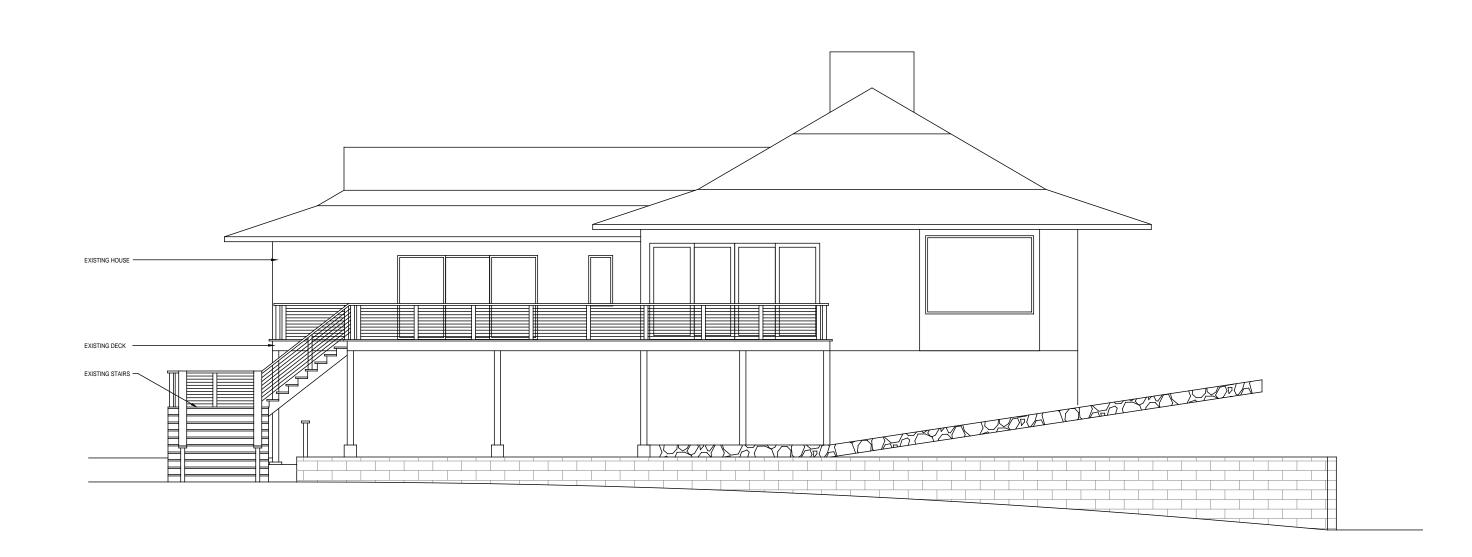


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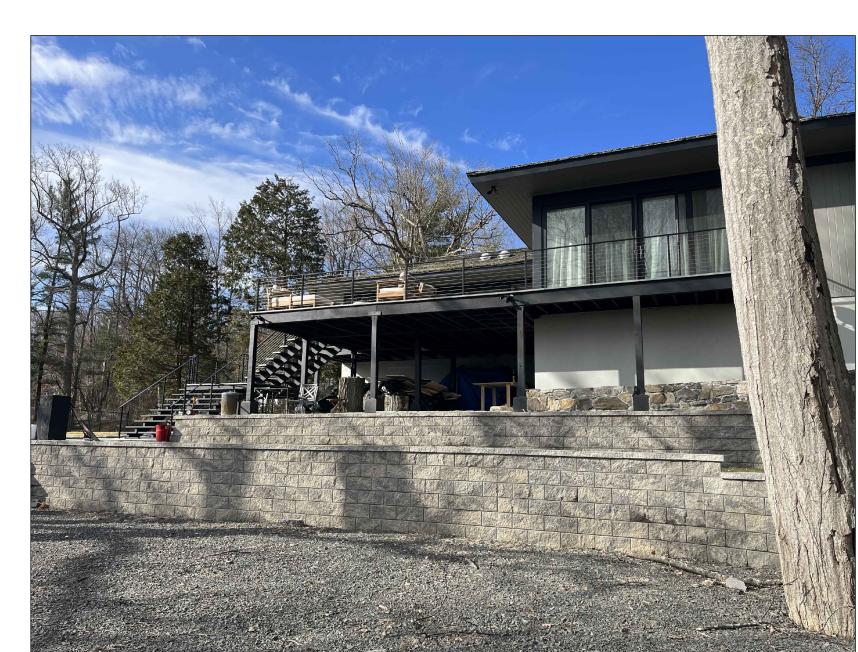


# **EXISTING SIDE ELEVATION**



# EXISTING REAR ELEVATION





# **EXISTING PHOTOS**

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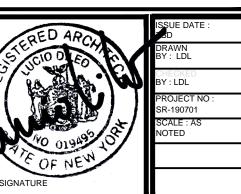
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N PLAN

