



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
17 Bedford Road  
Armonk, New York 10504-1898

**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
**Director of Planning**

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## Application for Site Development Plan Approval

Application Name

Sankar Residence



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**APPLICATIONS REQUIRING PLANNING BOARD APPROVAL**  
**SCHEDULE OF APPLICATION FEES**

<b><u>Type of Application</u></b>	<b><u>Application Fee</u></b>
Site Development Plan	\$200.00
Each proposed Parking Space	\$10
Special Use Permit (each)	\$200 (each)
Preliminary Subdivision Plat	\$300 1 <sup>st</sup> Lot \$200 (each additional lot)
Final Subdivision Plat	\$250 1 <sup>st</sup> Lot \$100 (each additional lot)
Tree Removal Permit	\$75
Wetlands Permit	\$50 (each)
Short Environmental Assessment Form	\$50
Long Environmental Assessment Form	\$100
Recreation Fee	\$10,000 Each Additional Lot
Discussion Fee	\$200.00
Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of \$200.00 shall be submitted for each informal appearance before the board.	

\*Any amendment to previously approved applications requires new application forms and Fes\*



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**PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS**

<b><u>Type of Application Deposit*</u></b>	<b><u>Amount of Initial Escrow Account</u></b>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

\* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

  
Applicant Signature

  
Date:

**I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES**

Name of Property Owner: Cherryann Sankar

Mailing Address: 26 Carolyn Place, Armonk, New York 10504

Telephone: 347-236-6287 Fax: \_\_\_\_\_ e-mail cherryann@almechanical.net

Name of Applicant (if different): \_\_\_\_\_

Address of Applicant: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ e-mail \_\_\_\_\_

Interest of Applicant, if other than Property Owner:  
\_\_\_\_\_

Is the Applicant (if different from the property owner) a Contract Vendee?

Yes  No

If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:  
Ralph Alfonzetti, P.E.

Address: 14 Smith Ave, Mount Kisco, NY 10549

Telephone: 914-666-9800 Fax: \_\_\_\_\_ e-mail info@alfonzettieng.com

Name of Other Professional: Lucio Di Leo, r.a., aia

Address: 50 Fifth Ave., Pelham, NY 10803

Telephone: 914-273-6843 Fax: \_\_\_\_\_ e-mail lucio@studiorai.com

Name of Attorney (if any): \_\_\_\_\_

Address: \_\_\_\_\_


Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ e-mail \_\_\_\_\_


### Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  \_\_\_\_\_ Date: 4/22/2024

Signature of Property Owner:  \_\_\_\_\_ Date: 4/22/2024

MUST HAVE BOTH SIGNATURES

**II. IDENTIFICATION OF SUBJECT PROPERTY**

Street Address: 26 Carolyn Place

Location (in relation to nearest intersecting street):

1,000 feet north south, east or west) of Meadow Hill Pl.

Abutting Street(s): \_\_\_\_\_

Tax Map Designation (NEW): Section 100.04 Block 1 Lot 3

Tax Map Designation (OLD): Section \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

Zoning District: R-2A Total Land Area 2.013 Acres

Land Area in North Castle Only (if different) \_\_\_\_\_

Fire District(s) Armonk FD School District(s) Byram Hills

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No \_\_\_\_\_ Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) X

If yes, please identify name(s): New Castle

The boundary of any existing or proposed County or State park or any other recreation area?

No X Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No X Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No \_\_\_\_\_ Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) X

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No X Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The boundary of a farm operation located in an agricultural district?

No X Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

Does the Property Owner or Applicant have an interest in any abutting property?

No X Yes \_\_\_\_\_

If yes, please identify the tax map designation of that property:

\_\_\_\_\_

**III. DESCRIPTION OF PROPOSED DEVELOPMENT**

Proposed Use: Residence

Gross Floor Area: Existing 4149.1 S.F. Proposed 5507.3 S.F.

Proposed Floor Area Breakdown:

Retail \_\_\_\_\_ S.F.; Office \_\_\_\_\_ S.F.;

Industrial \_\_\_\_\_ S.F.; Institutional \_\_\_\_\_ S.F.;

Other Nonresidential \_\_\_\_\_ S.F.; Residential 5507.3 S.F.;

Number of Dwelling Units: 1

Number of Parking Spaces: Existing 2 Required 2 Proposed 0

Number of Loading Spaces: Existing N/A Required N/A Proposed N/A

Earthwork Balance: Cut \_\_\_\_\_ C.Y. Fill \_\_\_\_\_ C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes \_\_\_\_\_

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No X Yes \_\_\_\_\_

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No X Yes \_\_\_\_\_

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes \_\_\_\_\_

(If yes, application for a State Wetlands Permit may also be required.)

#### **IV. SUBMISSION REQUIREMENTS**

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) PDF set of the site development plan application package in a single PDF file .
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)



## V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

### **Legal Data:**

- Name of the application or other identifying title.
- Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- A signature block for Planning Board endorsement of approval.

**Existing Conditions Data:**

- X Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- X Location of existing parking and truck loading areas, with access and egress drives thereto.
- X Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- X Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- N/A Location, size and design of existing signs.
- N/A Location, type, direction, power and time of use of existing outdoor lighting.
- N/A Location of existing outdoor storage, if any.
- X Existing topographical contours with a vertical interval of two (2) feet or less.
- X Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

**Proposed Development Data:**

- N/A Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- X Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- X Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- N/A Proposed sight distance at all points of vehicular access.
- N/A Proposed number of employees for which buildings are designed
- N/A Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- N/A Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- X Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

- X Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- N/A Location, size and design of all proposed signs.
- N/A Location, type, direction, power and time of use of proposed outdoor lighting.
- N/A Location and design of proposed outdoor garbage enclosure.
- N/A Location of proposed outdoor storage, if any.
- N/A Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- N/A Type of power to be used for any manufacturing
- N/A Type of wastes or by-products to be produced and disposal method
- N/A In multi-family districts, floor plans, elevations and cross sections
- X The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- X Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- X Proposed soil erosion and sedimentation control measures.
- N/A For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- N/A For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- N/A For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

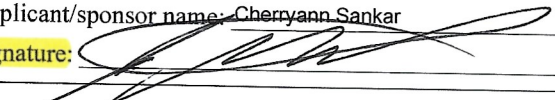
### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>				
Name of Action or Project: Sankar Residence				
Project Location (describe, and attach a location map): 26 Carolyn Place, Armonk, New York 10504				
Brief Description of Proposed Action: Removal of the existing pool equipment, pool, and attached patio and cabana. Also proposal of a proposed pool, pool equipment, terrace, and cabana, as well as the required stormwater mitigation system.				
Name of Applicant or Sponsor: Cherryann Sankar		Telephone: 347-326-6287		
		E-Mail: cherryann@almechanical.net		
Address: 26 Carolyn Place				
City/PO: Armonk		State: New York	Zip Code: 10504	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<b>NO</b>	<b>YES</b>
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<b>NO</b>	<b>YES</b>
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 2.013 acres		
b. Total acreage to be physically disturbed?		_____ 0.47 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 2.013 acres		
4. Check all land uses that occur on, adjoining and near the proposed action.				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____				
<input type="checkbox"/> Parkland				

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?  b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES Cultec chambers are proposed to contain any runoff due to any additions.	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p>		
<p>Applicant/sponsor name: <u>Cherryann Sankar</u></p>	<p>Date: <u>4/28/2024</u></p>	
<p>Signature: <u></u></p>		



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January 29, 2019  
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**FLOOR AREA CALCULATIONS WORKSHEET**

Application Name or Identifying Title: Sankar Residence Date: 3/19/24  
 Tax Map Designation or Proposed Lot No.: 100.04-2-1

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>87,555.6</u>
2.	<b>Maximum</b> permitted floor area (per Section 355-26.B(4)):	<u>13,270</u>
3.	Amount of floor area contained within first floor: <u>4,149.10</u> existing + _____ proposed = _____	<u>4,149.10</u>
4.	Amount of floor area contained within second floor: _____ existing + _____ proposed = _____	<u>0</u>
5.	Amount of floor area contained within garage: <u>745.2</u> existing + _____ proposed = _____	<u>745.2</u>
6.	Amount of floor area contained within porches capable of being enclosed: _____ existing + _____ proposed = _____	<u>0</u>
7.	Amount of floor area contained within basement (if applicable – see definition): _____ existing + _____ proposed = _____	<u>0</u>
8.	Amount of floor area contained within attic (if applicable – see definition): _____ existing + _____ proposed = _____	<u>0</u>
9.	Amount of floor area contained within all accessory buildings: _____ existing + <u>613</u> proposed = _____	<u>613</u>
10.	Proposed <b>floor area</b> : Total of Lines 3 – 9 = _____	<u>5,507.3</u>

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.



Signature and Seal of Professional Preparing Worksheet

3/19/24  
 Date



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**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: Sankar Residence Date: 03/19/24

Tax Map Designation or Proposed Lot No.: 100.04-1-3

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 87,692.4 s.f.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 13298.6 s.f.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 

Distance principal home is beyond minimum front yard setback  
0 x 10 = 0 0 s.f.
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 13,298.6 s.f.
5. Amount of lot area covered by **principal building**:  
4176.0 existing + 0 proposed = 4,176.0 s.f.
6. Amount of lot area covered by **accessory buildings**:  
0 existing + 0 proposed = 0 s.f.
7. Amount of lot area covered by **decks**:  
1376.5 existing + 597.1 proposed = 1,040.9 s.f.  
 (335.6) To be removed (597.1) Deck built above existing
8. Amount of lot area covered by **porches**:  
0 existing + 0 proposed = 0 s.f.
9. Amount of lot area covered by **driveway, parking areas and walkways**:  
3250.1 existing + 0 proposed = 3,250.1 s.f.
10. Amount of lot area covered by **terraces**:  
5309.2 existing + 2317.5 proposed = 2,958.9 s.f.  
 (4667.8) To be removed
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:  
7613.2 existing + 1164.1 proposed = 7,984.6 s.f.  
 (792.7) To be removed
12. Amount of lot area covered by **all other structures**:  
617.9 existing + 133.1 proposed = 373.0 s.f.  
 (367.4) To be removed ( 8.3) Overlapping with deck
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 19783.5 s.f.

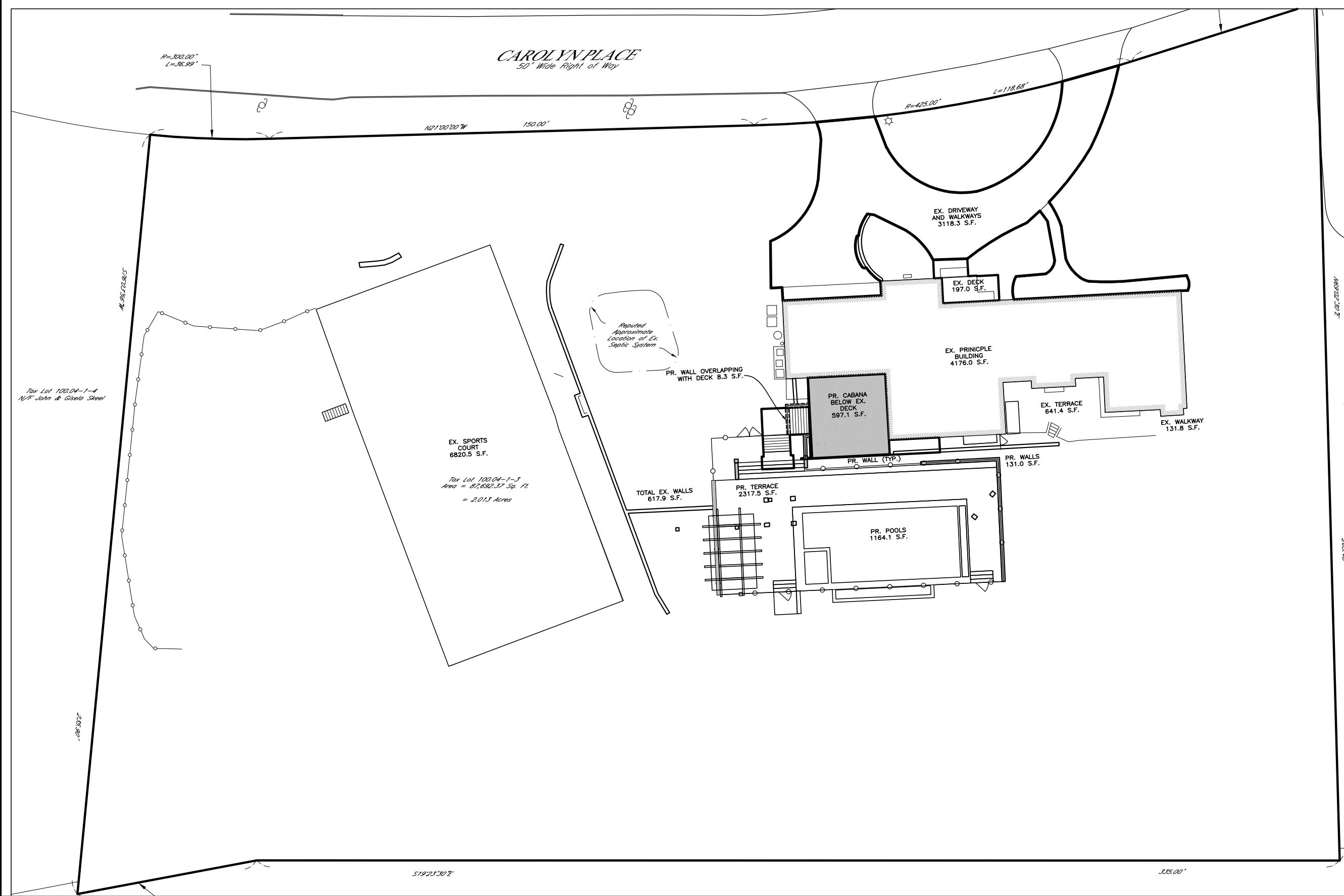
If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

RAH  
 Signature and Seal of Professional Engineer



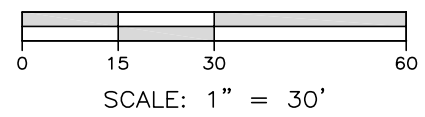
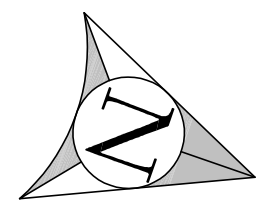
03/19/24  
 Date





COVERAGE	
PRINCIPLE BUILDING	4716 S.F.
ACCESSORY BUILDING	0 S.F.
DECKS	1,040.9 S.F.
PORCHES	0 S.F.
DRIVEWAY AND WALKWAYS	3,250.1 S.F.
TERRACES	2,958.9 S.F.
POOL AND POOL EQUIPMENT	7,984.6 S.F.
ALL OTHER STRUCTURES	373.0 S.F.

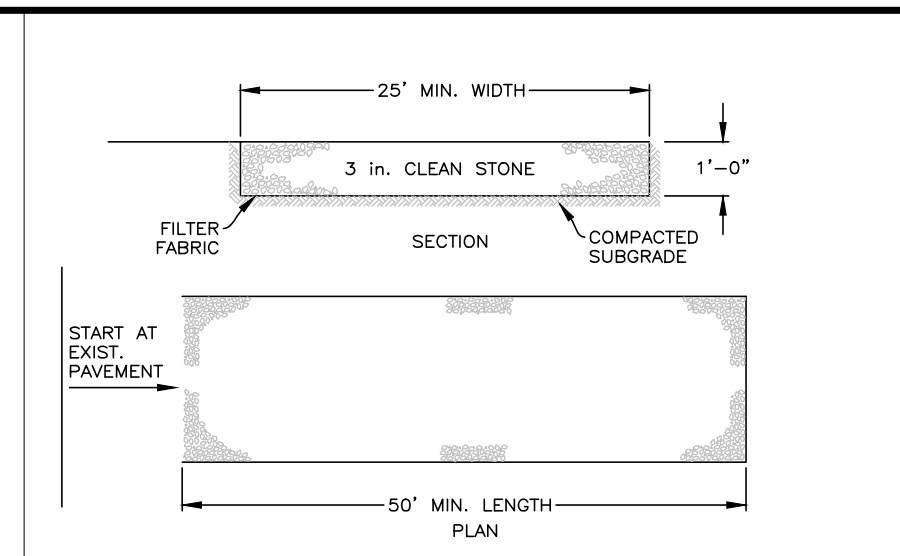
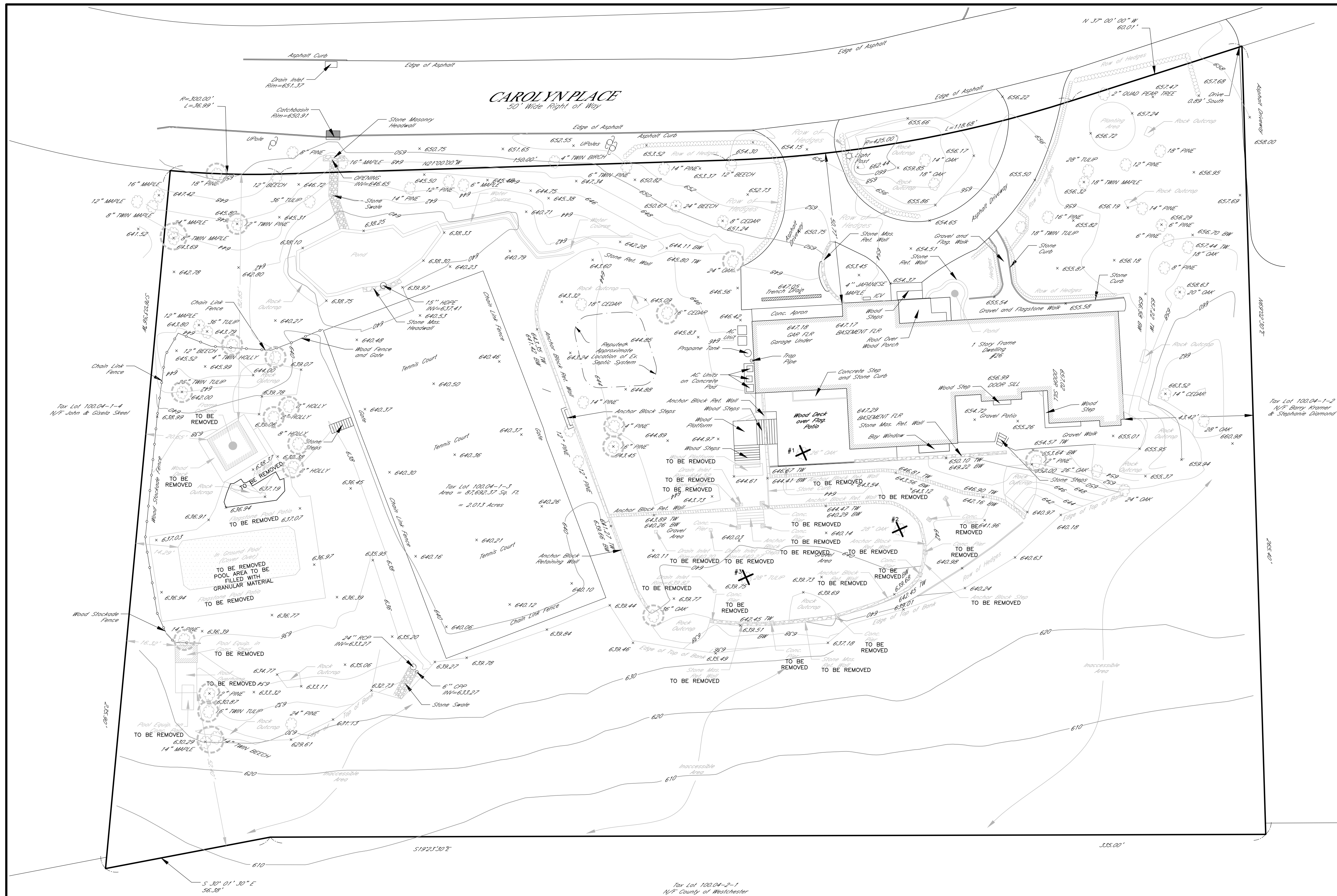
NOTES:  
 LINES SHOWN ARE CLOSED COMPUTER POLYLINE ENTITIES.



