



April 25, 2024

*Via Electronic Mail ([jhuerta@northcastleny.com](mailto:jhuerta@northcastleny.com))*

Hon. Christopher Carthy, Chairman  
and Members of the Planning Board  
Town Hall Annex  
17 Bedford Road  
Armonk, New York 10504

*Re: Application of Marcela Yepes and Nicolas Cuadros for Site Plan, Tree Removal and  
Wetland Permit Approvals  
Property: 41 Mead Road, Town of North Castle  
Tax Identification No.: Section 109.01, Block 01, Lot 12*

Dear Chairman Carthy and Members of the Planning Board:

This firm represents Marcela Yepes and Nicolas Cuadros (the “Applicant”) and Guadalupe Real Estate NY LLC (“Guadalupe”). Guadalupe is the owner of the property at 41 Mead Road in the Town (the “Property”), of which Ms. Yepes is the sole member. The Property is partially improved with a fully framed and enclosed multi-story residence, retaining walls, a septic system and other improvements. Guadalupe acquired the Property in November 2022 under the belief and with the expectation that construction could be completed pursuant to building, tree removal and wetland permits that were in effect and revised architectural plans that had been signed by the Building Inspector on “August 26, 2021.”<sup>1</sup> (The Building, Tree Removal and Administrative Wetland Permits that were issued for the project and the “Revised Plans” (defined in item 6 below) signed by the Building Department are submitted herewith for informational purposes in item 6.) Instead, only a few months after acquiring the Property, Guadalupe received a Stop Work Order (on March 13, 2023) and notice that comments from a previously issued inspection report given to the prior owner were still outstanding and that work could not continue until the comments were adequately resolved.<sup>2</sup>

In the course of investigating the circumstances of the Stop Work Order, our clients came to identify a number of issues with the construction that was performed on the Property by the prior contractor, who purported to act pursuant to the Building, Tree and Wetland Permits that were in effect and the Revised Plans. The Applicant seeks Site Plan Approval and amended Tree Removal Permit and Wetland Permit Approvals to correct site and building construction issues, install a septic system and well in accordance with

---

<sup>1</sup> I believe that the wrong year was written in the date of approval of the Revised Plans and that the date should have been August 26, 2022 based on an Application for Revision to Approved Plans that bears a “Building Inspector signoff” dated August 26, 2022. See item 6.

<sup>2</sup> One of the issues cited in the Stop Work Order was that the change in owner and contractor required an update of the Building Permit. On June 30, 2023, the building permit was amended to name Guadalupe as the owner and extend the Permit (originally dated September 28, 2020) for two years (presumably to September 28, 2024). (The amended Building Permit is included as part of item 6.)

Hon. Chris Carthy, Chairman  
and Members of the Planning Board  
April 25, 2025  
Page 2

approvals expected from the Westchester County Health Department (“WCHD”),<sup>3</sup> complete the residence, and implement the landscaping and wetland mitigation planting plans.<sup>4</sup> In short, the Applicant seeks approvals to rectify the problems it inherited from the prior owner and contractor and finish the project.

Submitted herewith are the following items in support of the applications:

1. Applications for Site Plan, Tree Removal and Wetland Permit Approvals, signed by the Applicant and Owner (as required) and the Short Environmental Assessment Form signed by Jay Fain, which is annexed to the Site Plan Application;
2. The following civil and site engineering drawings and information prepared by Altermatt Engineering LLC, dated April 25, 2024 (unless otherwise indicated);
  - a. Site Plan, C-1;
  - b. Grading and Utility Plan, C-2;
  - c. Grading and Utilities Details, C-3;
  - d. Erosion and Sedimentation Control Plan, C-4;
  - e. Erosion and Sedimentation Control Details, C-5;
  - f. Sections 1, C-6;
  - g. Sections 2, C-7;
  - h. Sections 3, C-8;
  - i. Restoration Area Plan, C-9;
  - j. Gross Land Coverage Worksheet, C-10;<sup>5</sup> and
  - k. Gross Land Coverage Calculations Worksheet (dated April 22, 2024);
3. The following landscaping and wetland mitigation drawings prepared by Jay Fain & Associates LLC, dated March 11, 2024 and last revised April 25, 2024:
  - a. House Area Planting Plan, P-1;
  - b. Wetland Buffer Planting Plan, RP-1; and
  - c. Wetland Buffer Details, RP-2;
4. The following architectural drawings and information prepared and/or compiled by DeMasi Architects P.C., dated April 19, 2024:
  - a. Floor Plans, Elevations and Floor Area Plans (6 Sheets);
  - b. Product Detail Sheet for Twilight Outdoor Wall Light; and
  - c. Floor Area Calculations Worksheet;
5. As Built Topographic Map prepared for the Property (formerly known as Tax Lot 5) by TC Merritts