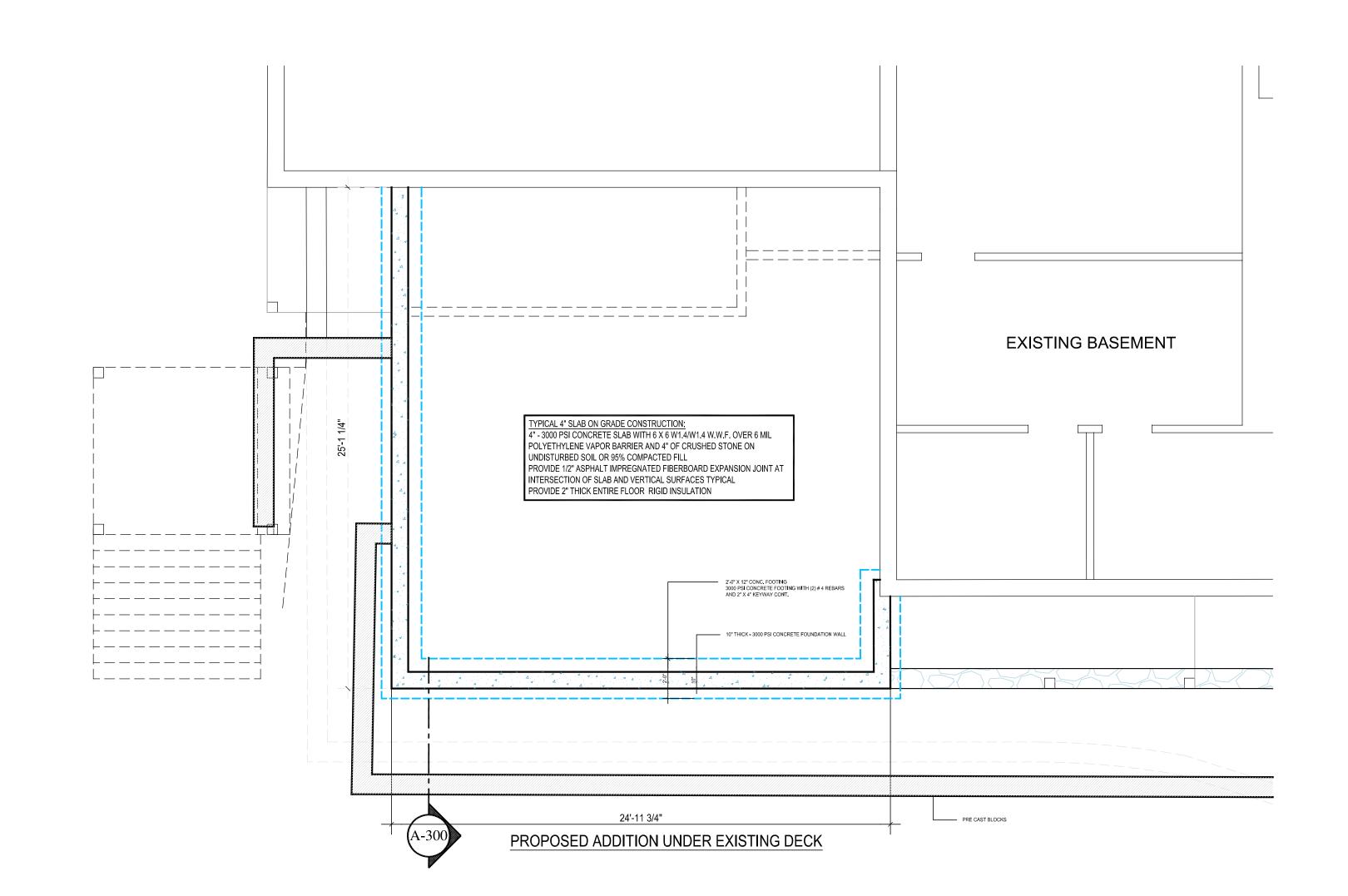
EXISTING CONDITIONS

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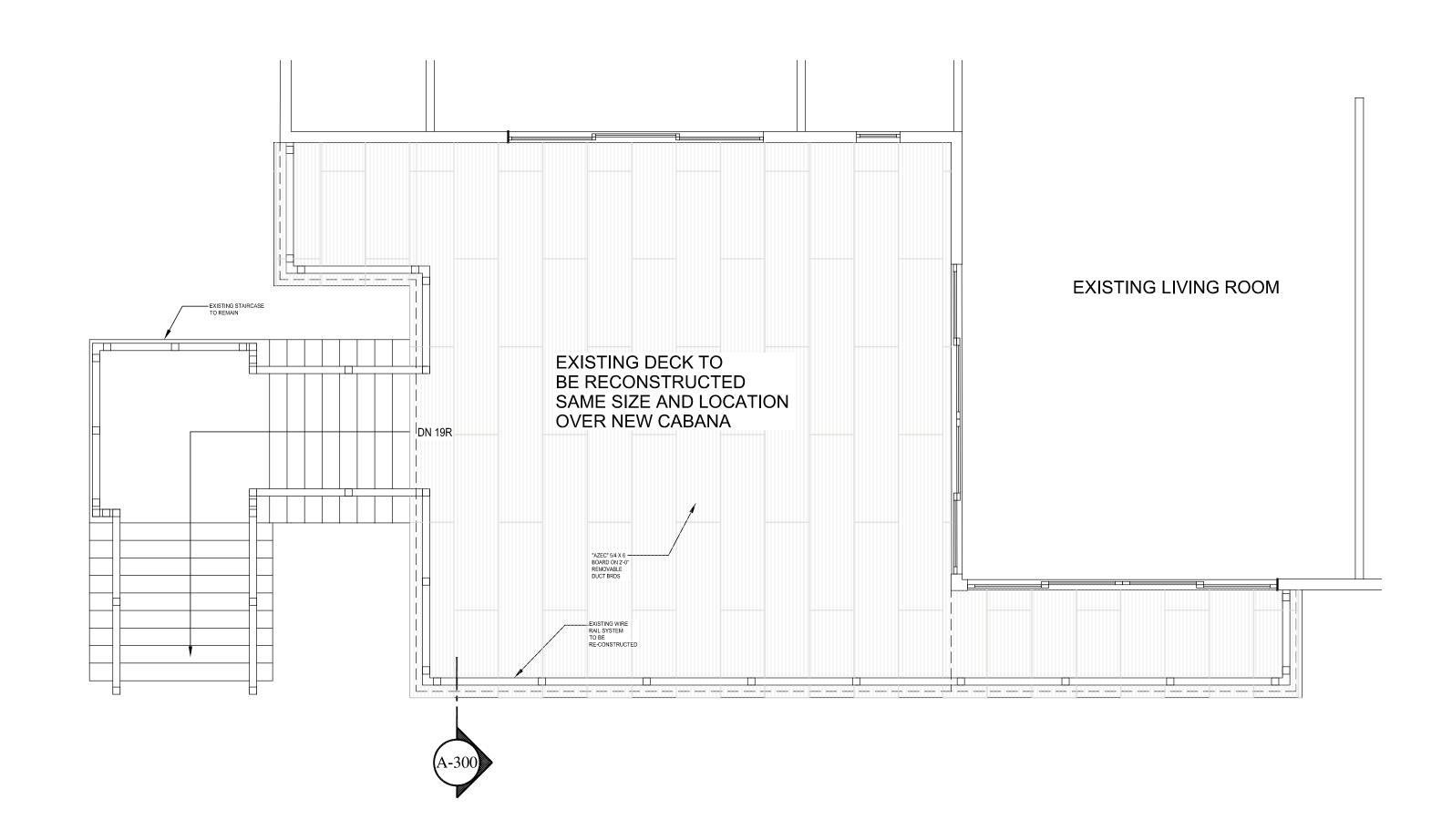