ALFONZETTI ENGINEERING, P.C.  
 14 SMITH AVE, MT. KISCO, N.Y. 10549  
 914-666-9800 INFO@ALFONZETTIENG.COM

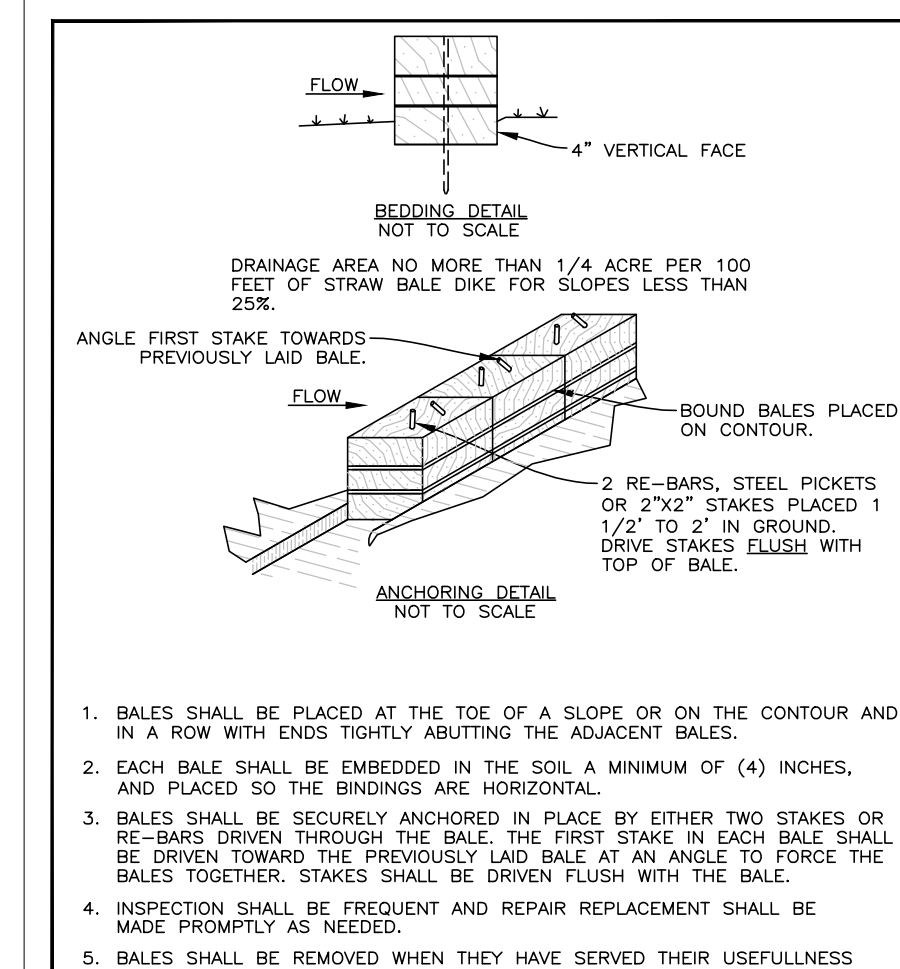
SANKAR RESIDENCE  
 TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY, NEW YORK

GLC BACKUP  
 MARCH 18, 2024  
 REVISED: APRIL 6, 2024



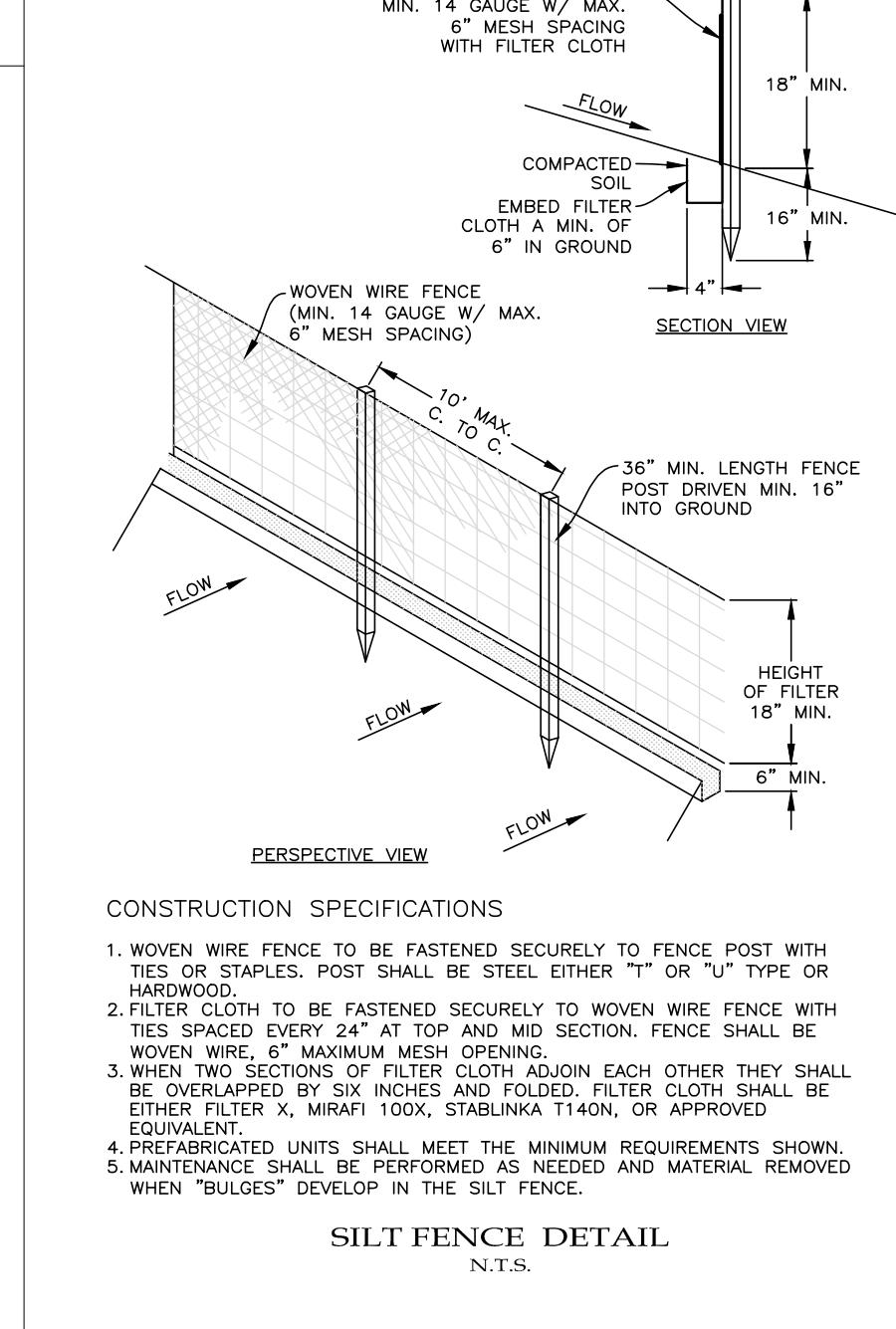
- INSTALLATION NOTES**
- STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
  - FILTER FABRIC - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTAIN BARRIER WITH 5.1 PICKETS WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT, ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED ENTRANCE (ANTI-TRACKING PAD)**  
N.T.S.

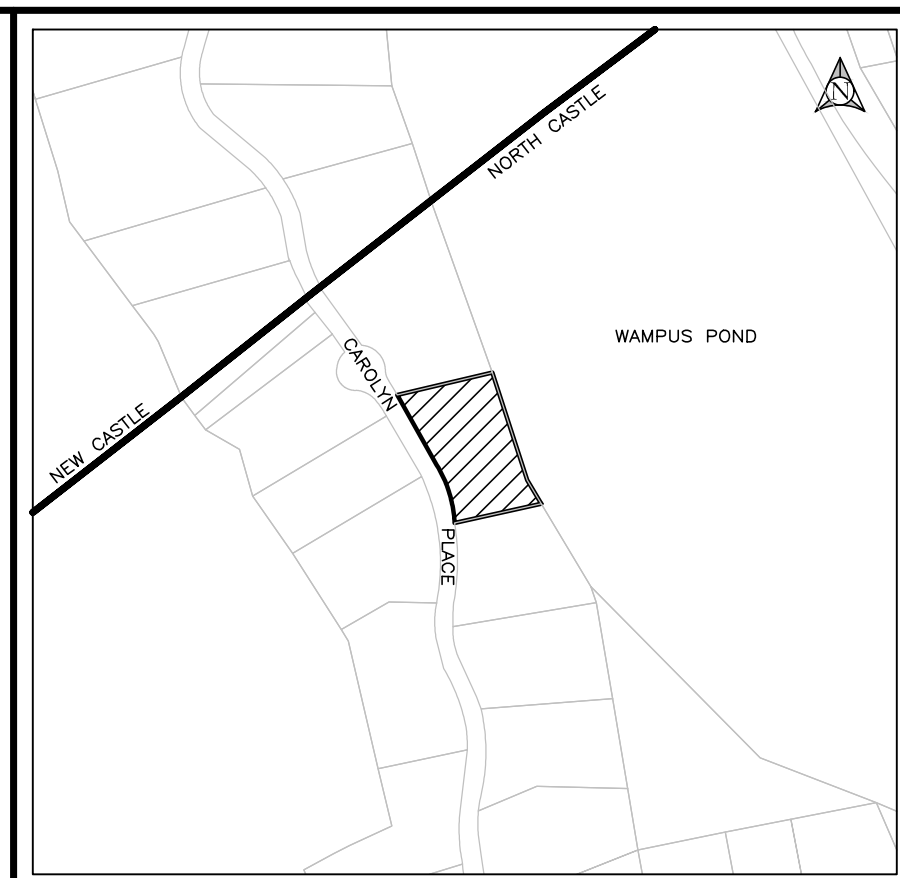


- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALE TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

**HAYBALE SEDIMENT BARRIERS**  
N.T.S.



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH TIES OR STAPLES. POST SHALL BE STEEL EITHER "I" OR "U" TYPE OR HORIZONTAL.
  - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140X, OR APPROVED EQUIVALENT.
  - PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BUBBLES" DEVELOP IN THE SILT FENCE.



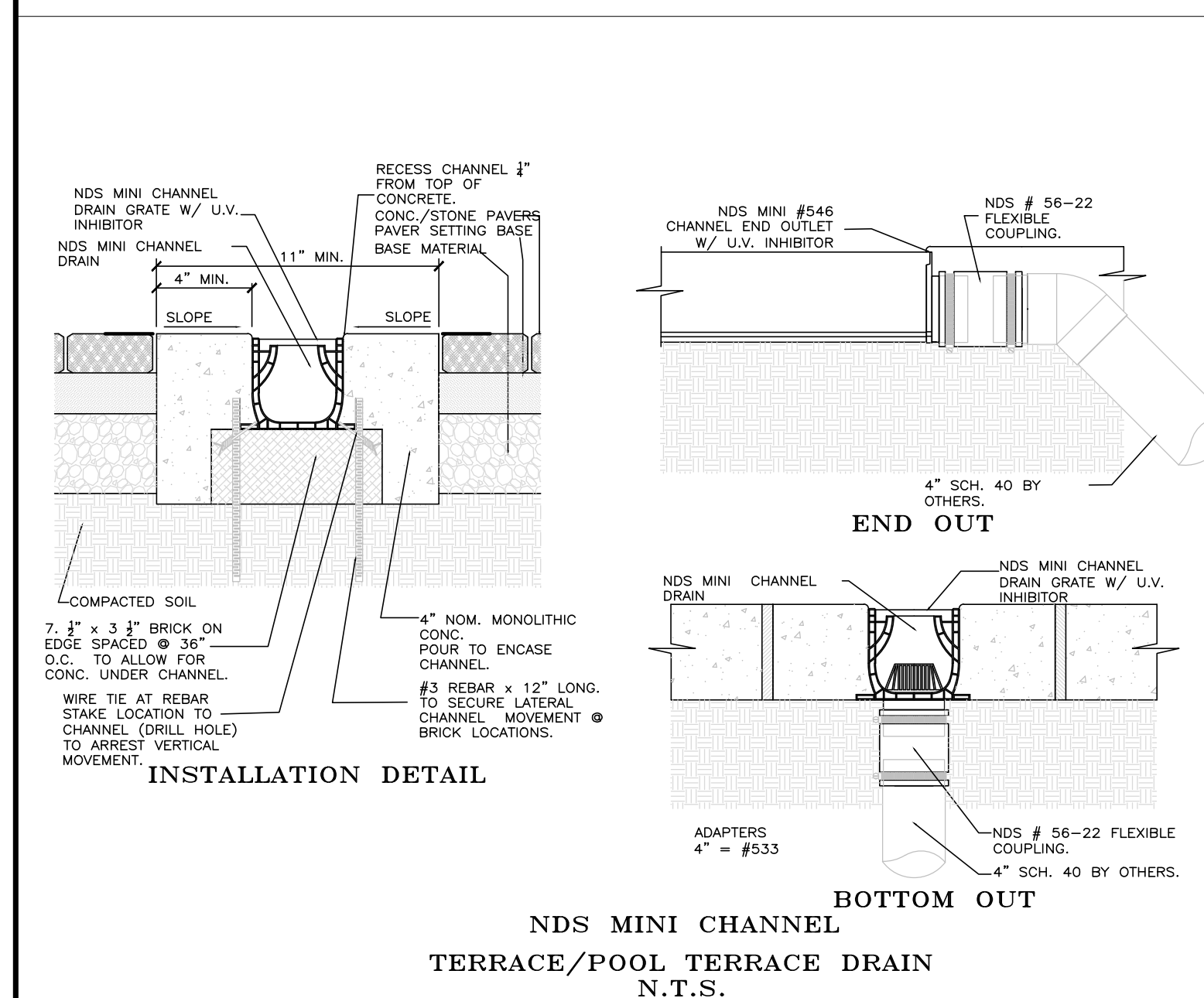
- GENERAL NOTES:**
- EXISTING FEATURES SHOWN HEREON TAKEN FROM SURVEY MAP ENTITLED "TOPOGRAPHY OF PROPERTY FOR ALTAFF SATIURU, SITUATE IN THE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK, PREPARED BY MERRITS LAND SURVEYORS, DATED NOVEMBER 24, 2022."

**TREE LEGEND**

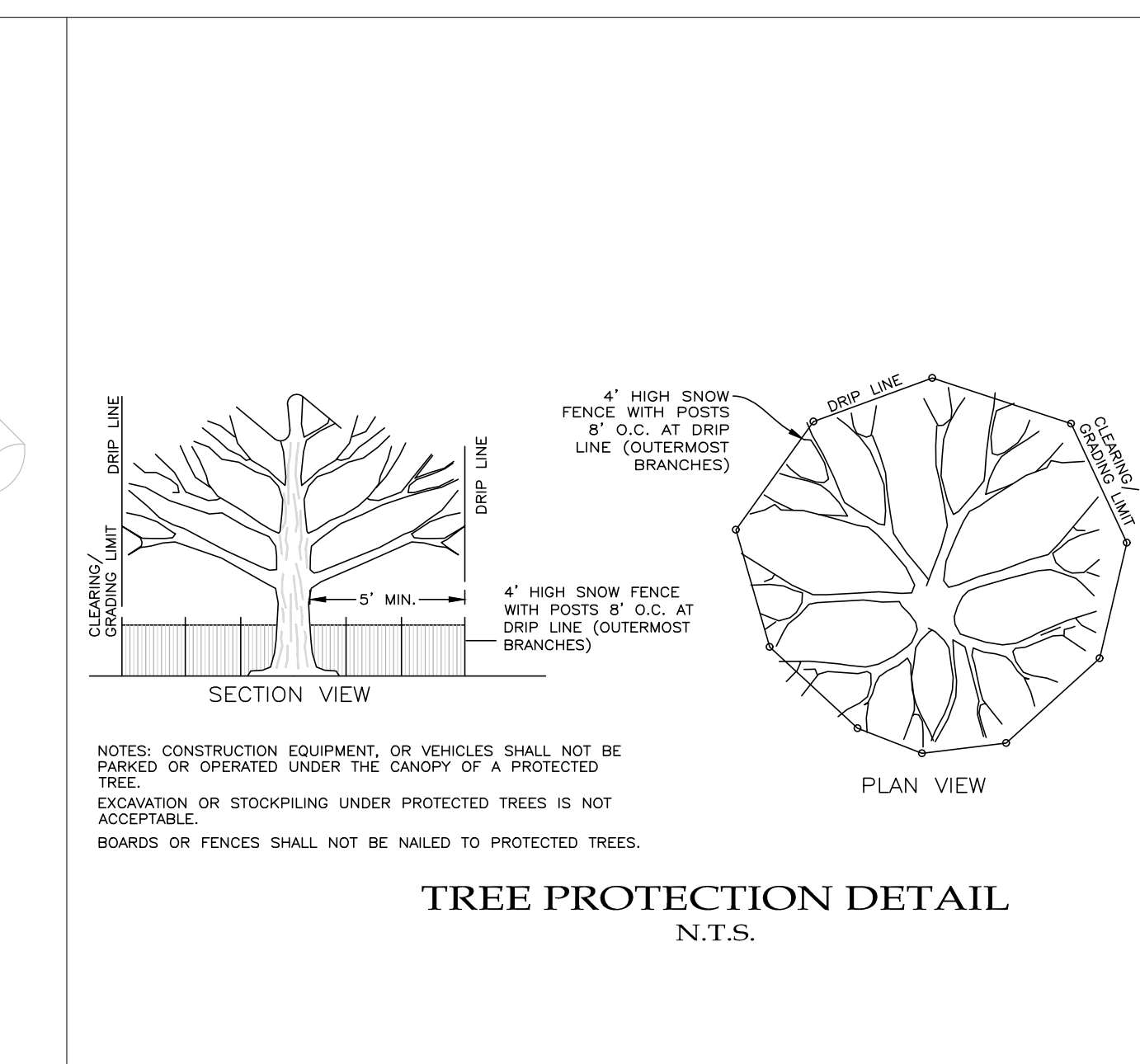
	TREE TO BE REMOVED
	TREE TO BE SAVED

**DEMO TREE LIST**

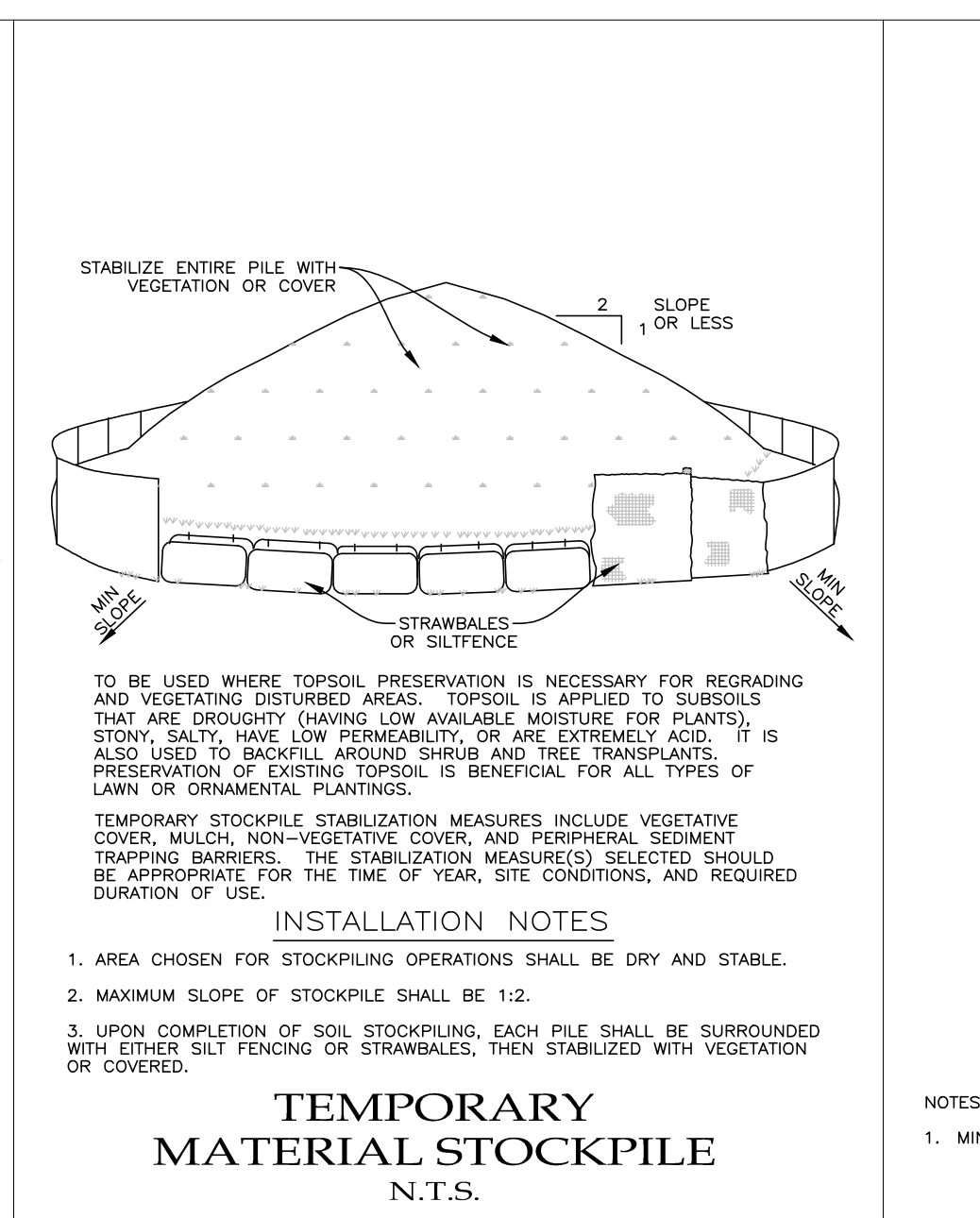
TREE #	SIZE (IN.)	KIND
1	28	OAK
2	26	OAK
3	28	TULIP



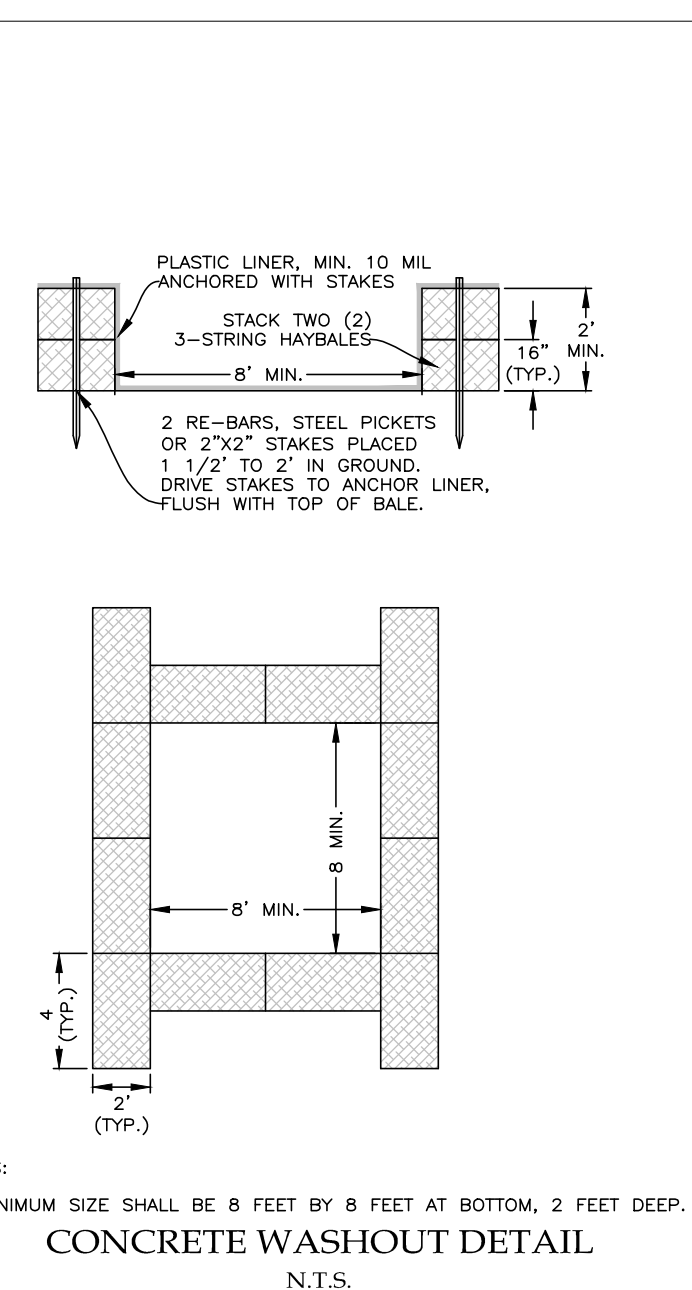
**NDS MINI CHANNEL TERRACE/POOL TERRACE DRAIN**  
N.T.S.