---

<sup>3</sup> WCHD approval is required because the original septic approval was for fewer bedrooms than are in the constructed residence, the Applicant has been unable to locate a permit for the well that was drilled and the location of such well does not comply with existing regulations so a new well must be installed.

<sup>4</sup> The Property has been the subject of a long history of efforts to obtain approvals to develop a residence thereon, the original design work for which appears to date back to 2005. Messrs. Jay Fain and Thomas Altermatt were involved as design professionals in an earlier approval process. Because of their in-depth knowledge of the Property, its environmental constraints and the prior approvals, they were retained by Guadalupe to assist with sorting out the issues, identifying the corrective work and approvals necessary to rectify the problems and obtaining the requisite approvals to proceed with such work and complete the project in a legal manner.

<sup>5</sup> A Stormwater Pollution Prevention Plan is in process and a draft will be submitted by Altermatt Engineering with the next submission.

Hon. Chris Carthy, Chairman  
and Members of the Planning Board  
April 25, 2025  
Page 3

- Land Surveyors, dated December 31, 2003 and last revised April 22, 2024;
6. Building Permit #2020-3191 (renewed and amended as of June 30, 2023 and naming Guadalupe as the owner), Administrative Wetland Permit (2020-3192) and Tree Permit (2020-3193), and DeMasi Architects P.C. revised plans (17 Sheets) to add a second story to the originally approved residence, which bear the Building Inspector's signature in connection with Permit #2020-3191 (the "Revised Plans") and the Application for Revision to Approved Plans bearing the Building Inspector's signoff dated August 26, 2022; and
  7. Variance Resolution dated January 9, 2020.

Also enclosed are two checks payable to the "Town of North Castle," in the amounts of \$395 and \$2,000, for the application fees (Site Plan, Two Parking Spaces, Wetland Permit, Tree Permit and Short Environmental Assessment Form) and escrow, respectively.

### History

The Property is approximately 3.98 acres in area and located in the Town's R-2A Residential Zoning District. It slopes downward from east to west (i.e. Mead Road to New York State-regulated freshwater wetland K-30 along the western side of the Property). A review of the Building and Planning Department files reveals that development on the Property was the subject of a review process that spanned several years and culminated in the issuance of wetland permit approvals by the Town and the New York State Department of Environmental Conservation ("NYSDEC") for the "Blum Lapins House" from 2012 to 2016. In 2015, the Town's Residential Project Review Committee ("RPRC") determined that the project did not require Planning Board or Architectural Review Board approval and could be submitted to the Building Department for a building permit upon complying with a few conditions.<sup>6</sup> In or around that same time, the WCHD issued approval for the construction of a septic system and well on the Property based on plans by Altermatt Engineering.

In 2020, the Building Department issued a Building Permit, Administrative Wetland Permit and Tree Permit for the construction of a one-family residence, retaining walls, paving and driveway (*see* item 6). Such Permits were originally dated March 30, 2020 but reissued on September 28, 2020. The plans approved by the Permits, prepared by NcC Studio Architecture, were stamped "Approved Plans" by the Building Inspector on September 28, 2020. (Since September 2020, the Building Permit has been amended and renewed; the copy attached in item 6 appears to be the most recent version in effect.)

In July 2022, prior to Guadalupe's acquisition of the Property, the record shows that application was made to the Building Department by the prior owner and contractor to add an additional level to the approved footprint, as shown on the Revised Plans (item 6). The prior contractor represented to our clients that the Building Permit for construction that occurred and was continuing on the Property was in effect and that

---

<sup>6</sup> One of the conditions of the RPRC 2015 Determination was that the then-owner provide proof of having obtained a rear yard setback variance from the Town's Zoning Board of Appeals. It appears from the record that a variance was granted in 2015 but lapsed. The variance was reissued by the ZBA by Resolution dated January 9, 2020 (*see* item 7). The rear yard setback of the residence complies with the setback allowed by the variance.