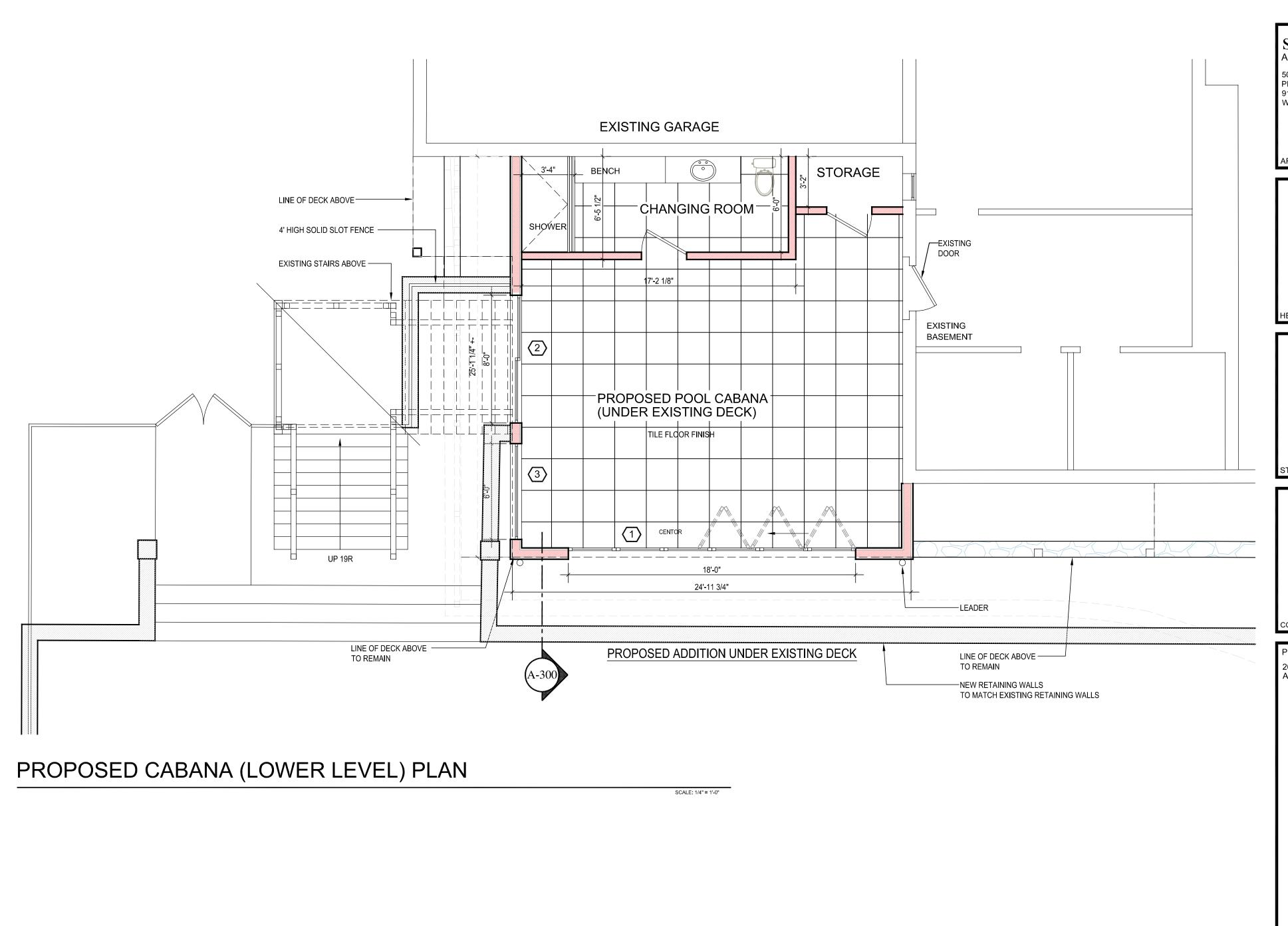
EXISTING FIRST PLAN



# FOUNDATION PLAN



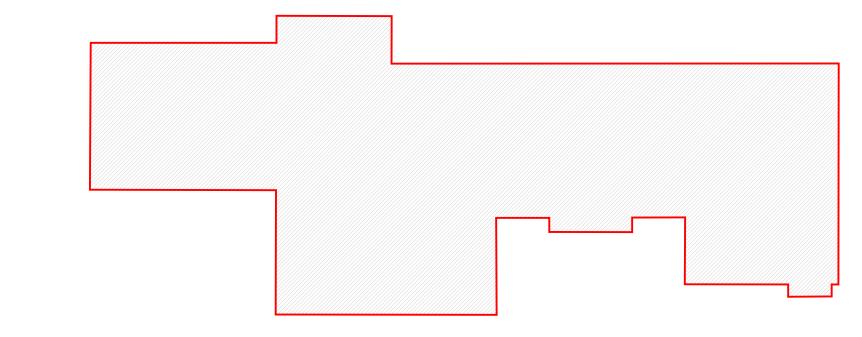
PROPOSED FIRST FLOOR PLAN



GARAGE AREA 745.3 sq. ft.



FIRST FLOOR AREA 4149.10 sq. ft..



CABANA AREA 612.5 square ft.



**BUILDING AREAS** 

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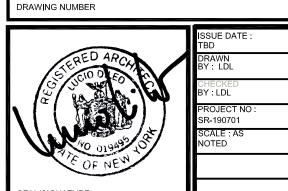
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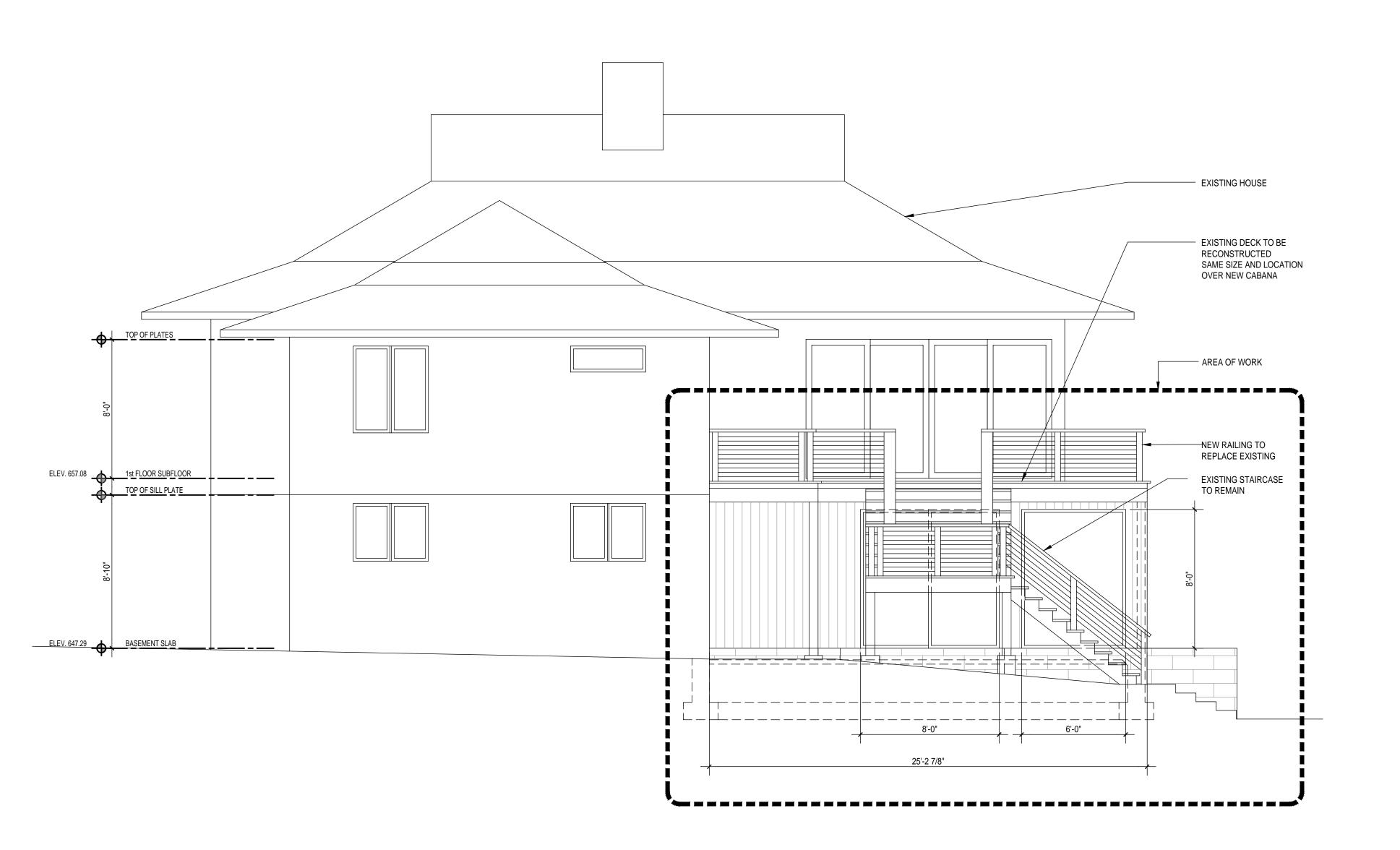
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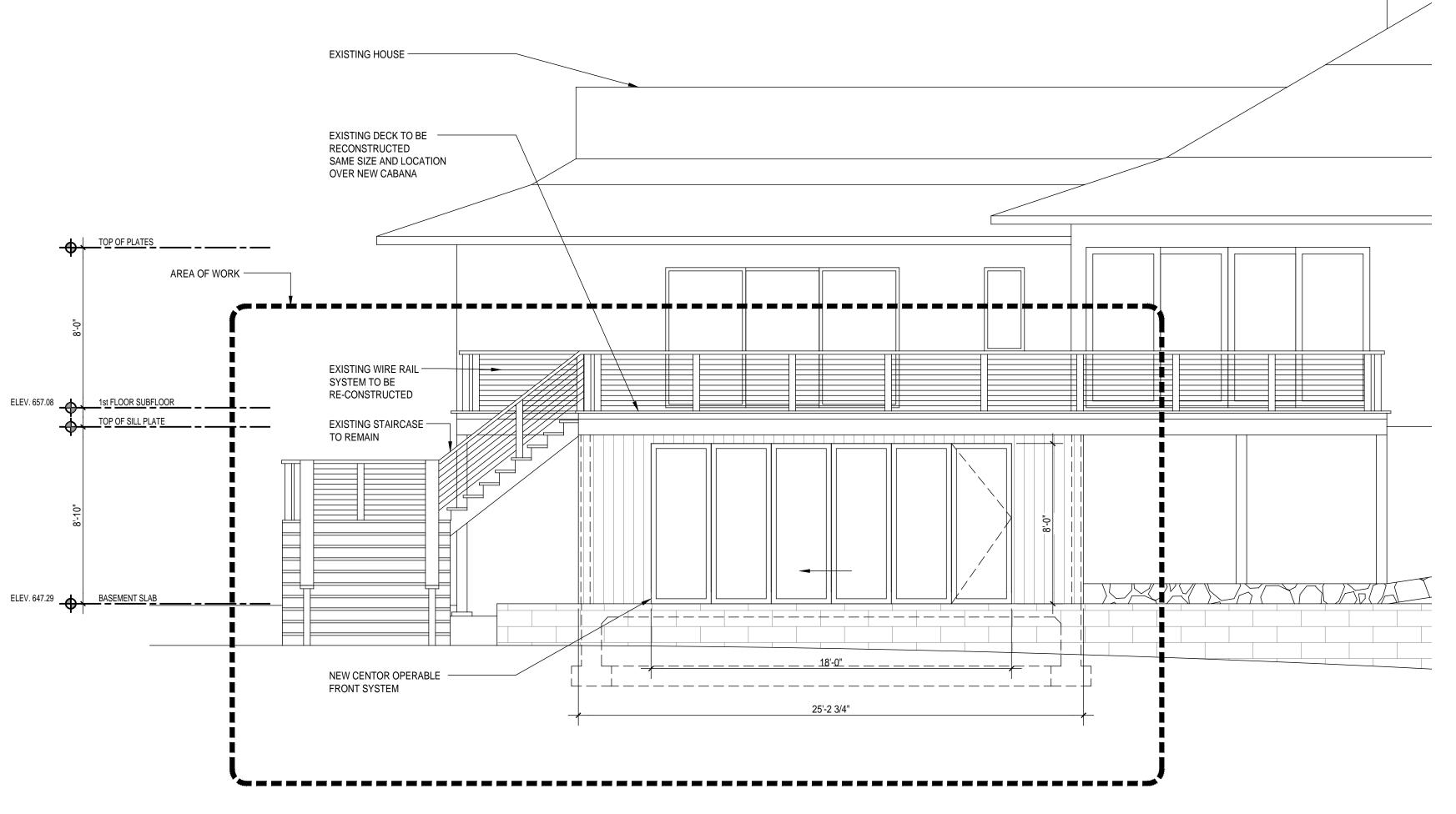
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KEY DI ANI