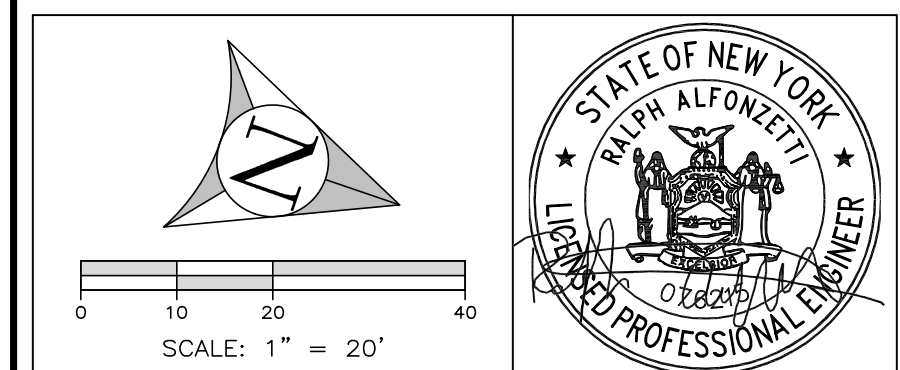
**TREE PROTECTION DETAIL**  
N.T.S.



**TEMPORARY MATERIAL STOCKPILE**  
N.T.S.



**CONCRETE WASHOUT DETAIL**  
N.T.S.



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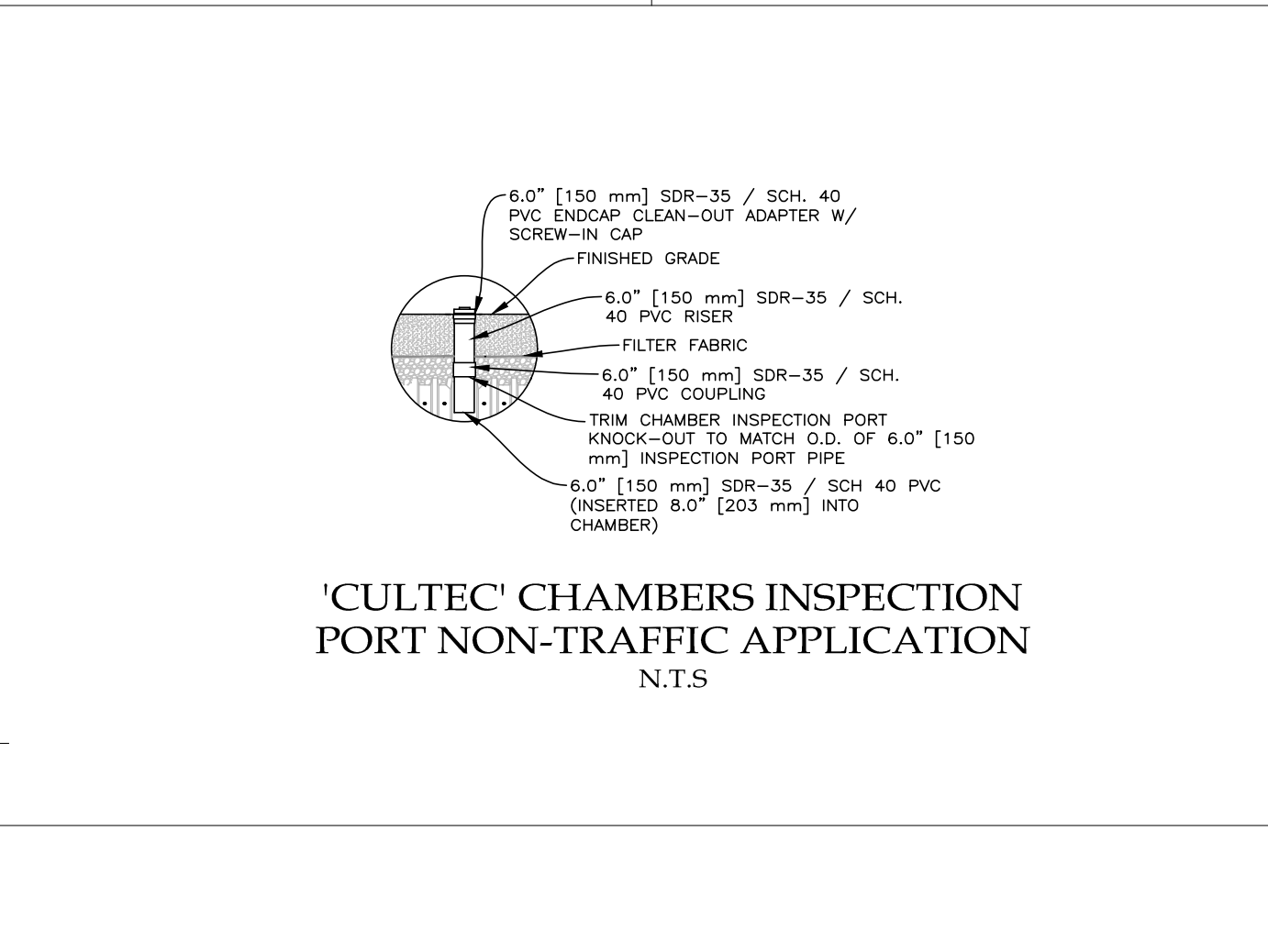
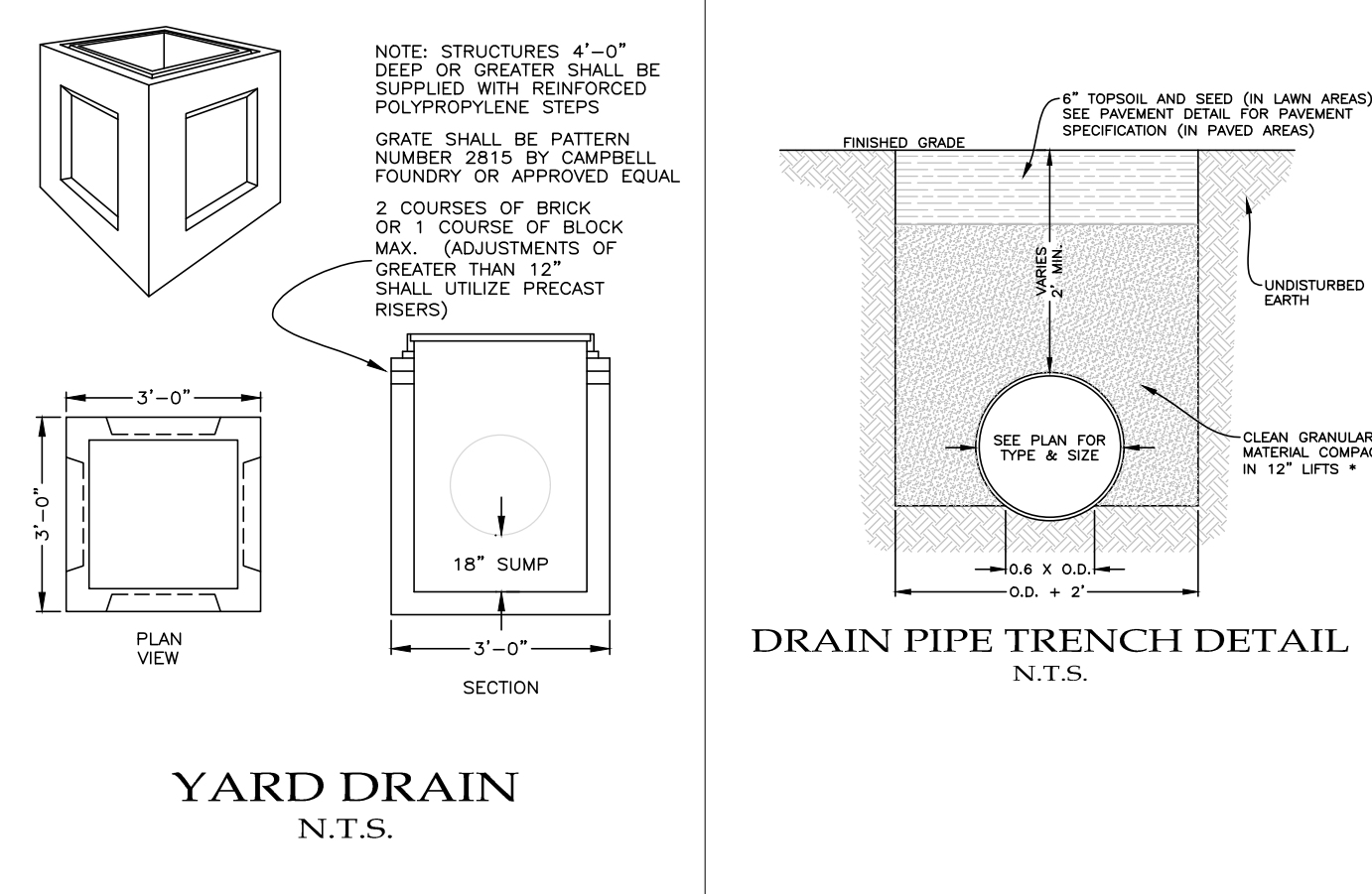
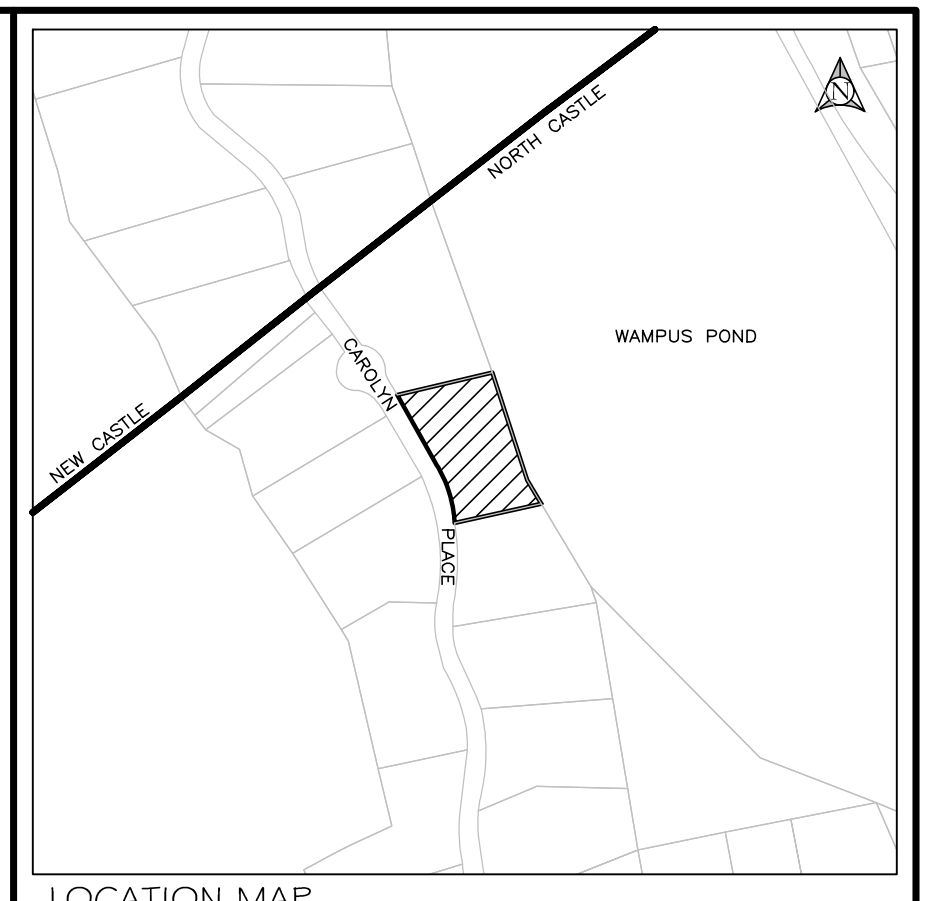
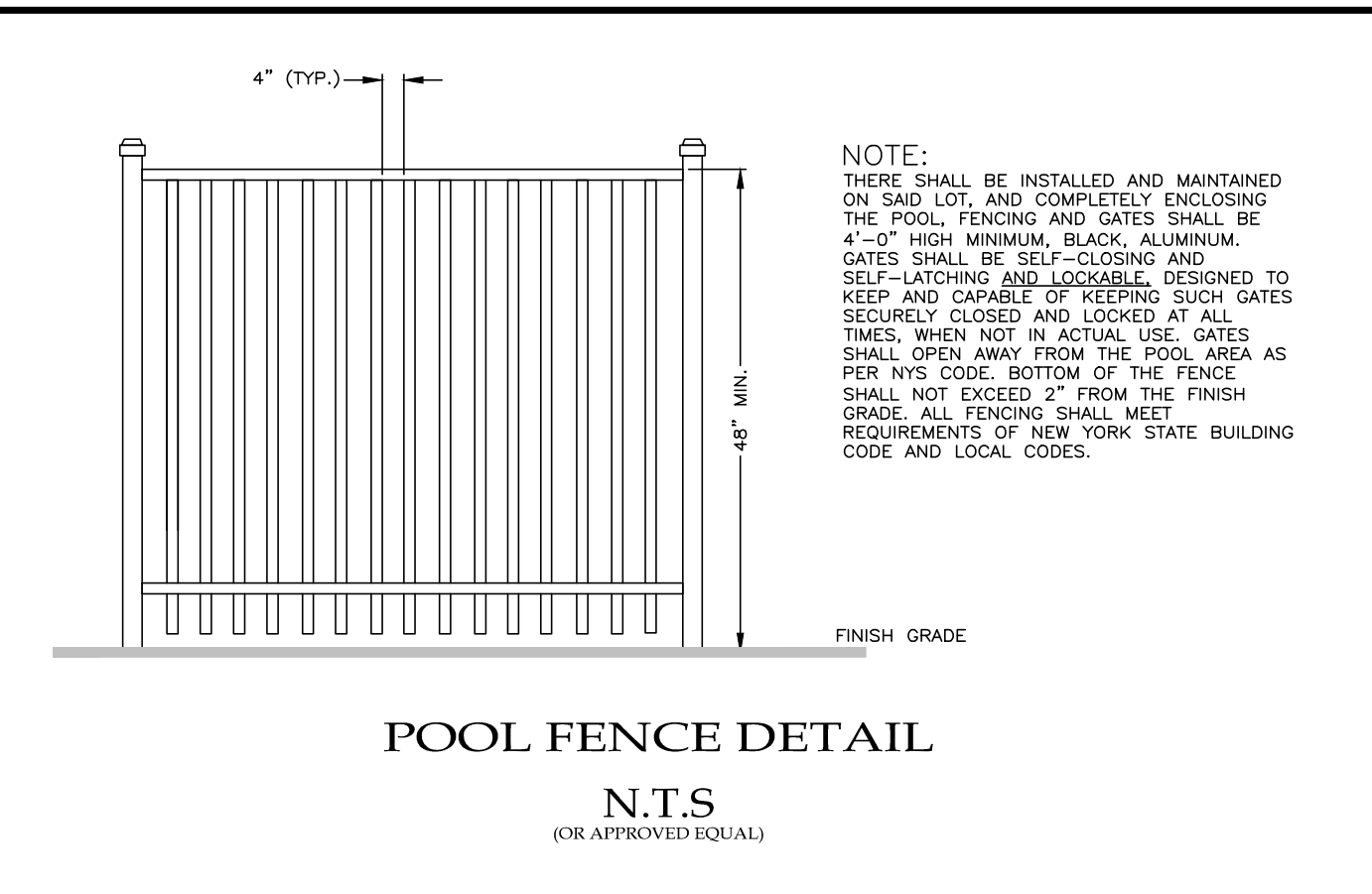
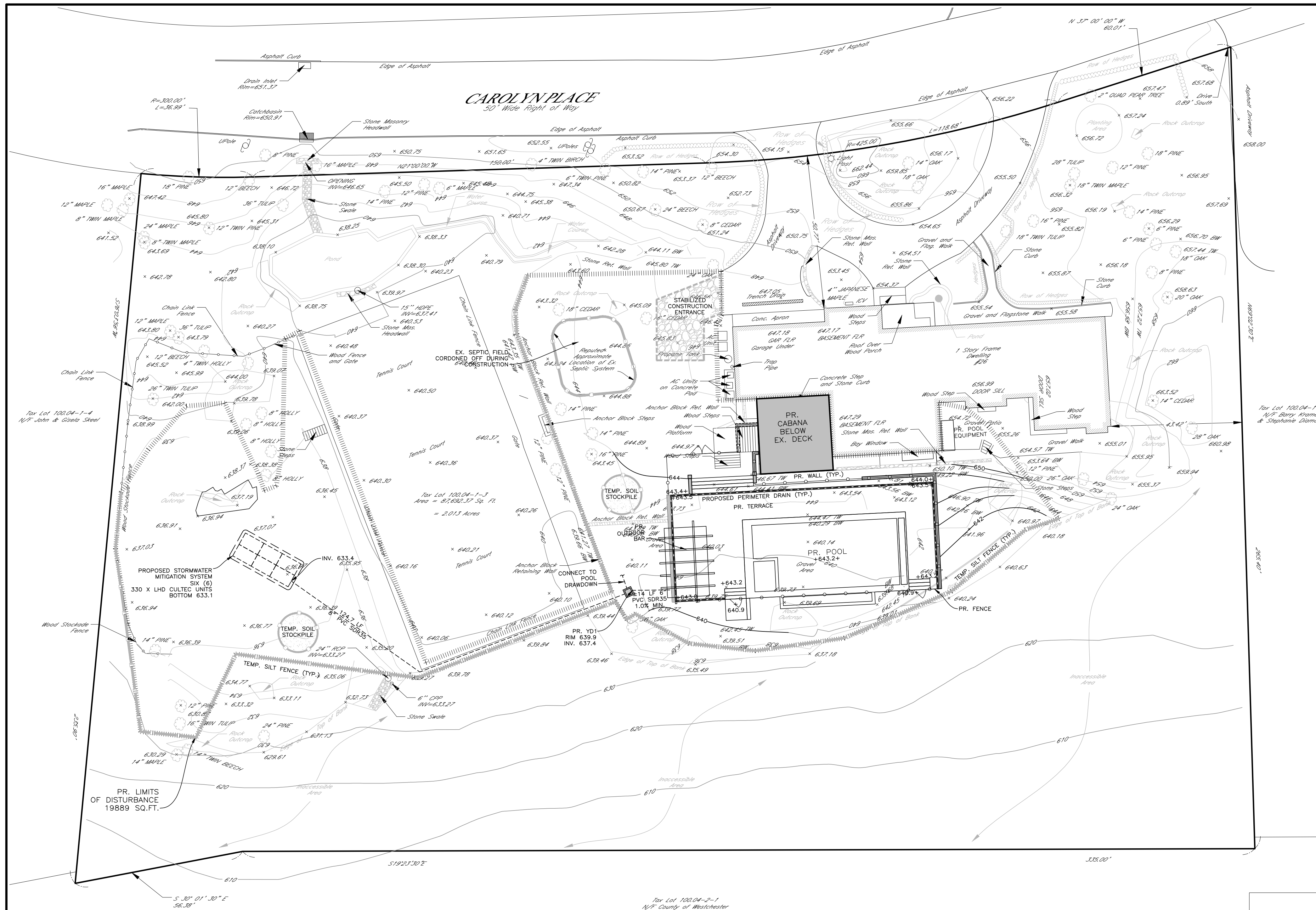
**SITE DATA**

OWNER/APPLICANT: CHERYANN SANKAR  
SITE ADDRESS: 26 CAROLYN PLACE, ARMONK, NY 10504  
TAX MAP #: 100.04-1-3  
LOT AREA: 2.013 ACRES  
ZONING: R-2A

**CONSTRUCTION SPECIFICATIONS**

DRAWING: EX. CON. / DEMO PLAN  
DATE: FEBRUARY 26, 2024  
PROJECT: SANKAR RESIDENCE  
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK

**STATE OF NEW YORK**  
Ralph Alfonzetti  
LICENSED PROFESSIONAL ENGINEER



- EROSION CONTROL NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
  - PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
  - INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2'-3" DIAMETER CRUSHED STONE 6" DEEP.
  - TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVELS IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
  - ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDING AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
  - ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDING, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
  - ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
  - ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
  - THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
  - ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
  - UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDING AND MULCHED.
  - SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
  - ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR, IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES. THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
  - ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).