PROPOSED PLANS







# PROPOSED SIDE ELEVATION

WINDOW SCHEDULE							
WINDOW KEY	WINDOW TYPE	MANUF.	CATALOGUE NUMBER	WINDOW OPENING	REMARKS		
18'-0"	OPERABLE	CENTOR					
(2) [-0"] [-0] [-0] [-0] [-0] [-0] [-0] [-0] [-0	SLIDING						
6'-0"	FIXED						

# WINDOW GENERAL NOTES:

- O ALL NEW WINDOWS AND DOORS TO BE "LEPAGE" ALUMINUM CLAD EXTERIOR AND WOOD INTERIOR
- ALL DOORS TO BE THERMALY BROKEN.
- ALL WIND. AND DOORS TO HAVE DOUBLE PANE INSULATED GLASS LOW-E GLASS AND ARGON GAS. WINDOWS AND SHALL HAVE ALL REQUIRED HARDWARE AND INSECT SCREENS, BLACK COLOR.

PROPOSED REAR ELEVATION

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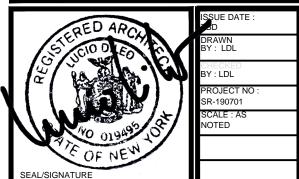
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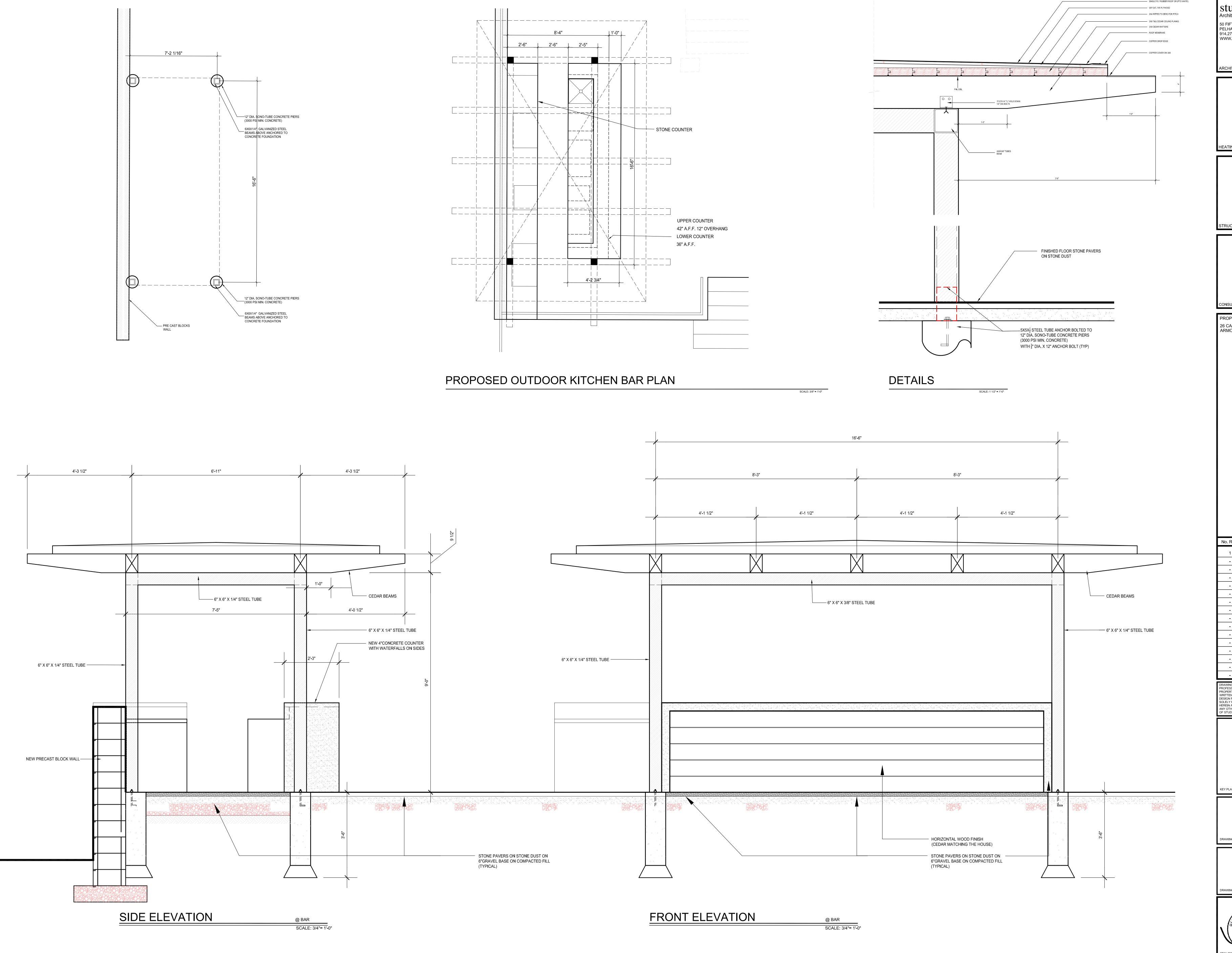
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**ELEVATIONS** 





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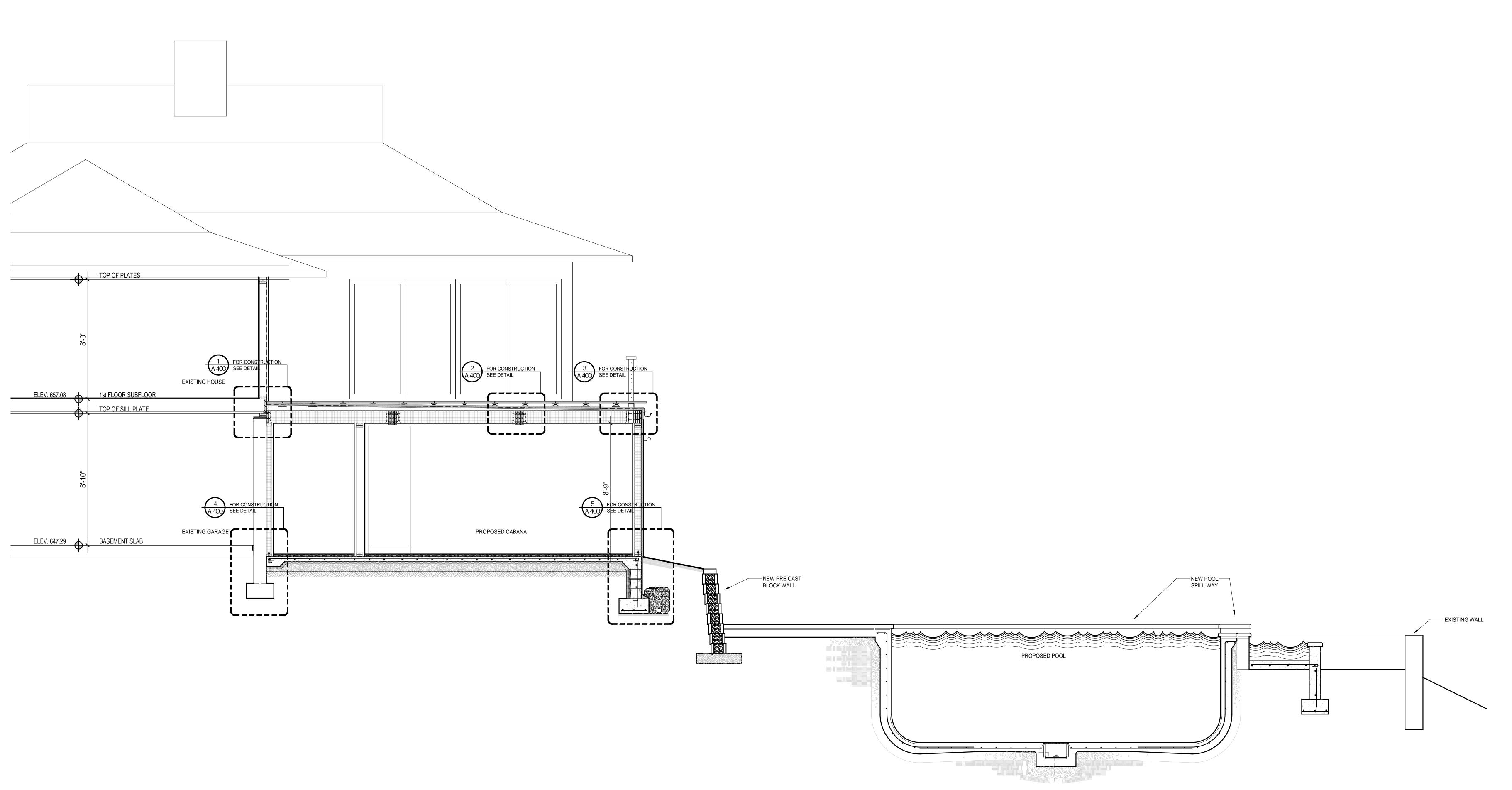
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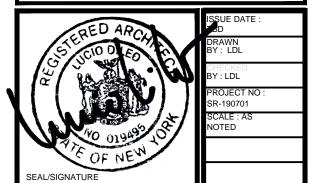
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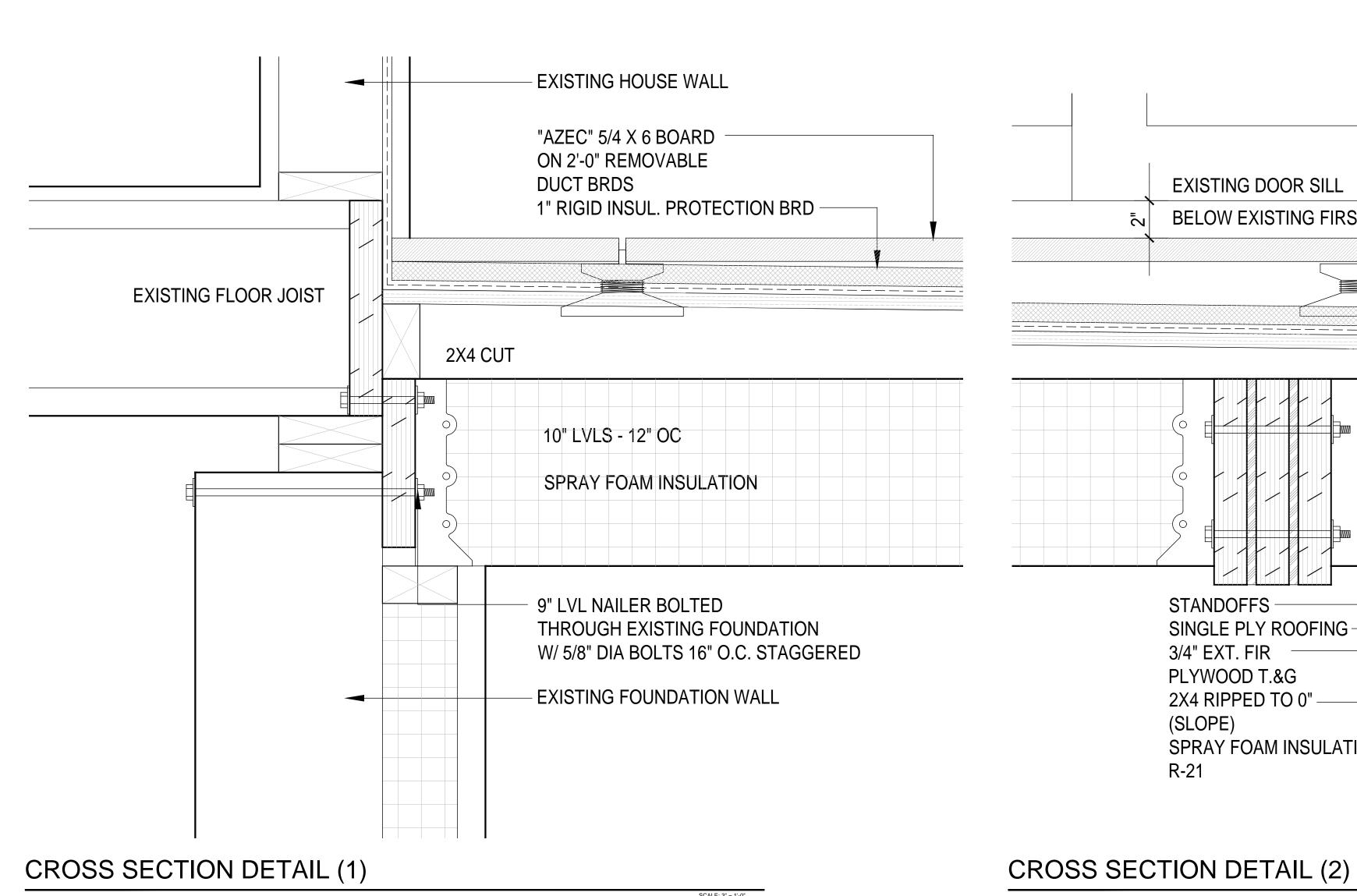
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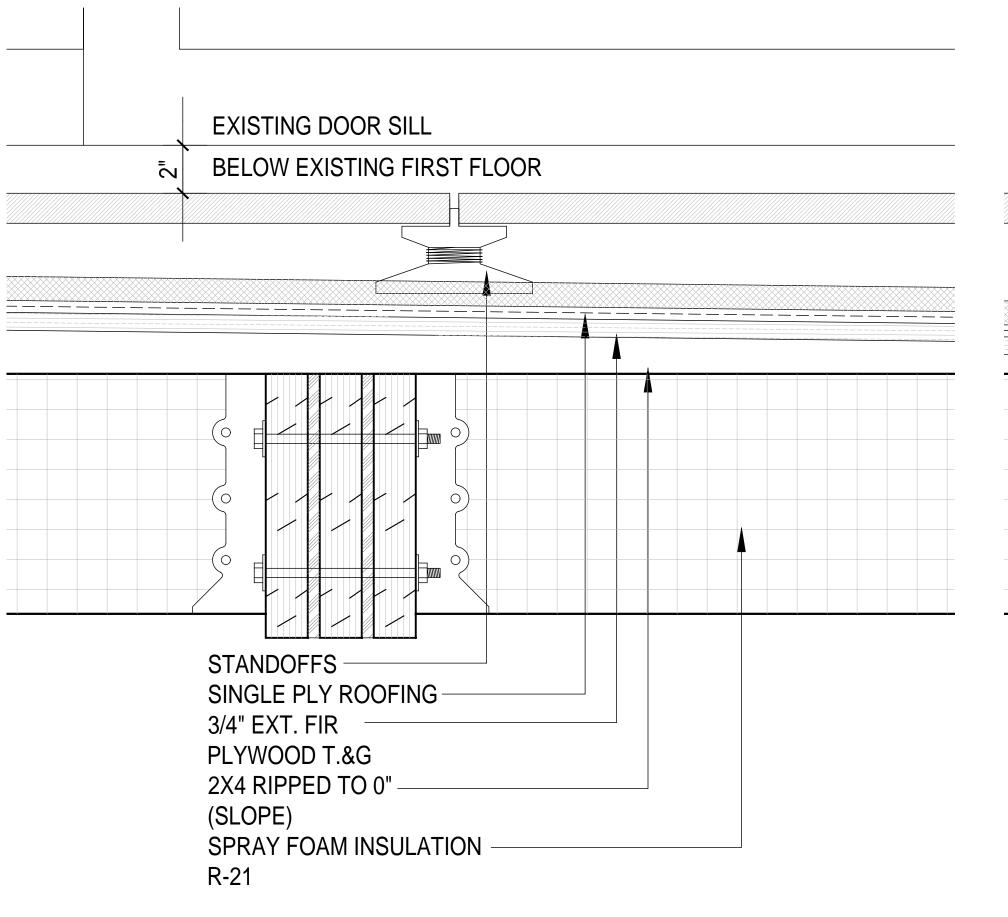