- CONSTRUCTION SEQUENCE:**
- SURVEY AND STAKE LIMITS OF DISTURBANCE AND EROSION CONTROL INSTALLATION.
  - INSTALL EROSION CONTROLS (ANTI-TRACKING PAD, SILT FENCE, TEMPORARY SOIL STOCKPILES) AS SHOWN ON THE EROSION CONTROL PLAN AND PER THE RESPECTIVE EROSION CONTROL DETAILS.
  - REMOVE TREES PER SITE DEMOLITION PLAN.
  - STAGING AREA SHALL BE WITHIN THE DISTURBANCE LIMITS.
  - TRAP TOPSOIL AND ROUGH GRADING. NOTE THAT DISTURBED SOIL THAT WILL NOT BE WORKED FOR A PERIOD GREATER THAN 14 DAYS MUST BE STABILIZED. STABILIZATION MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS.
  - EXCAVATE FOR PROPOSED FOOTINGS/FOUNDATION, HOUSE FRAMING AND SUPERSTRUCTURE IS CONSTRUCTED.
  - EXCAVATE AND INSTALL SUBSURFACE UTILITIES: ELECTRIC TELEPHONE/CABLE/DRAINAGE, SEPTIC SYSTEM SHALL BE STAKED. SEPTIC SYSTEM AND WELL SHALL BE INSTALLED.
  - FINAL GRADING, SEEDING, SOODING, AND OTHER SOIL STABILIZING LANDSCAPING FOR FINAL SITE STABILIZATION.
  - REMOVE EROSION CONTROL SILT FENCE AND ANTI-TRACKING PAD, DISCARD EROSION CONTROL DEVICES IN AN LAWFUL MANNER.

- CONSTRUCTION NOTES:**
- THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
  - THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
  - EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
  - AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
  - ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
  - THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
  - UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
  - ALL PROPOSED OR DISTURBED SLOPES, 14:2V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
  - IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
  - NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.
  - OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.

**POOL DRAW DOWN CALCULATION**

POOL AREA	1,082 S.F.
POOL DRAW DOWN	0.5 FT
POOL DRAW DOWN VOLUME	541 C.F

**DRAINAGE CALCULATIONS**

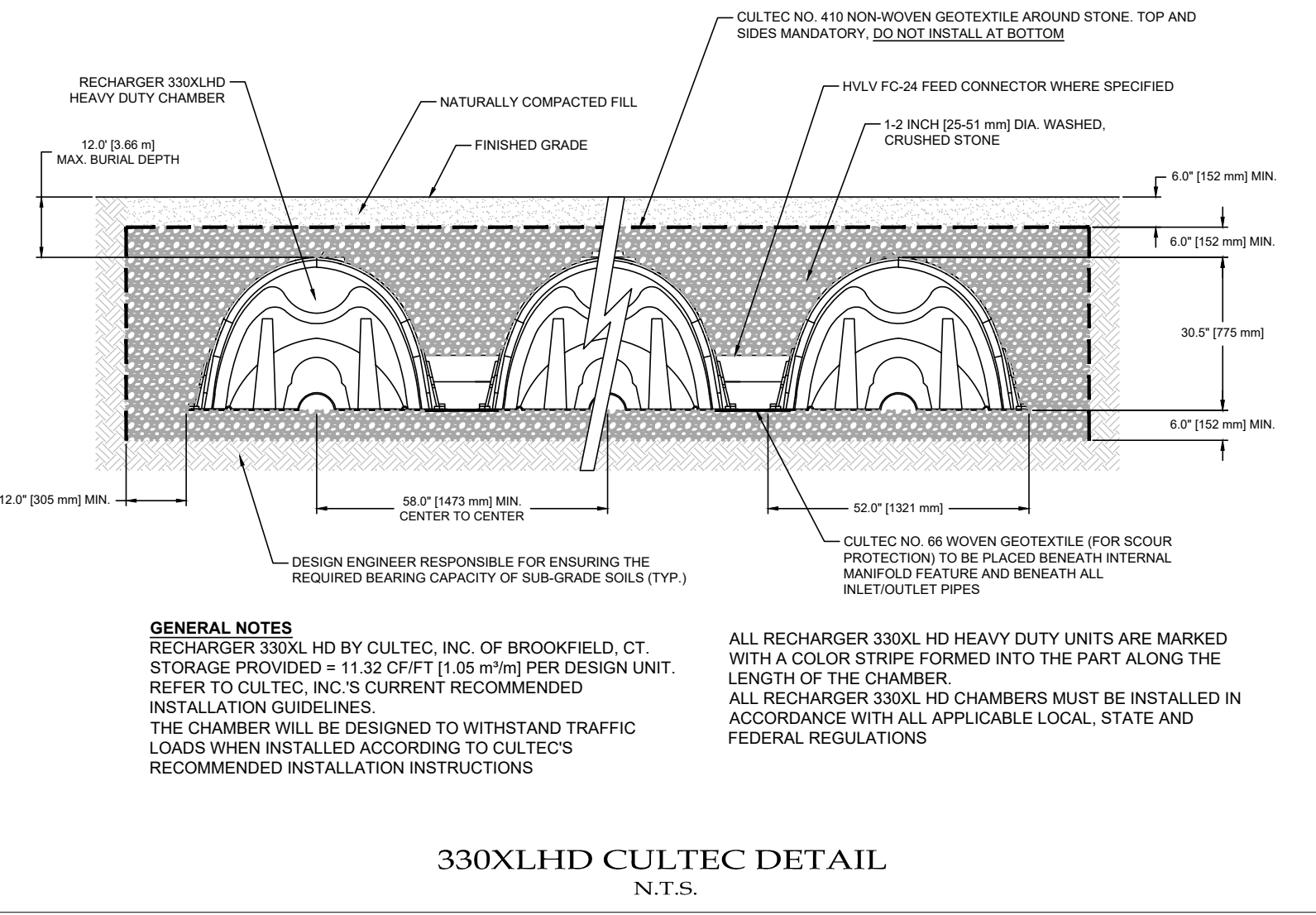
769 S.F. x (6.46IN. / (12IN./FT.)) = 414.0 C.F.

414.0 C.F. / (79.26 C.F./CHAMBER) = 5.22 CHAMBERS

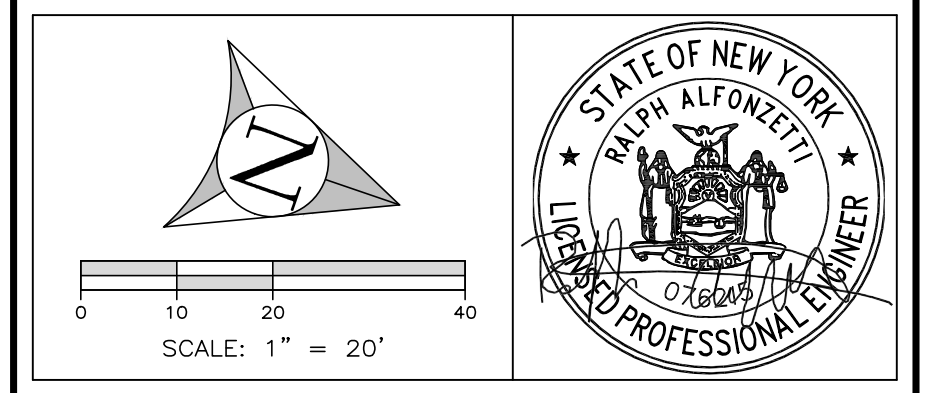
ROUND UP TO SUFFICE ENOUGH CULTEC CHAMBERS = 6 CHAMBERS

**IMPERVIOUS AREA CHART**

EXISTING IMPERVIOUS AREA	18882.7 S.F.
TOTAL PROPOSED IMPERVIOUS AREA	19651.7 S.F.
NET CHANGE IN IMPERVIOUS AREA	769 S.F.



IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY, IF ANY ITEM BEARING THE SEAL OF AN ENGINEER IS ALTERED. THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



**ALFONZETTI ENGINEERING, P.C.**  
14 SMITH AVE, MT. KISCO, N.Y. 10549  
914-666-9800 INFO@ALFONZETTIENG.COM

**SITE DATA**

OWNER/APPLICANT: CHERYANN SANKAR

SITE ADDRESS: 26 CAROLYN PLACE, ARMONK, NY 10504

TAX MAP #: 100.04-1-3

LOT AREA: 2.013 ACRES

ZONING: R-2A

DRAWING: **PROPOSED POOL**

DATE: **FEBRUARY 26, 2024**

PROJECT: **SANKAR RESIDENCE**  
TOWN OF NORTH CASTLE,  
WESTCHESTER COUNTY, NEW YORK

SHEET: 02 OF 02

# 26 CAROLYN PLACE

## PROPOSED CABANA AND POOL

Tuesday, March 19, 2024



**OWNER**  
OFFICE NAME  
43 FIFTH AVE.  
PELHAM, NY 10803  
914-738-1377

**ARCHITECT**  
STUDIO RAI ARCHITECTURAL DESIGN P.C.  
50 FIFTH AVE.  
PELHAM, NY 10803  
914-273-6843

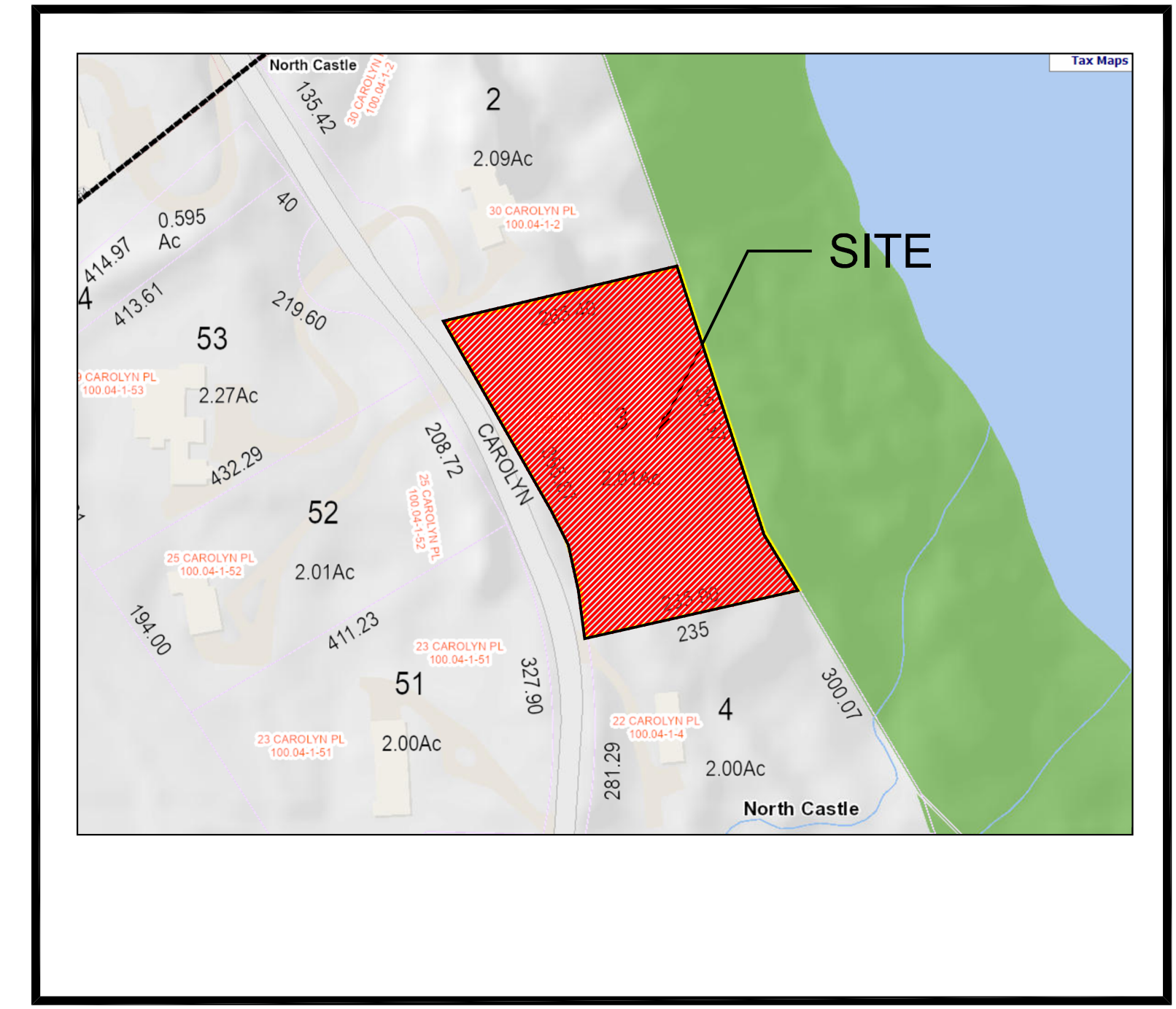
**CIVIL ENGINEER**  
ALFONZETTI ENGINEERING P.C.  
14 Smith Ave, Mt Kisco, NY 10549  
(914) 666-9800

**STRUCTURAL ENGINEER**  
OFFICE NAME  
ADDRESS

**LIST OF DRAWINGS**

No.	DRAWING NAME
CS	COVER SHEET
SP	SITE PLAN/ SCHEDULES
S	SURVEY
SP-2	POOL LOCATION & TERRACE
GN	GENERAL NOTES SHEET
A-100	EXISTING CONDITIONS
A-101	PROPOSED PLANS
A-200	ELEVATIONS
A-201	POOL BAR PLANS
A-300	CROSS SECTION
A-400	CROSS SECTION DETAIL
S-100	STRUCTURAL PLANS

**LOCATION MAP NOT TO SCALE**



**ZONING SCHEDULE TOWN OF NORTH CASTLE**

**ZONE / USE : R-2A**

ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE (SQ. FT.)	2 ACRES	2 ACRES	2 ACRES
MINIMUM LOT WIDTH (FEET)	150 FEET	366 FEET	366 FEET
MINIMUM FRONT YARD (FEET)	50 FEET	50'-9"	50'-9"
MINIMUM EACH SIDE YARD (FEET)	30 FEET	43'-5"	43'-5"
MINIMUM 2 SIDE YARDS (FEET)	60 FEET	243'-0"	226'-4"
MINIMUM REAR YARD (FEET)	50 FEET	124'-9" (EXIST. DECK)	124'-9" (PROP. CABANA) 82'-1" (POOL TERRACE)
MAXIMUM HEIGHT (STORIES)	2 1/2 STORY	2 STORY	2 STORY
MAXIMUM HEIGHT (FEET)	30 FEET	20'-11"	20'-11"

No.	Revision	Date	Description
1		8-16-23	-
-		3-19-24	RPRC
-		-	-
-		-	-
-		-	-
-		-	-
-		-	-
-		-	-
-		-	-
-		-	-
-		-	-

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF STUDIO RAI ARCHITECTS. WITHOUT THE WRITTEN AUTHORIZATION OF STUDIO RAI ARCHITECTURAL DESIGN P.C. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF STUDIO RAI ARCHITECTS.

KEY PLAN

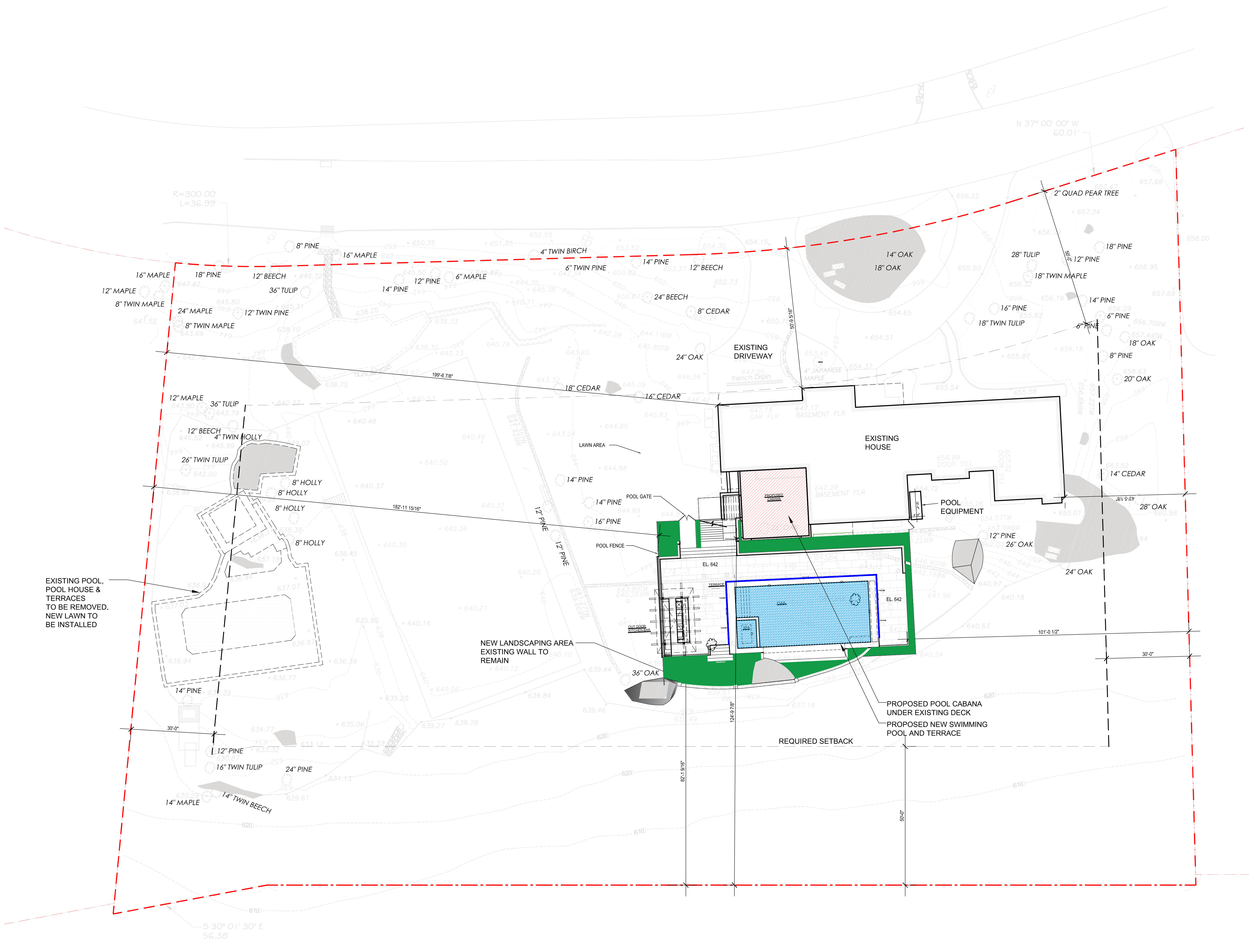
**SITE PLAN**

**SP**

REGISTERED ARCHITECT  
STATE OF NEW YORK

DATE: 11/24/2021  
BY: JLD  
PROJECT NO: 2021-01010  
SCALE: AS NOTED

REAL SIGNATURE



**SITE PLAN**  
SCALE: 1"=10'-0"

**CERTIFICATION**

ALL EXISTING INFORMATION ON THIS SITE PLAN WAS TAKEN FROM A SURVEY PREPARED BY :

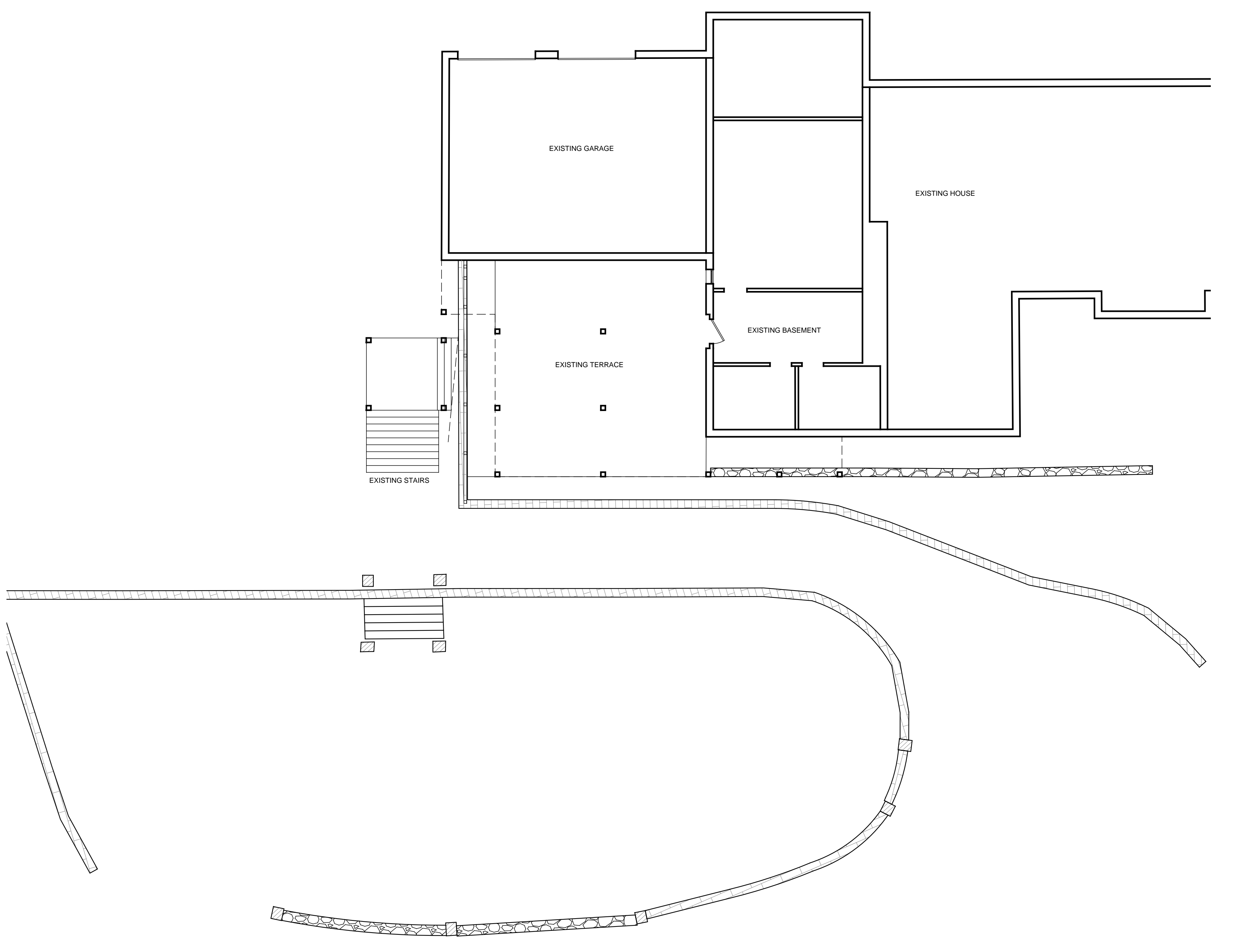
TC MERRITTS LAND SURVEYORS  
394 BEDFORD ROAD  
PLEASANTVILLE, NY 10570  
TEL. : (914) 769-8003

TITLED : 26 CAROLYN PLACE, ARMONK  
DATED : NOVEMBER 24, 2021  
FILED :  
MAP NO. :

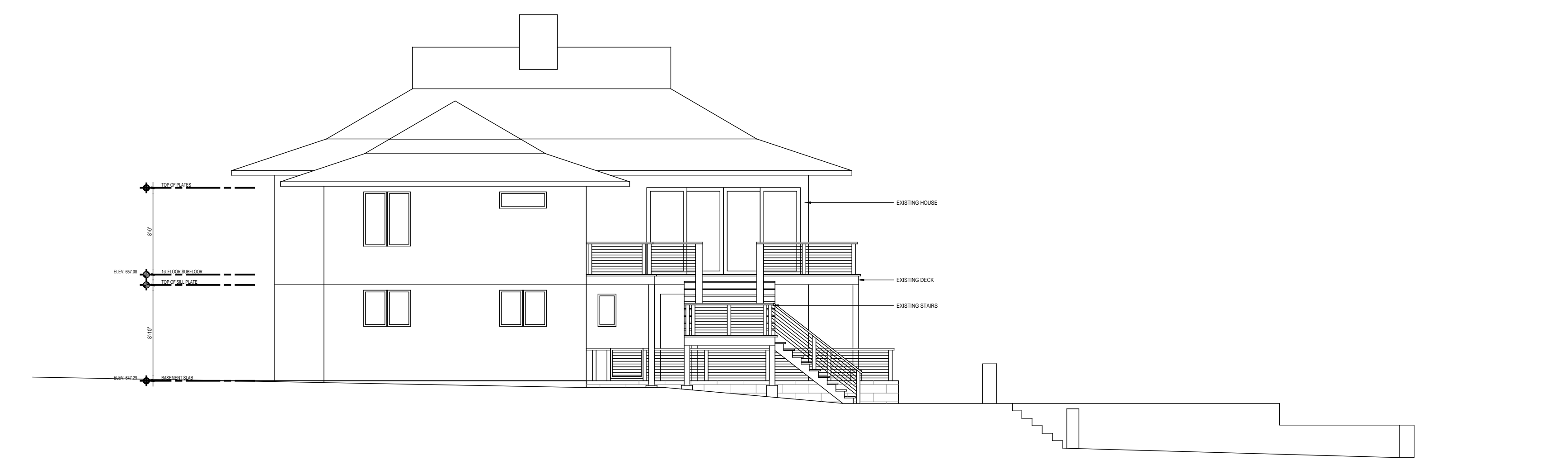
ARCHITECT IS NOT RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS



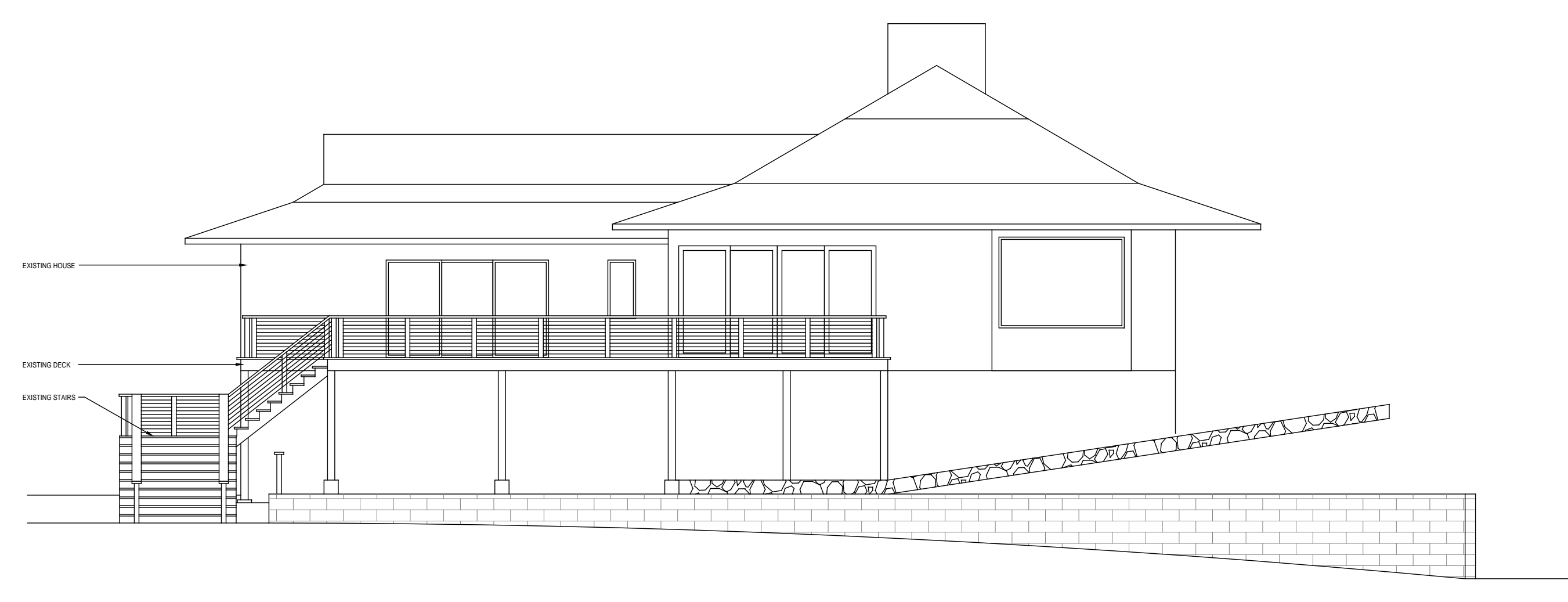




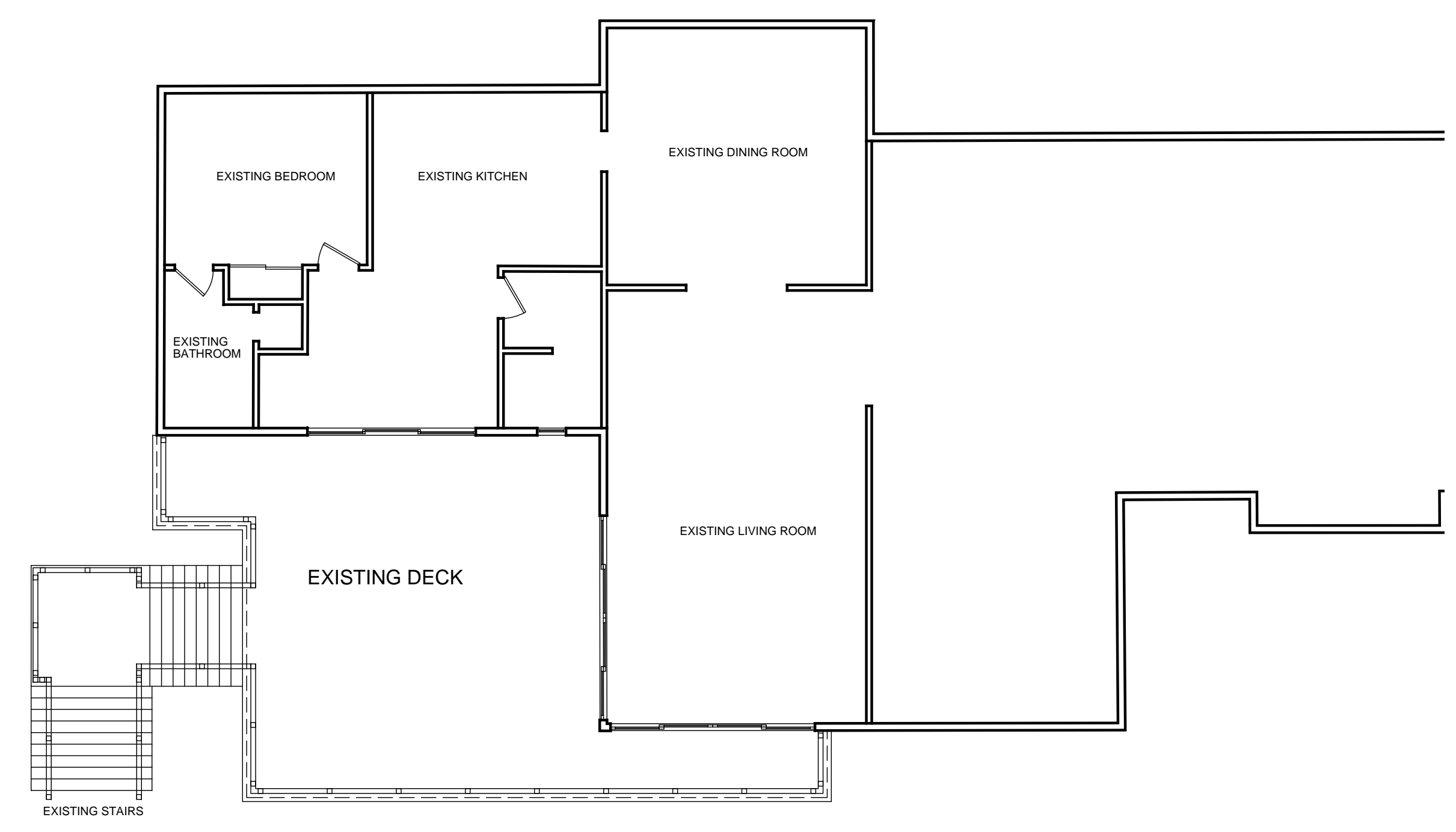
EXISTING BASEMENT PLAN



EXISTING SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING FIRST PLAN



EXISTING PHOTOS

No.	Revision	Date	Description
1		8-16-23	-
-		3-19-24	RPRC
-		-	-
-		-	-
-		-	-
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KEY PLAN

EXISTING CONDITIONS

DRAWING TITLE

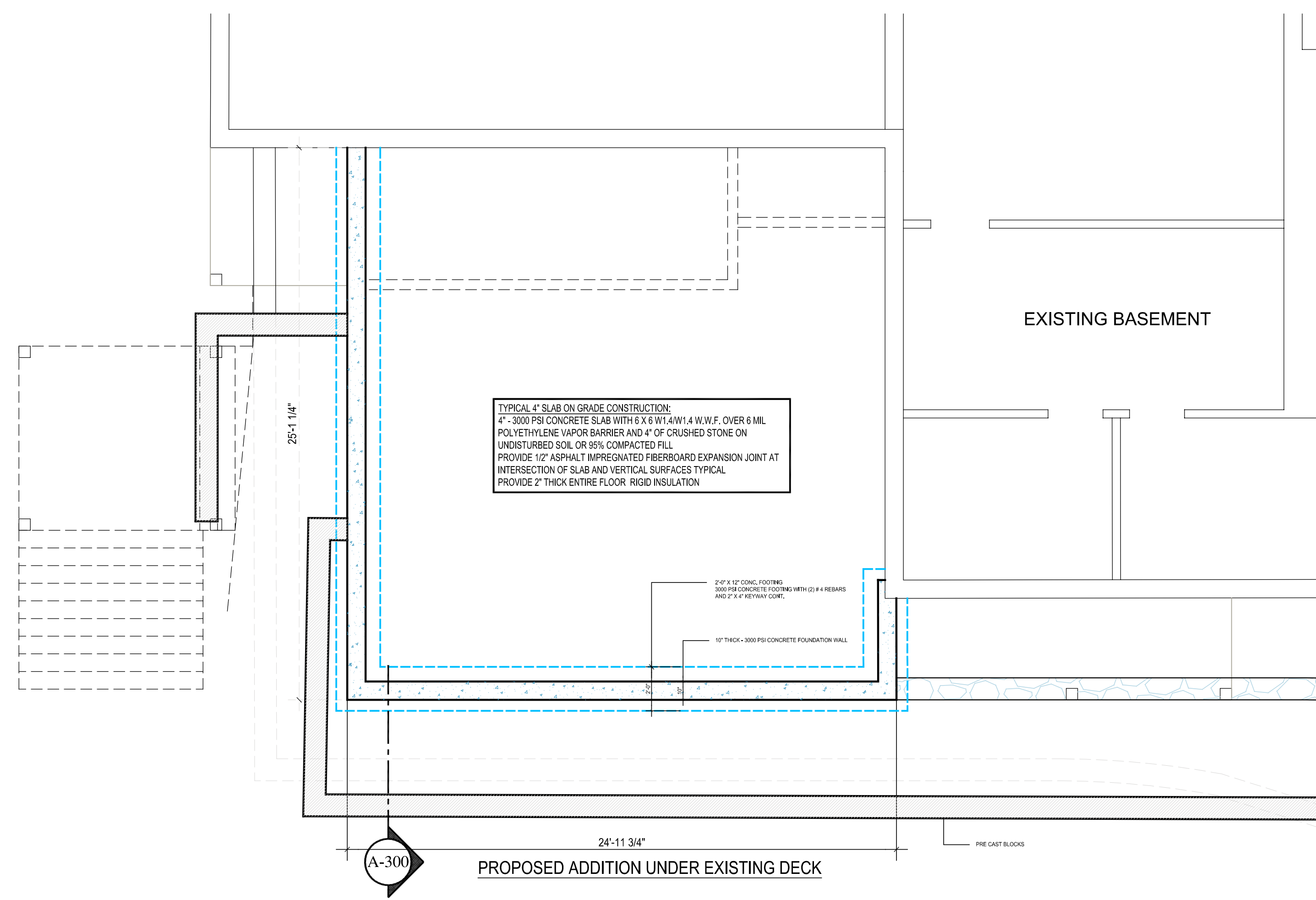
A-100

DRAWING NUMBER

DATE: 8/16/23  
DRAWN BY: LLD  
BY: LLD  
PROJECT NO: 24-10001  
SCALE: AS NOTED

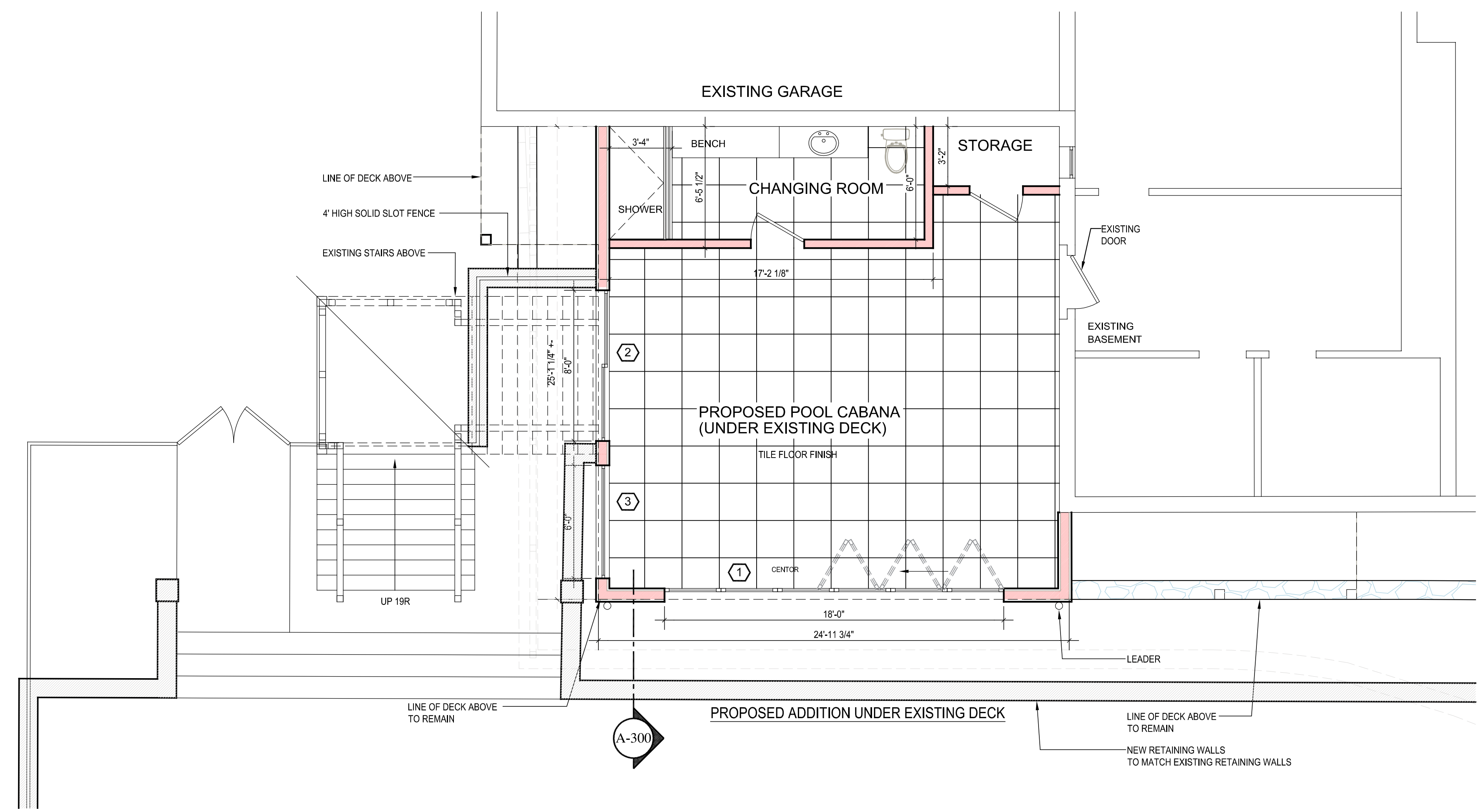
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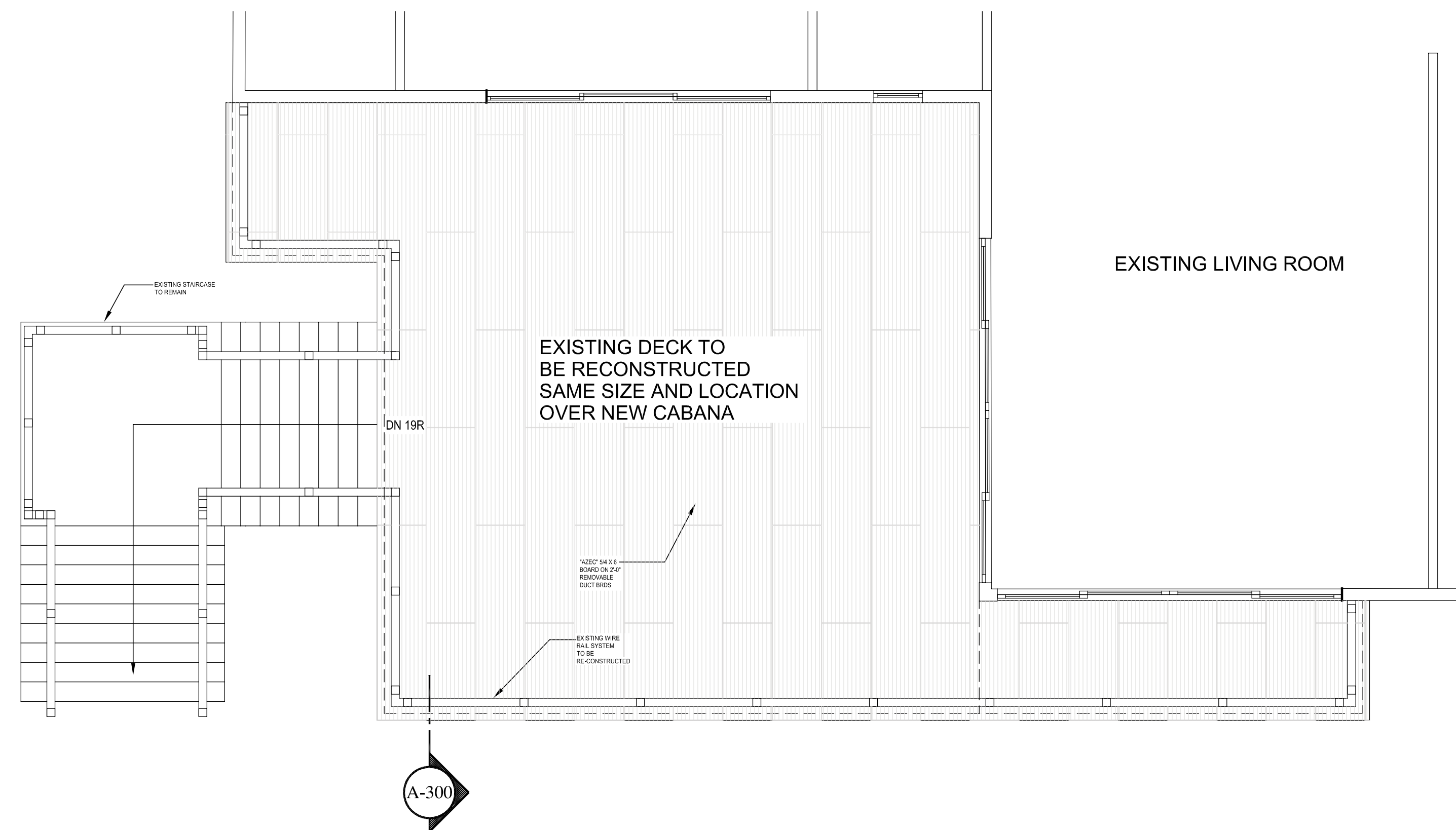
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