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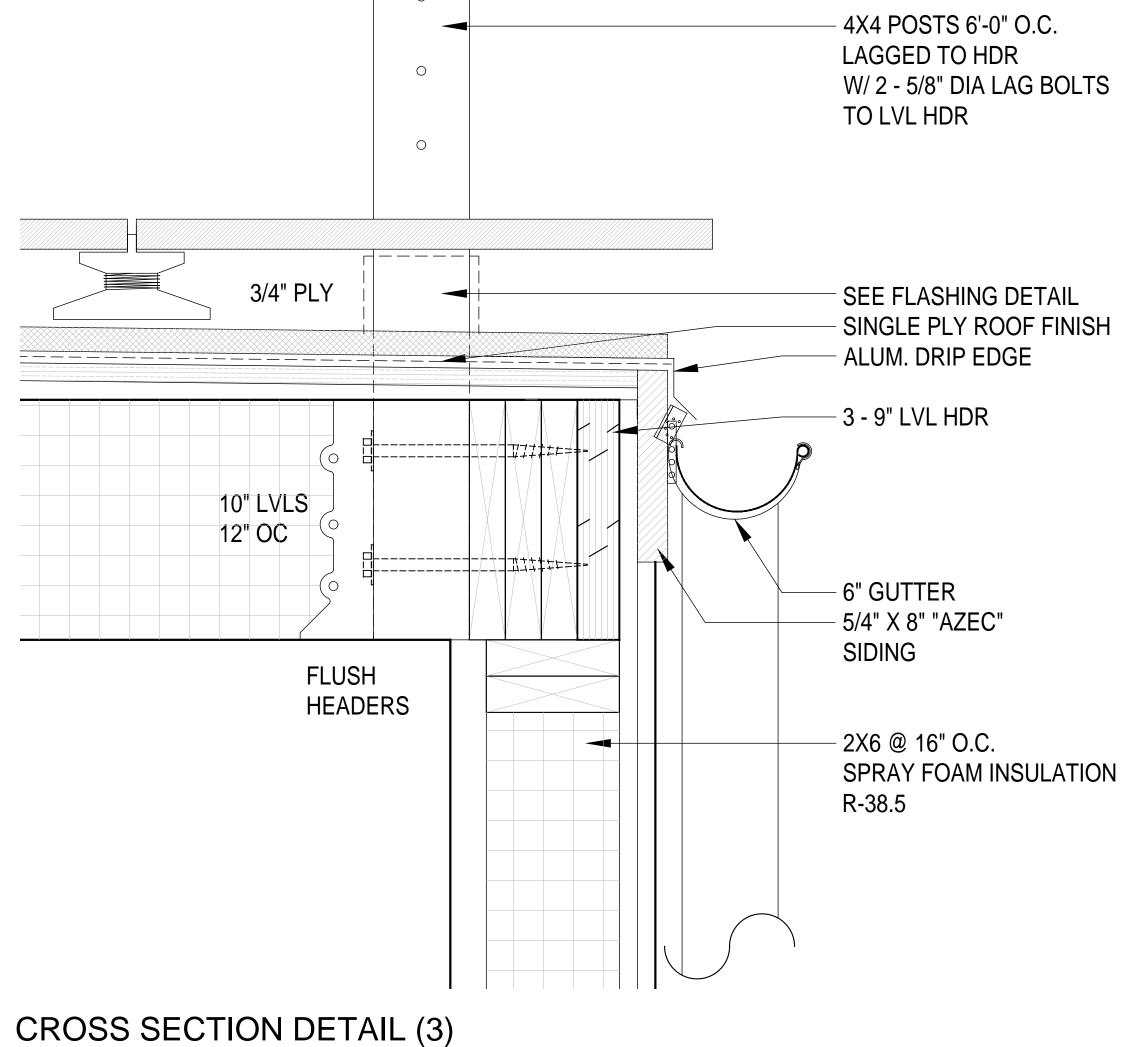
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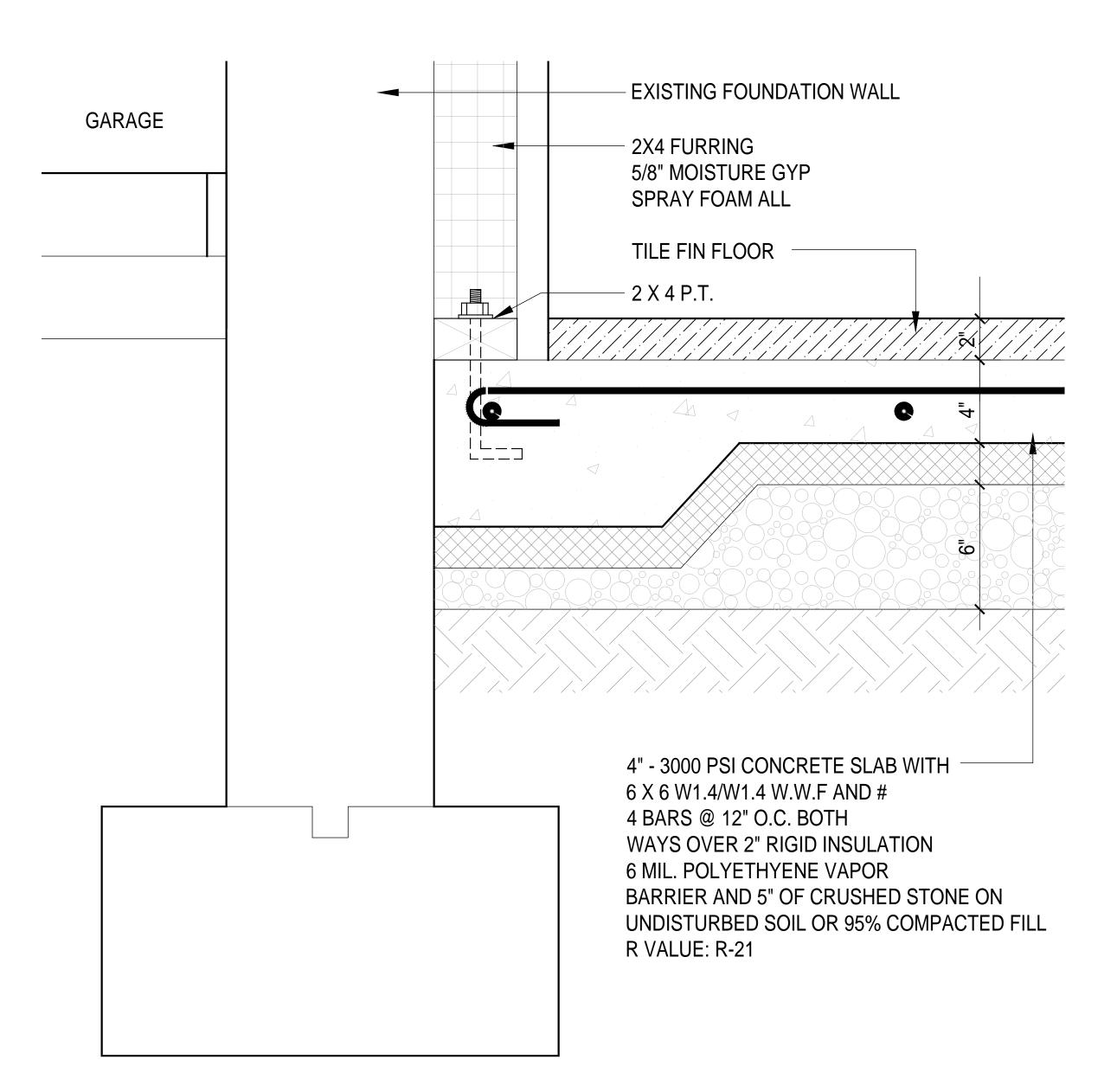
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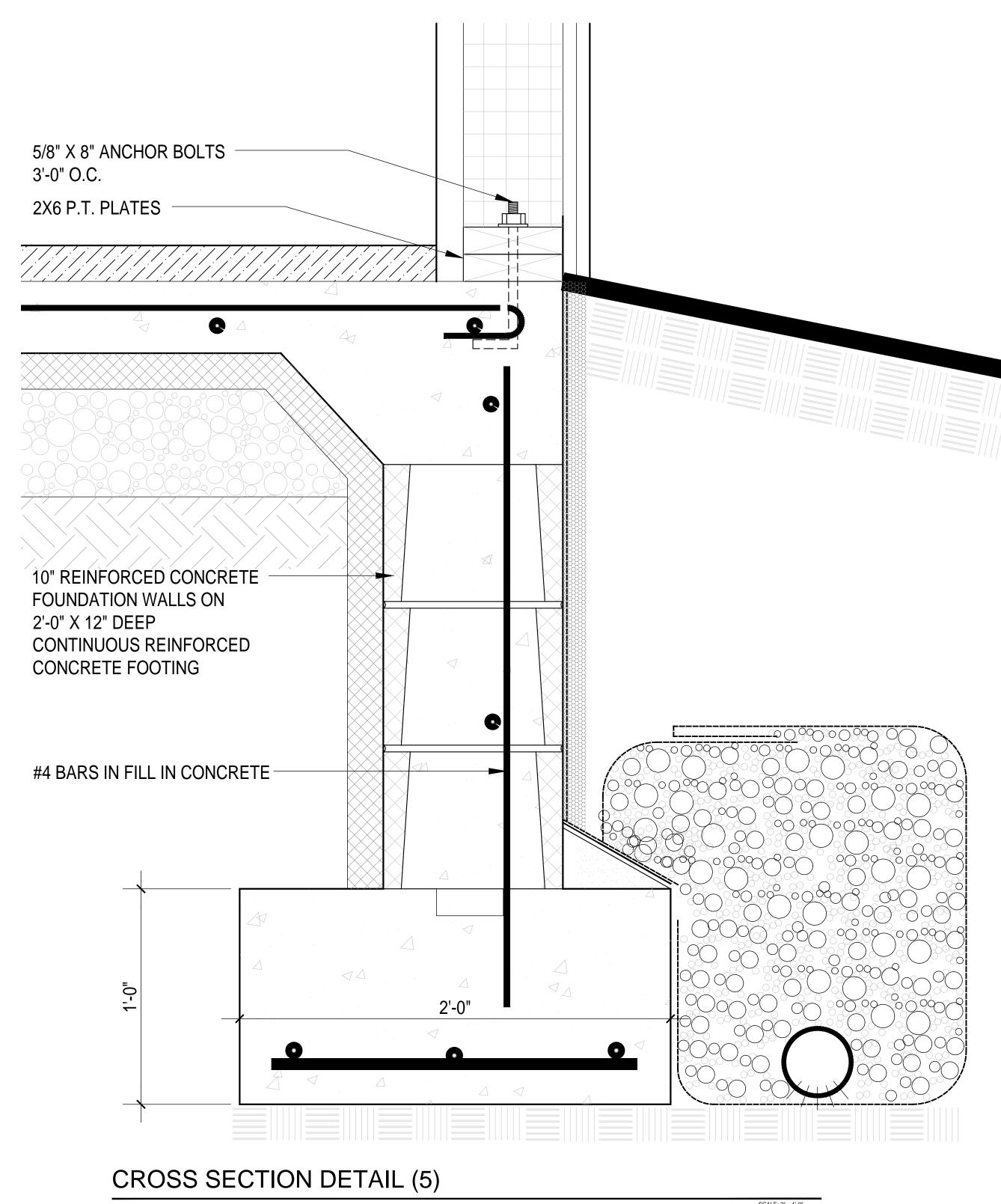