PROPOSED CABANA (LOWER LEVEL) PLAN

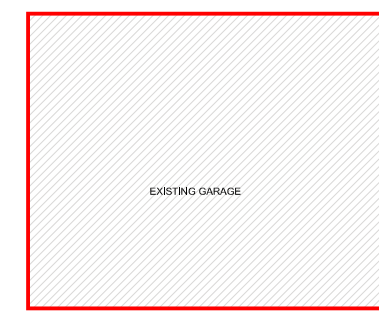
SCALE: 1/4" = 1'-0"



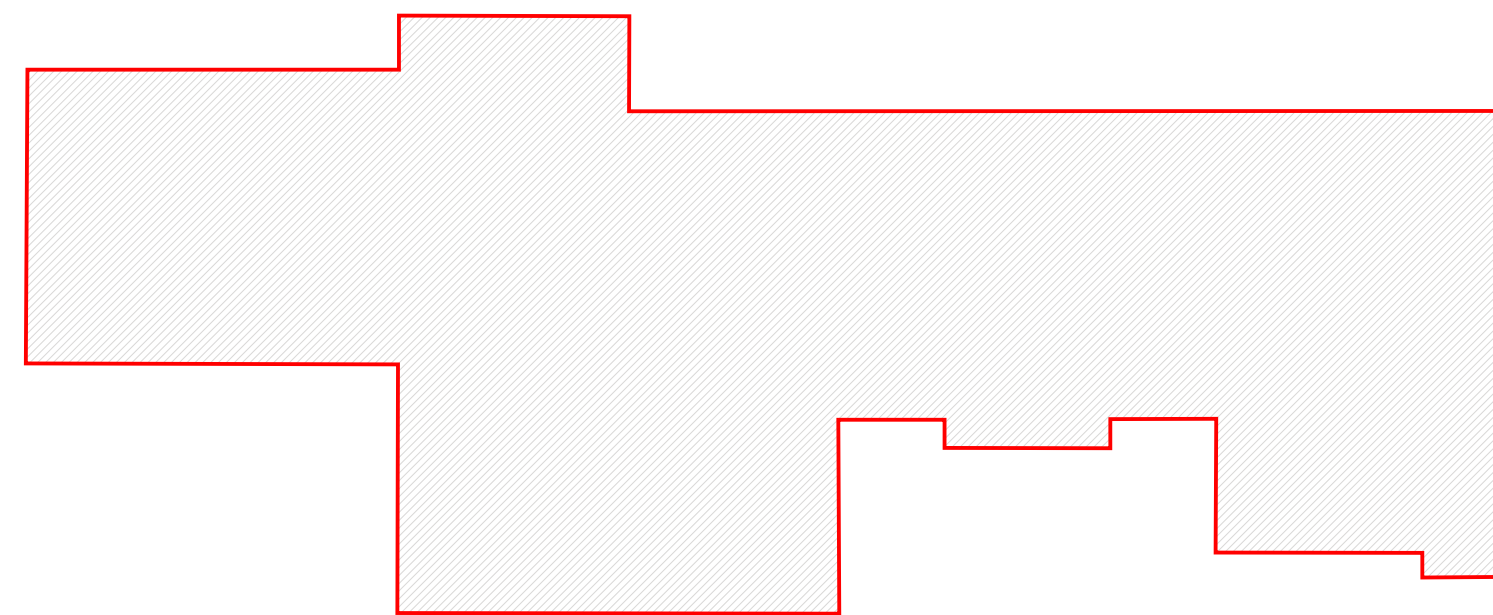
PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

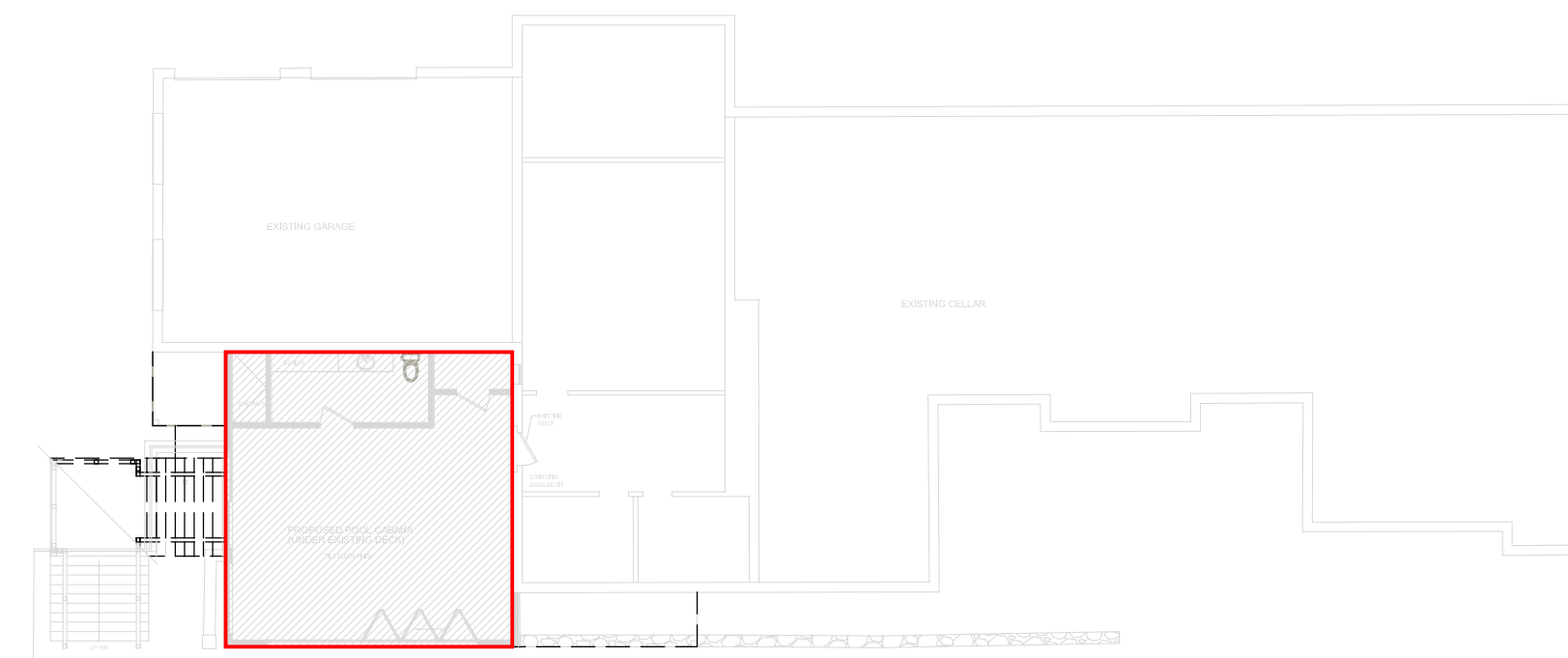
GARAGE AREA  
745.3 sq. ft.



FIRST FLOOR AREA  
4149.10 sq. ft..



CABANA AREA  
612.5 square ft.



BUILDING AREAS

studio rai  
Architectural Design P.C.  
59 FIFTH AVE.  
PELHAM, NY 10803  
914.273.6843  
WWW.STUDIORAI.COM

ARCHITECTS

HEATING AIR CONDITIONING

STRUCTURAL ENGINEERS

CONSULTANT

PROPOSED RESIDENCE  
26 CAROLYN PLACE  
ARMONK, NY 10504

No.	Revision	Date	Description
1		8-16-23	-
-		3-19-24	RPRC
-		-	-
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KEY PLAN

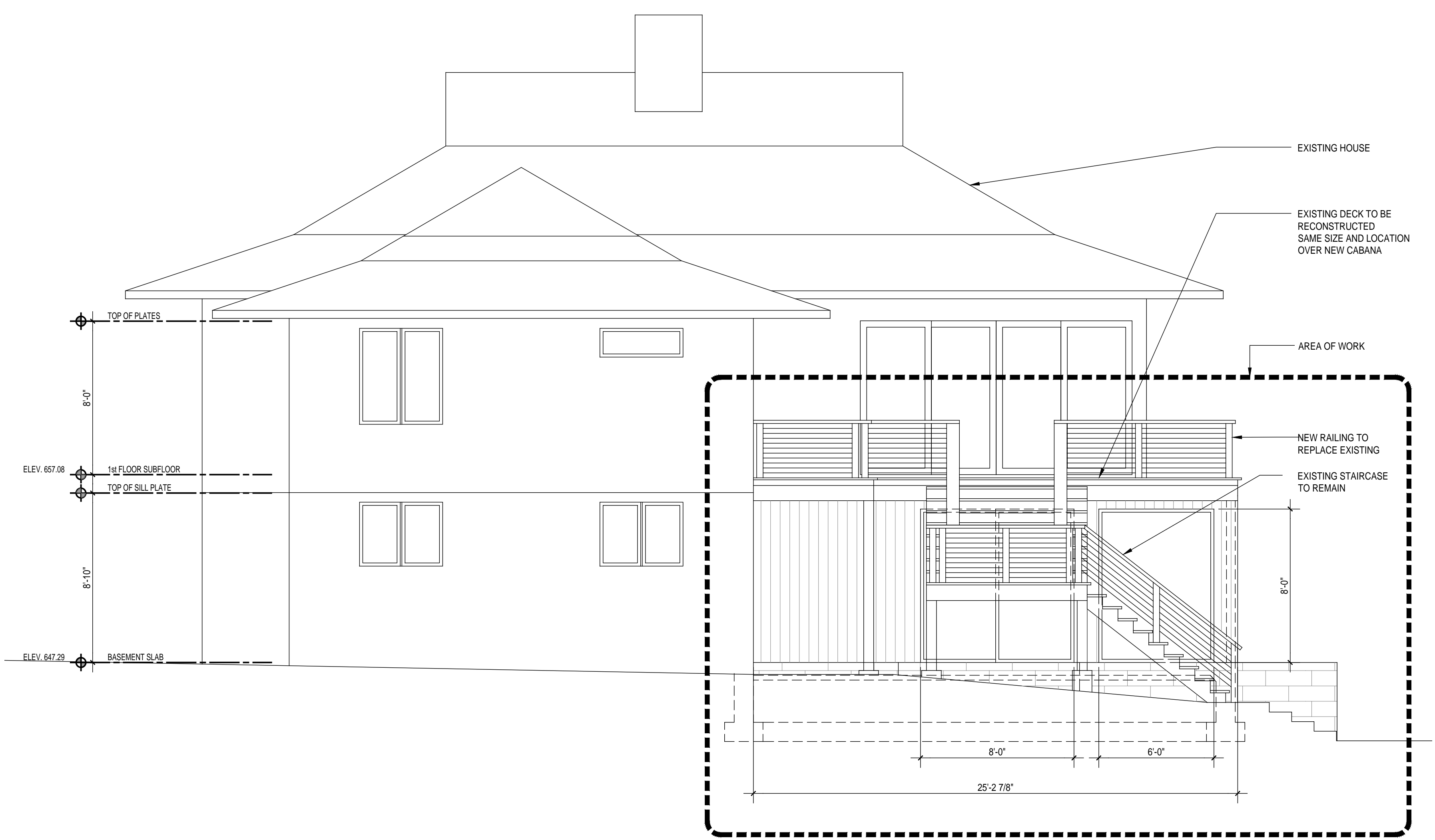
PROPOSED PLANS

DRAWING TITLE

A-101

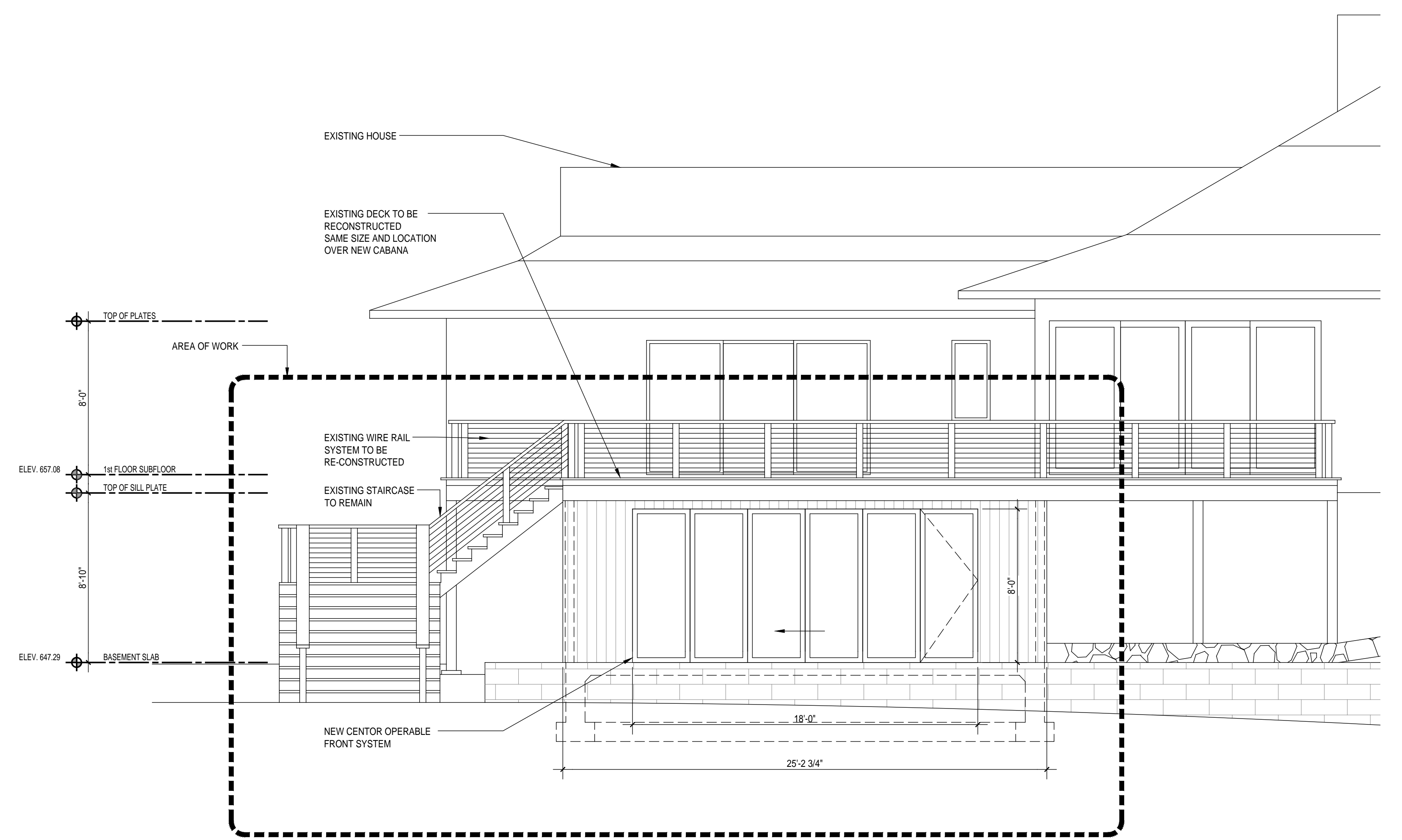
DRAWING NUMBER

	ISSUE DATE:	
	DRAWN BY:	LEK
	CHECKED BY:	LEK
	PROJECT NO.:	BR-190751
	SCALE:	AS NOTED
	DATE:	02-04-2024
	BY:	LEK
	FOR:	STUDIO RAI ARCHITECTS



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SIDE ELEVATION

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE					
WINDOW KEY	WINDOW TYPE	MANUF.	CATALOGUE NUMBER	WINDOW OPENING	REMARKS
	OPERABLE	CENTOR			
	SLIDING				
	FIXED				

**WINDOW GENERAL NOTES :**  
 O ALL NEW WINDOWS AND DOORS TO BE "LEPAGE" ALUMINUM CLAD EXTERIOR AND WOOD INTERIOR  
 ALL DOORS TO BE THERMALY BROKEN.  
 ALL WIND. AND DOORS TO HAVE DOUBLE PANE INSULATED GLASS LOW-E GLASS AND ARGON GAS.  
 WINDOWS AND SHALL HAVE ALL REQUIRED HARDWARE AND INSECT SCREENS, BLACK COLOR.