CROSS SECTION DETAIL (4)



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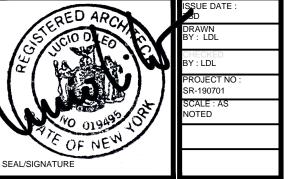
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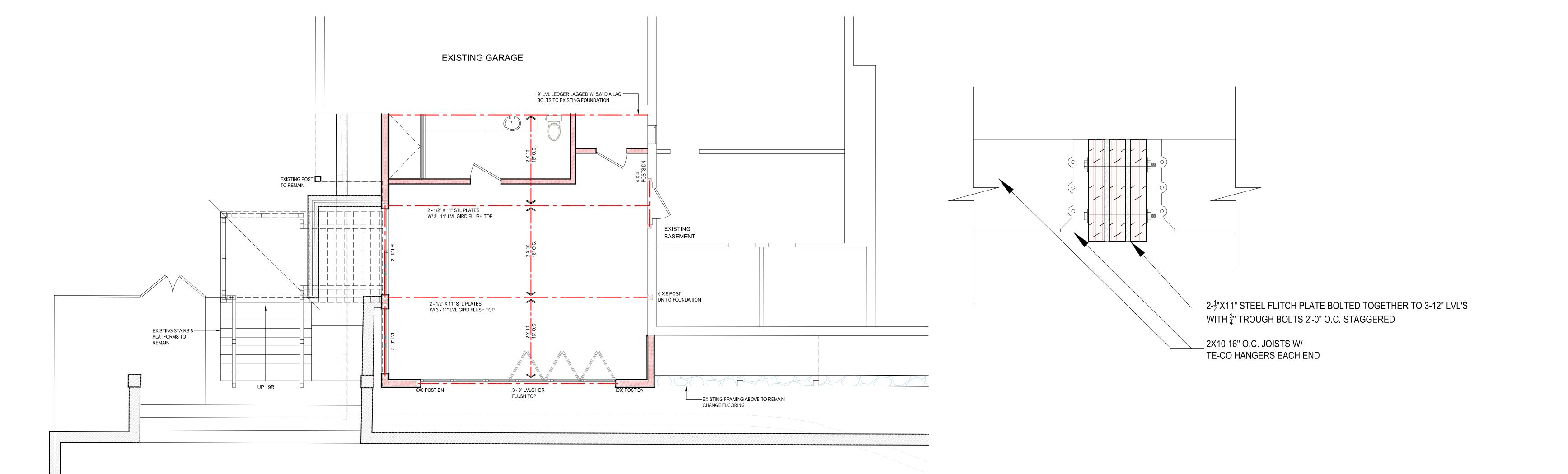
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CROSS SECTION DETAIL