No.	Revision	Date	Description
1		8-16-23	-
-		3-19-24	RPRC
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KEY PLAN

ELEVATIONS

DRAWING TITLE

A-200

DRAWING NUMBER

	DATE
	BY: LLD
	BY: LLD
	PROJECT NO:
	SCALE: AS SHOWN
DATE	SIGNATURE



No.	Revision	Date	Description
1		8-16-23	-
-		3-19-24	RPRC
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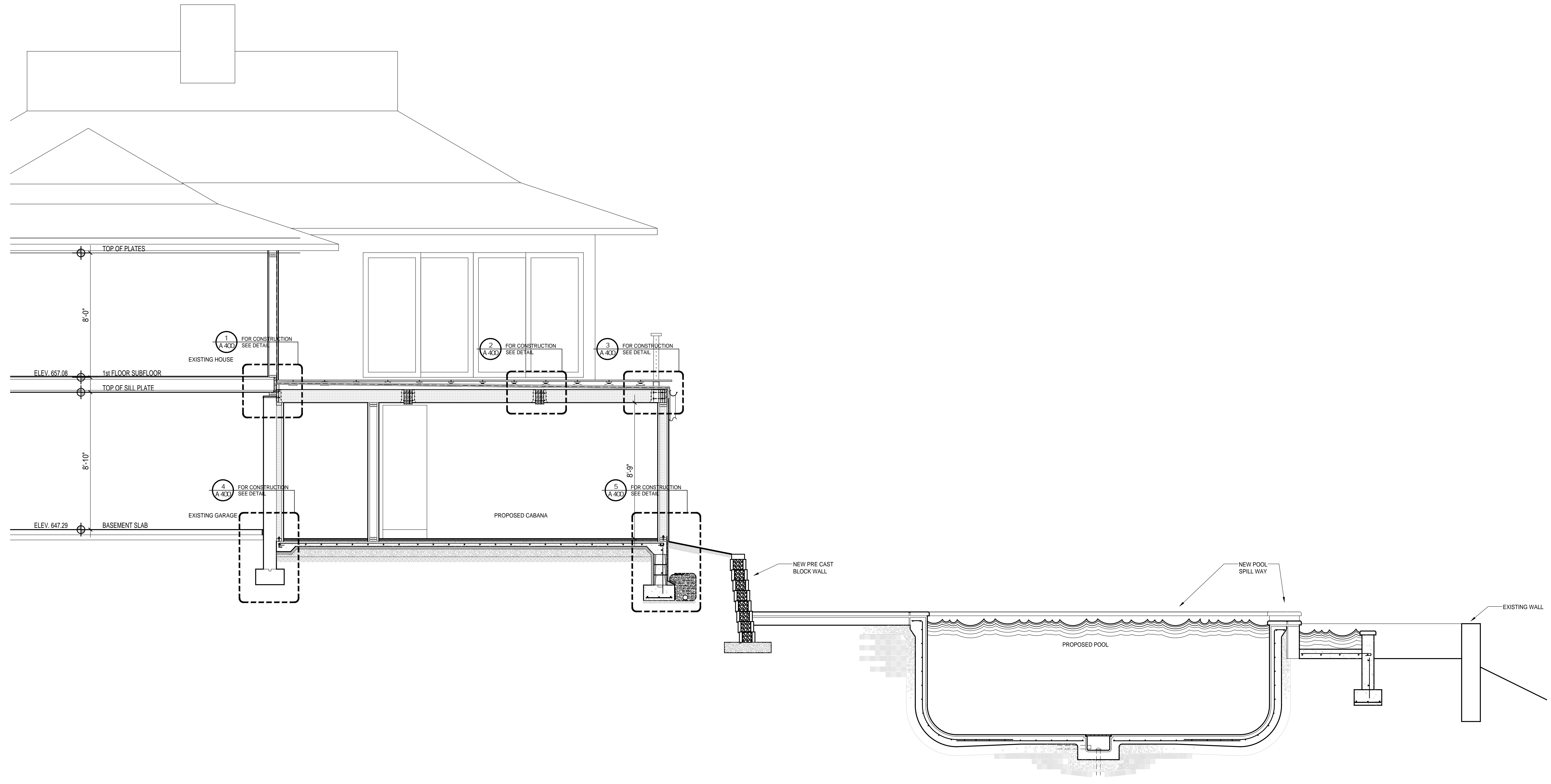
KEY PLAN

CROSS SECTION

DRAWING TITLE

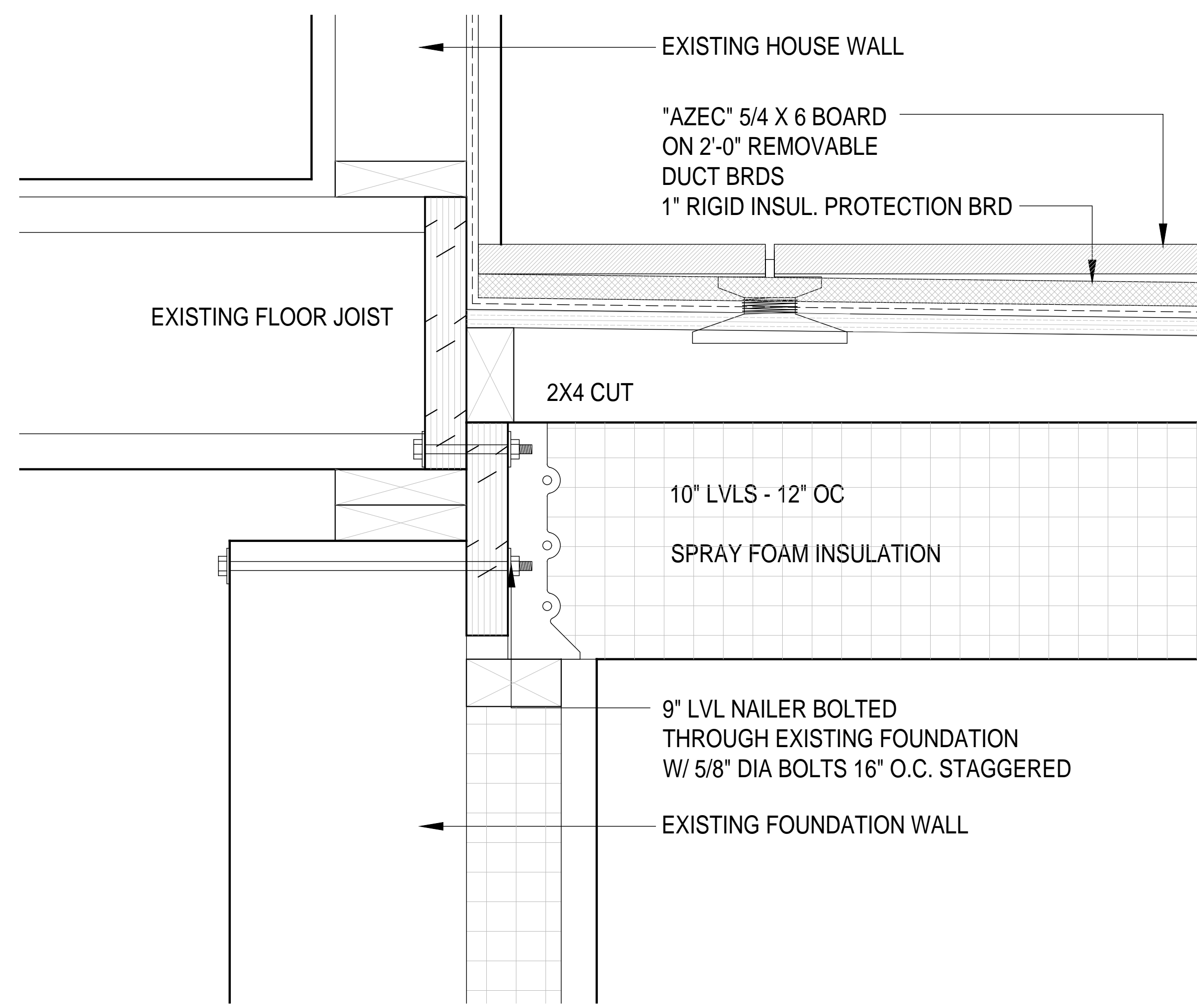
**A-300**  
 DRAWING NUMBER

	DATE: _____
	DRAWN BY: LLD
BY: LLD	PROJECT NO: _____
SCALE: AS NOTED	DATE: _____
REAL SIGNATURE	



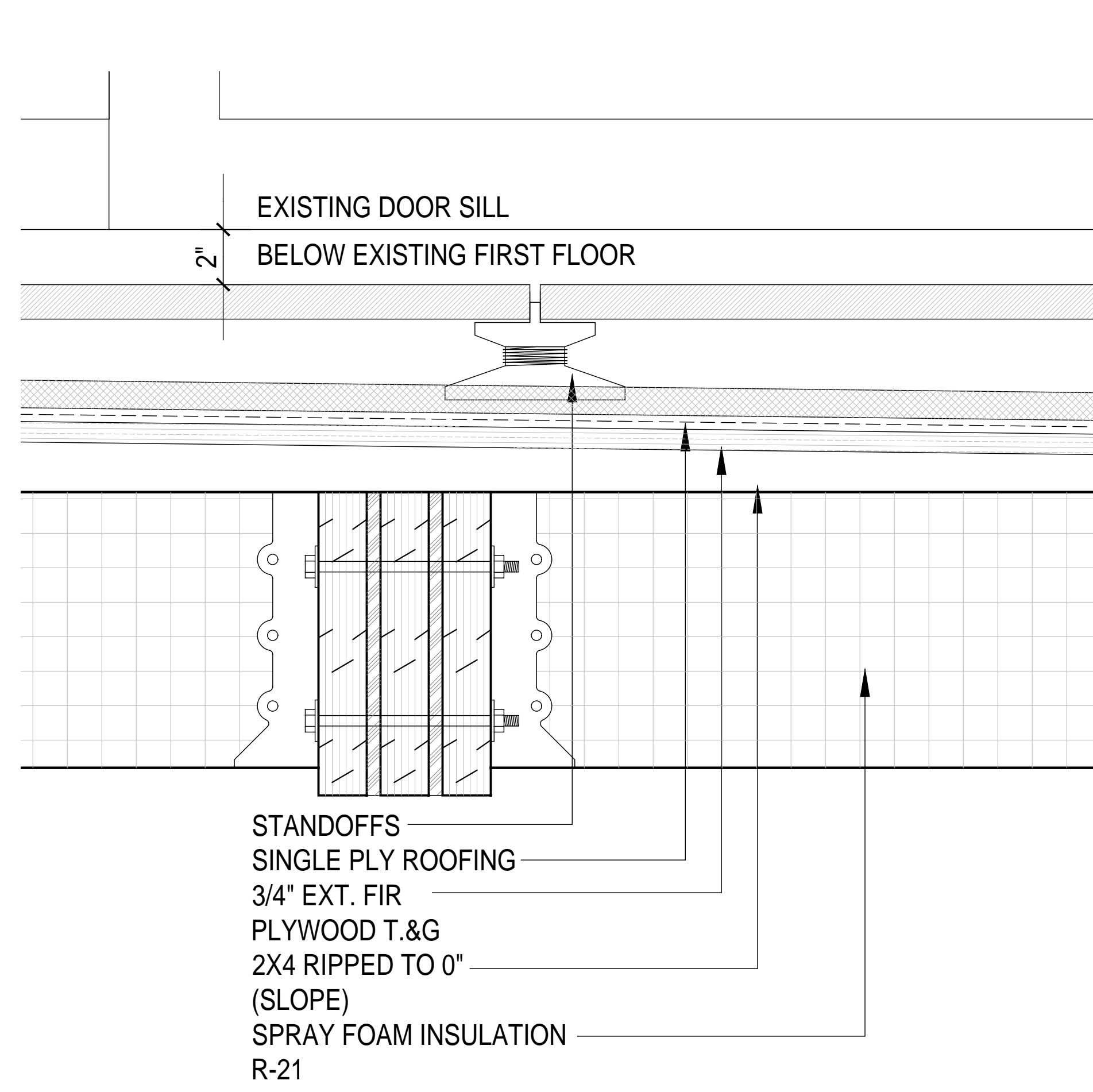
PROPOSED SECTION

SCALE: 3/8" = 1'-0"



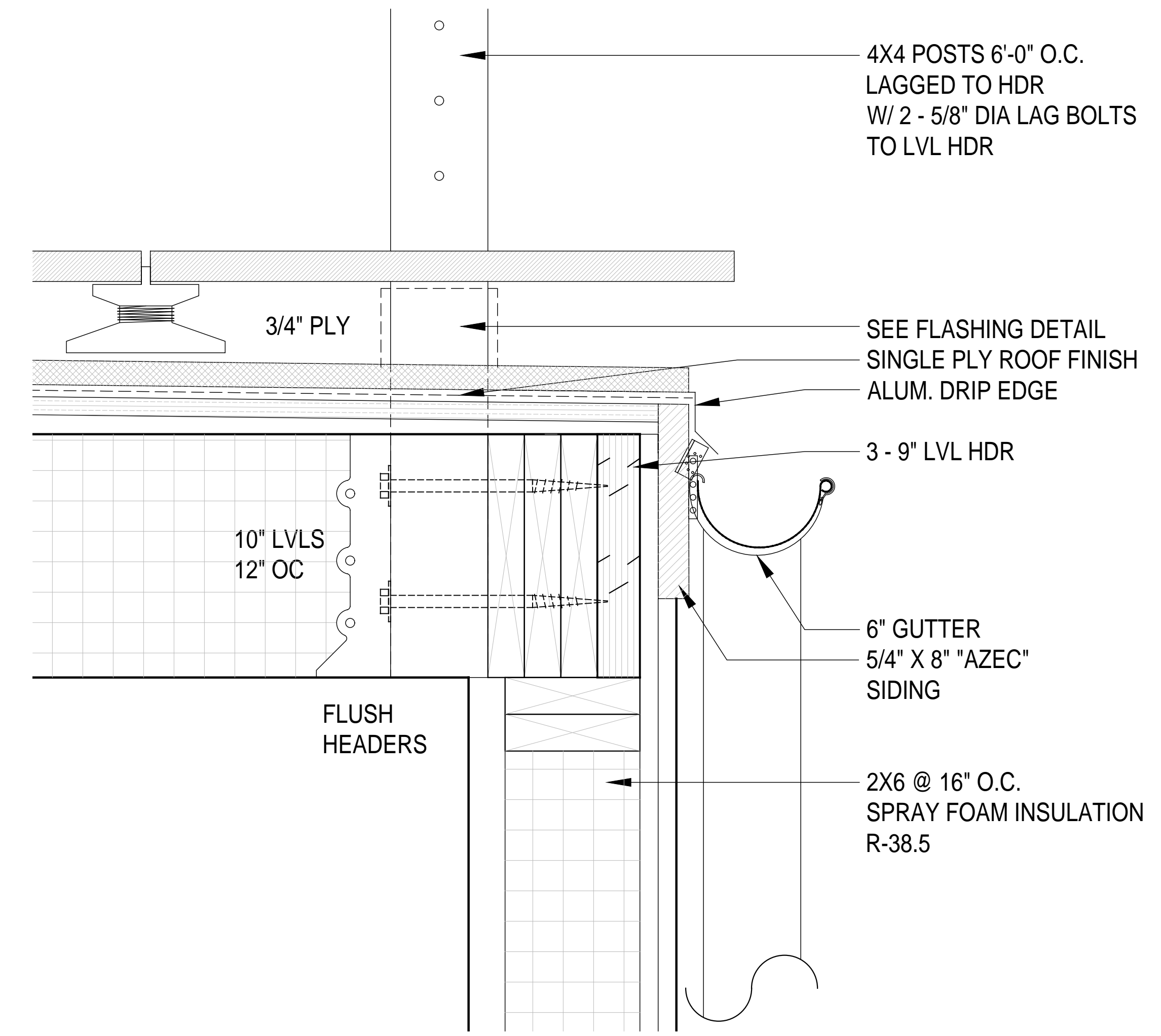
CROSS SECTION DETAIL (1)

SCALE: 3/4" = 1'-0"



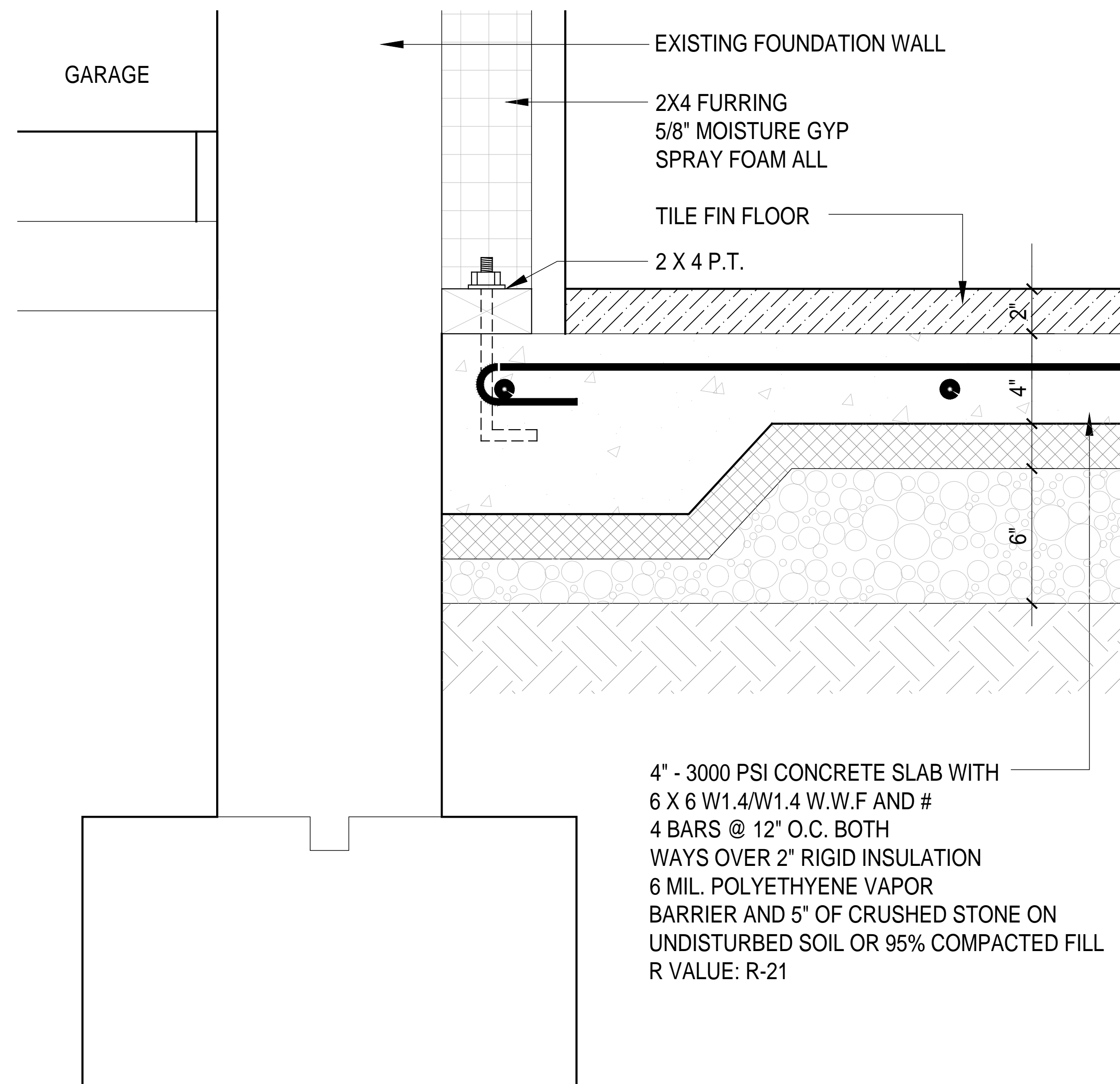
CROSS SECTION DETAIL (2)

SCALE: 3/4" = 1'-0"



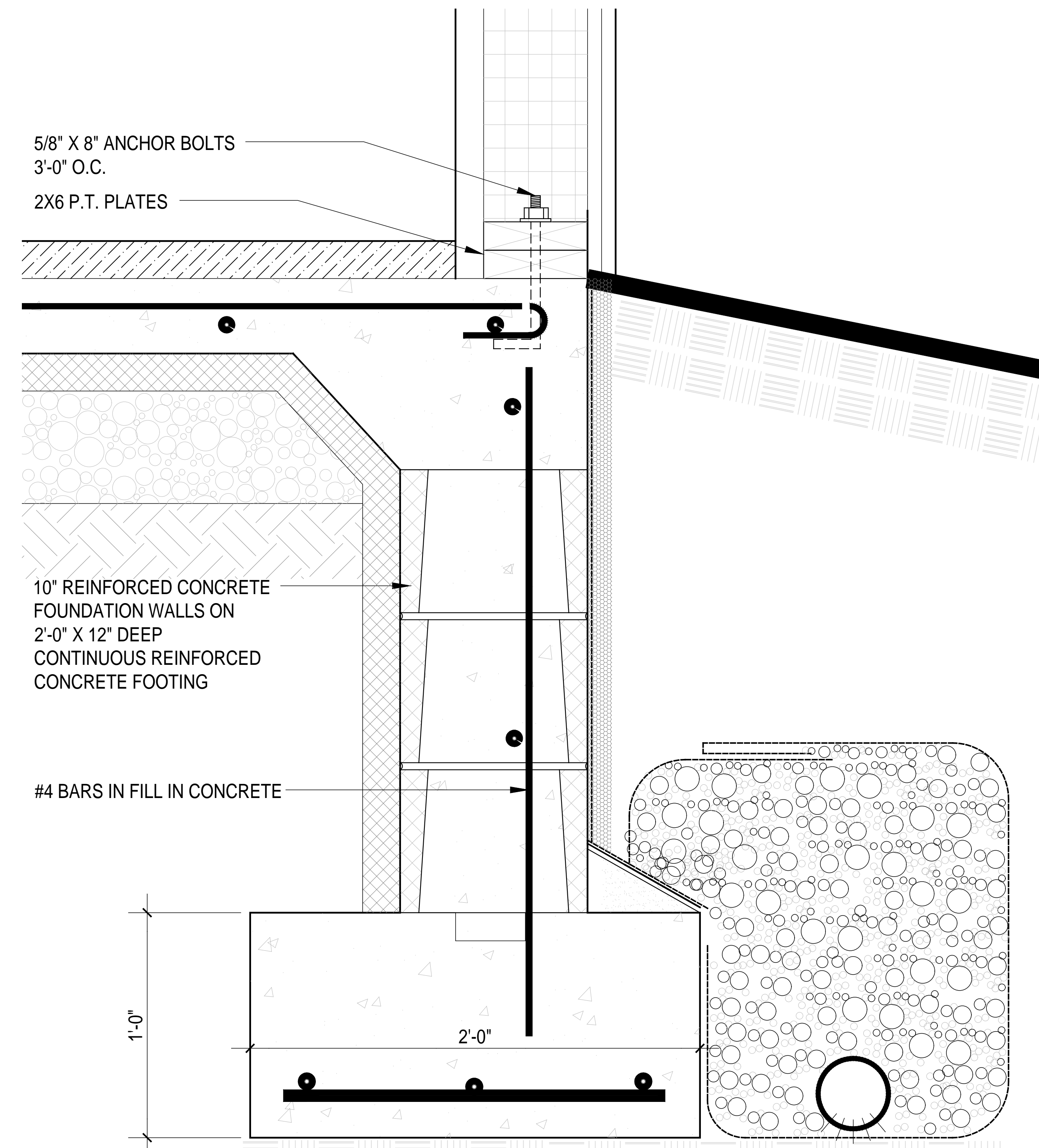
CROSS SECTION DETAIL (3)

SCALE: 3/4" = 1'-0"



CROSS SECTION DETAIL (4)

SCALE: 3/4" = 1'-0"



CROSS SECTION DETAIL (5)

SCALE: 3/4" = 1'-0"

No.	Revision	Date	Description
1		8-16-23	-
-		3-19-24	RPRC
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KEY PLAN