ROOF-DECK FRAMING PLAN

\_ 3X8 CEDAR RAFTERS COVER TOP WITH COPPER COPING BEYOND ROOFING (TYP.) - 6X6X3/8" GALVANIZED STEEL ਨ| 6X6X1/4" GALVANIZED STEEL \_ 6X6X1/4" GALVANIZED STEEL COLUMNS (TYP) 7'-2 1/16" PAINTED BLACK COLUMNS (TYP) PAINTED BLACK -----6" X 6" X 1/4" STEEL TUBE - 6" X 6" X 1/4" STEEL TUBE 12" DIA. \$ONO-TUBE CONCRETE PIERS (3000 PS MIN. CONCRETE) - 3X8 CEDAR MAIN RAFTERS 6X6X1/4" GALVANIZED STEEL BEAMS ABOVE ANCHORED TO CONCRETE FOUNDATION 2X6 T.&G CEDAR SHEATHING - 6X6X1/4" GALVANIZED STEEL - 6X6X1/4" GALVANIZED STEEL − 6X6X3/8" GALVANIZED STEEL COLUMNS (TYP) COLUMNS (TYP) PAINTED BLACK ----OUTDOOR KITCHEN/BAR ROOF FRAMING PLAN 6X6X1/4" GALVANIZED STEEL BEAMS ABOVE ANCHORED TO CONCRETE FOUNDATION SCALE: 3/4" = 1'-0" — PRE CAST BLOCKS

TRUSS JOIST SUBSTITUTION NOTE

CONTRACTOR SHALL SUBMIT TO ARCHITECT WRITTEN PROOF THAT ANY SUBSTITUTIONS OF THE TRUSS JOIST MANUFACTURER INDICATED ON THESE DRAWINGS SHALL BE OF EQUAL STRUCTURAL CAPACITY PRIOR TO ORDERING.

#### TRUSS JOIST NOTES

TRUSS JOISTS ARE TO BE MANUFACTURED BY "TRUSJOIST MACMILLAN" OR APPROVED EQUAL. SIZE AND SPACING AS INDICATED ON THE DRAWINGS. FOLLOW ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS AND

#### MINIMUM BEARING LENGTH IS TO BE 1 3/4" AT JOIST ENDS AND 3 1/2" AT 3. INTERMEDIATE SUPPORTS.

PROVIDE "TIMBERSTRAND LSL RIM BOARDS AT PERIMETER WALL AND AS 4. INDICATED. DO NOT USE SOLID DIMENSIONAL LUMBER AS RIM BOARDS. PROVIDE 2 X 4 WEB STIFFENER "SQUASH BLOCKS" AT ALL POINT LOADS AND AT INTERMEDIATE BEARING POINTS WHERE THERE IS A BEARING WALL
ABOVE TO TRANSFER LOAD TO BEARING PLATE. PROVIDE WEB STIFFENERS AT JOIST INTERMEDIATE BEARING POINTS WHERE NO LOAD BEARING BEARING WALL IS ABOVE.

> DO NOT BEVEL CUT JOIST BEARING BEYOND INSIDE FACE OF STUD WALL. (MAXIMUM OF 5 1/2" FOR 2 X 6 PLATE).

FOLLOW NAILING REQUIREMENTS AS RECOMMENDED BY "TRUSJOIST

USE GALVANIZED JOIST HANGERS WHEN SUPPORTING TRUSS JOISTS FROM MICROLLAM LVL BEAMS, DOUBLED TRUSS JOISTS AND LEDGER BOARDS. PROVIDE WEB BLOCKING IF JOIST HANGERS DO NOT LATERALLY SUPPORT THE TRUSS JOIST TOP FLANGE. PROVIDE BACKER BLOCKS WHERE TRUSS JOISTS ARE FRAMED INTO ANOTHER TRUSS JOIST.

DOUBLE UP TJI JOISTS UNDER PARALLEL PARTITIONS ABOVE.

# LVL NOTE

- ALL DESIGNATED LVL'S SHALL BE 1.9E "MICROLLAM" BY "TRUSJOIST MACMILLAN" WITH A FLEXURAL FIBER STRESS OF Fb = 2,600 P.S.I. — OR AN APPROVED EQUAL. . CONTRACTOR TO FOLLOW ALL RECCOMENDATIONS OF LYL MANUFACTURER IN REGARDS TO INSTALLATION, NOTCHING, DRILLING HOLES, BEARING, FASTENING OF MULTIPLE MEMEBERS (NAILING OR

BOLTING) AND ALL OTHER PERTINENT INFORMATION FOR PROPER INSTALLÁTION. 3. NOTCHING AND DRILLING HOLES IN LVL'S SHOULD BE AVOIDED, HOWEVER IF REQUIRED DUE TO FEILD CONDITIONS, NOTCHING AND DRILLING HOLES SHALL BE LIMITED TO THE RECOMMENDATIONS OF THE LVL MANUFACTURER. THE G.C. IS TO COORDINATE FRAMING WITH MECHANICAL PLUMBING AND ELECTRICAL TRADES. THE G.C. IS TO BE RESPONCIBLE FOR ALL MODIFICATIONS TO LVL'S.

FASTEN MULTIPLE LVL MEMEBERS PER LVL MANUFACTURER'S

RECOMMENDATIONS. (2) AND (3) MEMBER LVL BEAMS MAY BE NAILED O BOLTED. (4) OR MORE MEMBER BEAMS ARE TO BE BOLTED.

# HEADER AND LINTEL NOTES

4 OR (2) 2 X 6 JACK STUDS AT EACH END.

MASONRY, OR AS INDICATED ON THE DRAWINGS. FLUSH FRAMED BEAMS ARE TO BEAR ONTO CORNER POSTS, SOLID OR BUILT

WHERE (3) 2 X HEADERS ARE INDICATED, INSTALL (2) 1/2" PLYWOOD SPACERS

TILE & MUD

TOTAL LOAD : 75 P.S.F.

LIVE LOAD DEAD LOAD : 40 P.S.F. : 15 P.S.F.

INDICATES FLOOR, CEILING, OR ROOF FRAMING DIRECTION AND SPACING.

LOAD BEARING INTERIOR PARTITION

BUILT-UP SOLID WOOD POST - SEE NOTES ON PLANS FOR SIZE. BUILT-UP SOLID WOOD POST FROM ABOVE - SEE PLANS FOR SIZE. STEEL COLUMN - DIAMETER AS INDICATED ON PLANS.

ALL WOOD HEADERS AT WINDOWS AND EXTERIOR DOORS TO BEAR ON (2) 2 X . ALL STEEL ANGLES AT MASONRY VENEER IS TO BEAR A MINIMUM OF 4" ONTO

- UP POSTS AS INDICATED ON THE DRAWINGS.

# FIRST FLR. LOADING SCHEDULE

LIVE LOAD 20 P.S.F.

# FIRST FLR. LOADING SCHEDULE

# TOTAL LOAD : 55 P.S.F.

FRAMING PLAN LEGEND

BEARING PLATE LOCATION - SEE NOTES ON PLAN FOR SIZE AND BOLTING INFO.

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