CROSS SECTION DETAIL

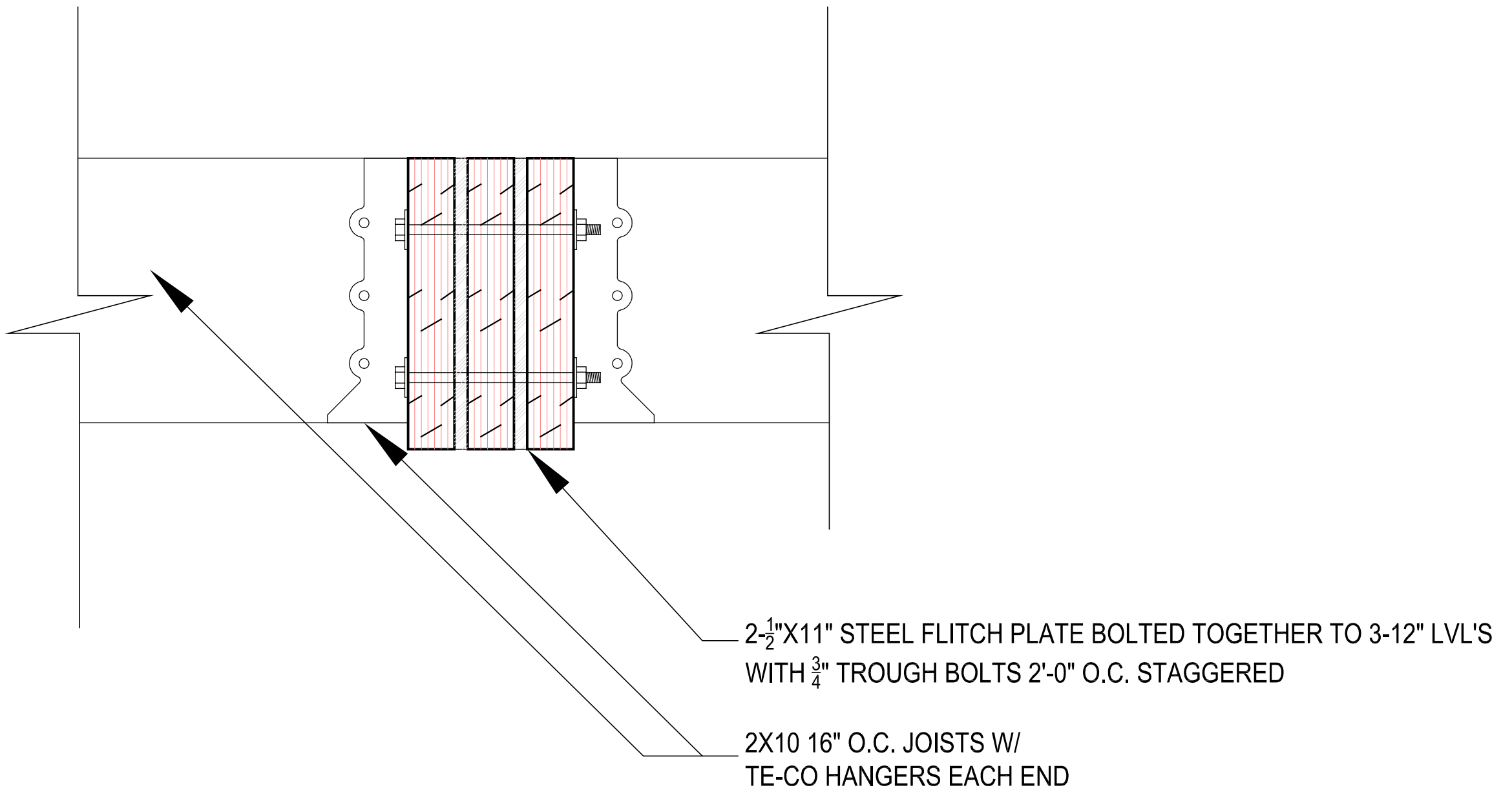
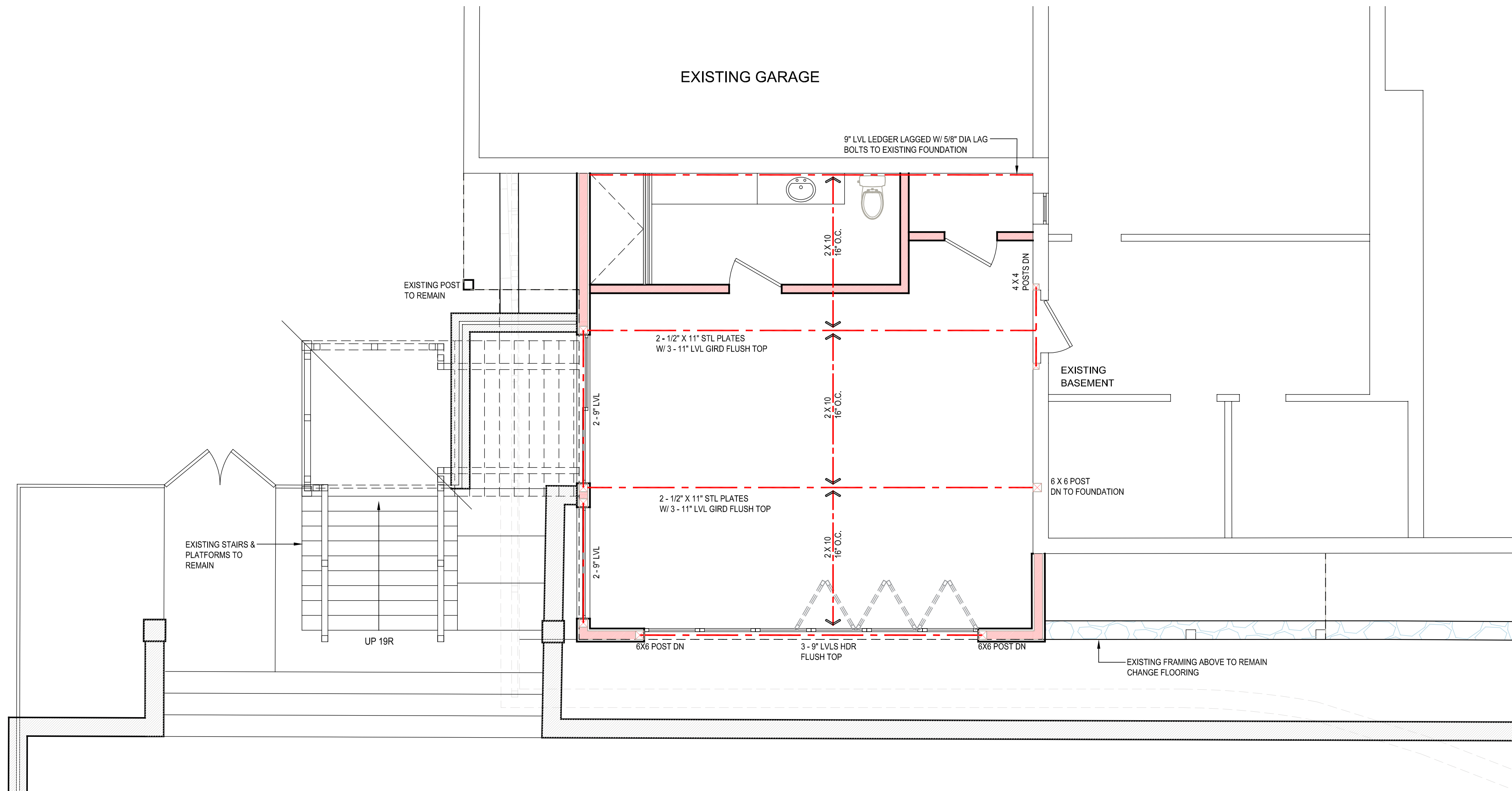
DRAWING TITLE

A-400

DRAWING NUMBER

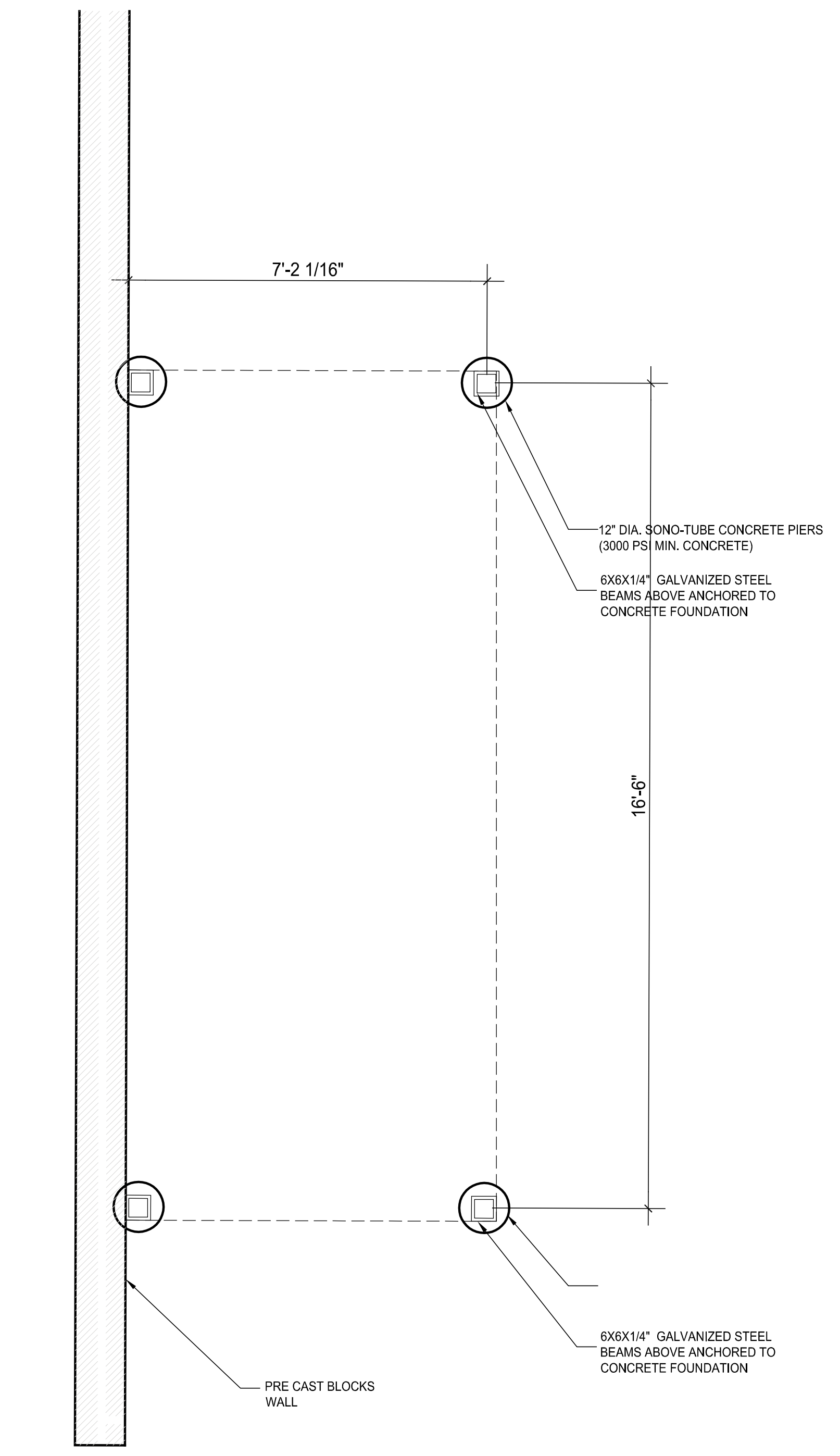
REGISTERED ARCHITECT  
STUDIO RAI  
STATE OF NEW YORK

DATE: 8-16-23  
DRAWN BY: LLD  
CHECKED BY: LLD  
PROJECT NO: 24-101001  
SCALE: AS NOTED



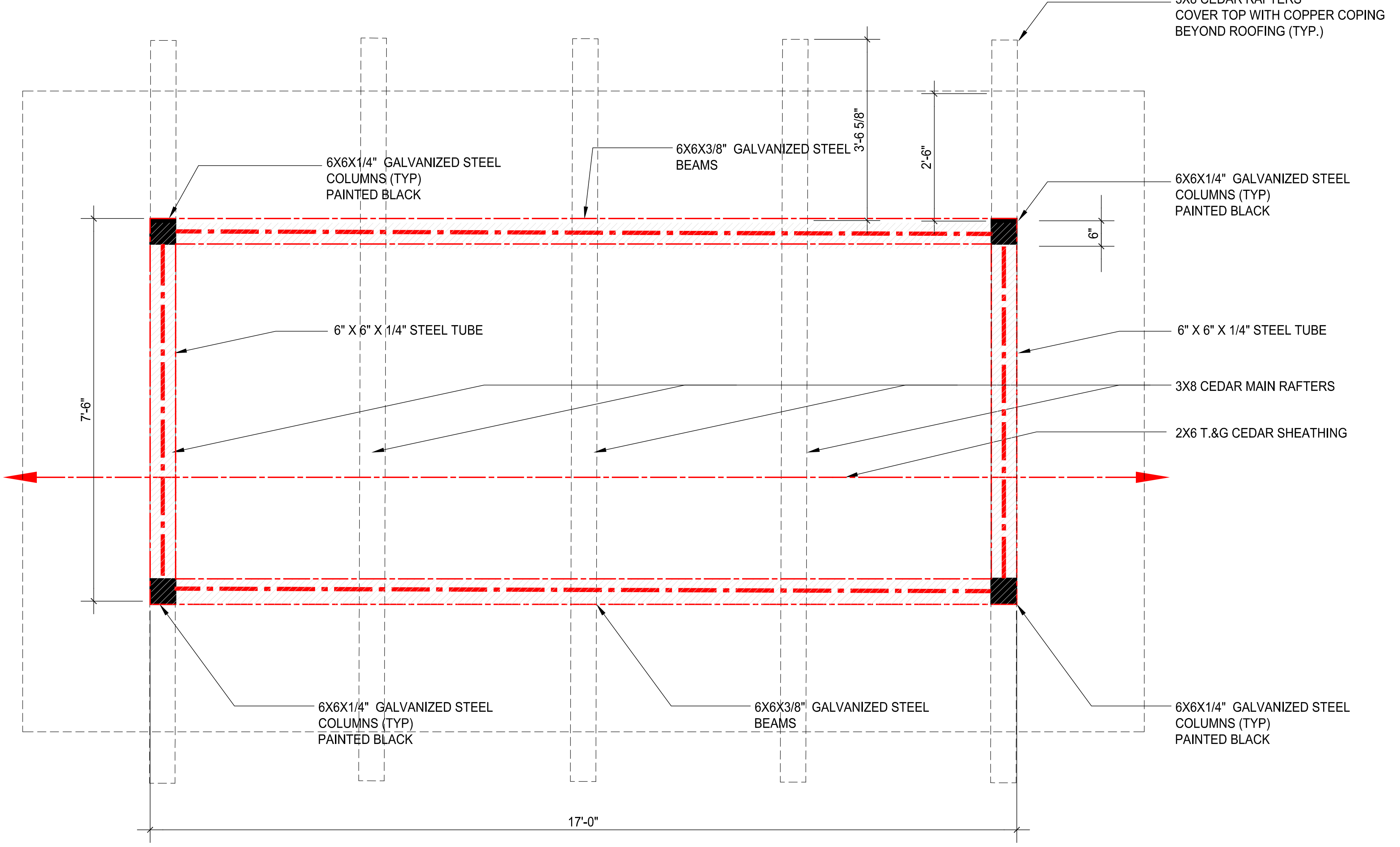
ROOF-DECK FRAMING PLAN

SCALE: 1/4" = 1'-0"



PROPOSED OUTDOOR KITCHEN BAR FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



OUTDOOR KITCHEN/BAR ROOF FRAMING PLAN

SCALE: 3/4" = 1'-0"

**TRUSS JOIST SUBSTITUTION NOTE :**

- CONTRACTOR SHALL SUBMIT TO ARCHITECT WRITTEN PROOF THAT ANY SUBSTITUTIONS OF THE TRUSS JOIST MANUFACTURER INDICATED ON THESE DRAWINGS SHALL BE OF EQUAL STRUCTURAL CAPACITY PRIOR TO ORDERING.

**TRUSS JOIST NOTES :**

- TRUSS JOISTS ARE TO BE MANUFACTURED BY "TRUSSJOIST MACMILLAN" OR APPROVED EQUAL. SIZE AND SPACING AS INDICATED ON THE DRAWINGS.
- FOLLOW ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
- MINIMUM BEARING LENGTH IS TO BE 1 3/4" AT JOIST ENDS AND 3 1/2" AT INTERMEDIATE SUPPORTS.
- PROVIDE "TIMBERSTRAND LVL RM BOARDS" AT PERIMETER WALL AND AS INDICATED. DO NOT USE SOLID DIMENSIONAL LUMBER AS RM BOARDS.
- PROVIDE 2 X 4 WEB STIFFENER "SQUASH BLOCKS" AT ALL POINT LOADS AND AT INTERMEDIATE BEARING POINTS WHERE THERE IS A BEARING WALL ABOVE TO TRANSFER LOAD TO BEARING PLATE. PROVIDE WEB STIFFENERS AT JOIST INTERMEDIATE BEARING POINTS WHERE NO LOAD BEARING BEARING WALL IS ABOVE.
- DO NOT BEVEL CUT JOIST BEARING BEYOND INSIDE FACE OF STUD WALL (MAXIMUM OF 5 1/2" FOR 2 X 6 PLATE).
- FOLLOW NAILING REQUIREMENTS AS RECOMMENDED BY "TRUSSJOIST MACMILLAN".
- USE GALVANIZED JOIST HANGERS WHEN SUPPORTING TRUSS JOISTS FROM MICROSLAM LVL BEAMS. DOUBLED TRUSS JOISTS AND LEDGER BOARDS PROVIDE WEB BLOCKS IF JOIST HANGERS DO NOT LATERALLY SUPPORT THE TRUSS JOIST TOP FLANGE. PROVIDE BAKER BLOCKS WHERE TRUSS JOISTS ARE FRAMED TO ANOTHER TRUSS JOIST.
- DOUBLE UP 1 1/2 JOISTS UNDER PARALLEL PARTITIONS ABOVE.

**LVL NOTE :**

- ALL DESIGNATED LVL'S SHALL BE "1.9E MICROSLAM" BY "TRUSSJOIST MACMILLAN" WITH A FLEXURAL FIBER STRESS OF  $F_b = 2600$  P.S.I. - OR AN APPROVED EQUAL.
- CONTRACTOR TO FOLLOW ALL RECOMMENDATIONS OF LVL MANUFACTURER IN REGARDS TO INSTALLATION, NOTCHING, DRILLING HOLES, BEARING, FASTENING OF MULTIPLE MEMBERS (NAILING OR BOLTING) AND ALL OTHER RELEVANT INFORMATION FOR PROPER INSTALLATION.
- NOTCHING AND DRILLING HOLES IN LVL'S SHOULD BE AVOIDED. WHENVER IF REQUIRED DUE TO FIELD CONDITIONS, NOTCHING AND DRILLING HOLES SHALL BE LIMITED TO THE RECOMMENDATIONS OF THE LVL MANUFACTURER. THE C.C. IS TO COORDINATE FRAMING WITH MECHANICAL PLUMBING AND ELECTRICAL TRADES. THE C.C. IS TO BE RESPONSIBLE FOR ALL MODIFICATIONS TO LVL'S.
- FASTEN MULTIPLE LVL MEMBERS PER LVL MANUFACTURER'S RECOMMENDATIONS. (2) AND (3) MEMBER LVL BEAMS MAY BE NAILED OR BOLTED. (4) OR MORE MEMBER BEAMS ARE TO BE BOLTED.

**HEADER AND LINTEL NOTES :**

- ALL WOOD HEADERS AT WINDOWS AND EXTERIOR DOORS TO BEAR ON (2) X 4 OR (2) X 6 JACK STUDS AT EACH END.
- ALL STEEL ANGLES AT MASONRY VENEER IS TO BEAR A MINIMUM OF 4" INTO MASONRY, OR AS INDICATED ON THE DRAWINGS.
- FLASH FRAMED BEAMS ARE TO BEAR ON/TO CORNER POSTS, SOLID OR BUILT-UP POSTS AS INDICATED ON THE DRAWINGS.
- WHERE (2) X 2 HEADERS ARE INDICATED, INSTALL (2) 1/2" PLYWOOD SPACERS BETWEEN EACH MEMBER.

**FIRST FLR. LOADING SCHEDULE**

LIVE LOAD	: 40 P.S.F.
DEAD LOAD	: 15 P.S.F.
TILE & MUD	: 20 P.S.F.
<b>TOTAL LOAD</b>	<b>: 75 P.S.F.</b>

**FIRST FLR. LOADING SCHEDULE**

LIVE LOAD	: 40 P.S.F.
DEAD LOAD	: 15 P.S.F.
<b>TOTAL LOAD</b>	<b>: 55 P.S.F.</b>

**FRAMING PLAN LEGEND**

- INDICATES FLOOR, CEILING, OR ROOF FRAMING DIRECTION AND SPACING.
- INDICATES STEEL BEAM OR LVL BEAM OR GIRDER (AS NOTED).
- BEARING PLATE LOCATION - SEE NOTES ON PLAN FOR SIZE AND BEARING INFO.
- BUILT-UP SOLID WOOD POST - SEE NOTES ON PLAN FOR SIZE.
- BUILT-UP SOLID WOOD POST FROM ABOVE - SEE PLANS FOR SIZE.
- STEEL COLUMN - DIAMETER AS INDICATED ON PLANS.
- LOAD BEARING INTERIOR PARTITION.