Hon. Chris Carthy, Chairman  
and Members of the Planning Board  
April 25, 2025  
Page 4

such construction was in accordance with the Revised Plans stamped and signed by the Building Inspector.

After receiving the Stop Work Order, our client endeavored to work with the prior contractor to sort through the issues on the Property. Guadalupe has since retained Messrs. Fain and Altermatt, who worked on the original project, and Mr. DeMasi who is familiar with the architectural plans, and replaced the contractor with Mr. Mario Masseroli, an experienced and responsible home builder.

### Proposed Work

As stated above, this application is for approvals to rectify conditions created by the prior owner and contractor so that construction of the residence, septic, well and stormwater improvements can be completed in a safe and responsible manner.

The conditions that will be corrected include the following:

1. Abandon a well drilled to the north of the residence for which no permit has been located and install a new well to the northeast of the residence, closer to the street line;
2. Construct a septic system in the location originally approved in 2015, remove an existing (new but never connected) 1,250 gallon concrete tank off the northeast corner of the residence and replace it with a 1,750 gallon concrete tank, and adjust the setting of the existing (new but never connected) concrete overflow tank and the existing (new but never connected) 1,250 gallon concrete pump chamber to the east of the residence, if and as needed;<sup>7</sup>
3. Remove and dispose off-site approximately 900 cubic yards of previously excavated material that is stockpiled on the Property in various areas to the east, south and west of the residence. The areas from which the material will be removed are within the "Restoration Area" on Sheet C-9 prepared by Altermatt Engineering (*see* item 2(i)). The Restoration Area is in wetland and wetland buffer areas;<sup>8</sup>
4. Restore and mitigate impacts in the Restoration Area by removing invasive species from an area of approximately 27,215 SF and planting approximately 15,000 SF with mitigation plantings as shown on the Wetland Buffer Planting Plan, RP-1 and Wetland Buffer Details, RP-2, prepared by Jay Fain & Associates LLC (items 3(b) and (c));
5. Remove the existing boulder wall off the southeast corner of the residence, fill the area with sand, and construct a new, lower, shorter-length boulder wall in its place; and
6. Mitigate the removal of nine (9) extra trees by the prior owner and contractor by planting an additional eighteen (18) trees as shown on the Wetland Buffer Planting Plan and House Area Planting Plan (items 3(b) and (a), respectively).<sup>9</sup>

---

<sup>7</sup> All well and septic work is subject to receipt of approval from the WCHD, an application for which was submitted to the WCHD earlier this month.

<sup>8</sup> The additional disturbance on the site that encroached into the wetland and wetland buffer areas also requires approval from the NYSDEC. Mr. Fain has already met NYSDEC staff on the Property and initiated discussions about remediating the condition.

<sup>9</sup> It appears that the prior owner and contractor also removed two dead ash trees. The Applicant will have to remove four additional dead tulip trees to complete the project.

Hon. Chris Carthy, Chairman  
and Members of the Planning Board  
April 25, 2025  
Page 5

In addition to the foregoing corrective work, the Applicant will also:

7. Complete the installation of Bioretention Rain Gardens #1, #2 and #3;
8. Landscape the area around the residence as shown on the House Area Planting Plan, P-1 submitted herewith (item 3(a)). (We anticipate needing to import approximately 150 cubic yards of topsoil onto the Property to implement the wetland mitigation and foundation planting plans.); and
9. Complete construction of the residence.

As noted, the residence is fully framed and enclosed. I believe that the only exterior construction still to be completed on this building is installation of the exterior stairs. Changes will be required to the interior of the residence, for example to conform the number of bedrooms to the WCHD approval, once received.

The number of bedrooms proposed in the residence is now six bedrooms, an increase from the original Building Permit plans which showed four bedrooms. The increase in bedroom count did not require a material change in the size or location of the septic system. Instead, it was made possible by a change in WCHD regulations relating to the length of leaching fields needed for each bedroom.

Previously, a question was raised about the height of the residence with the additional level. We have investigated the height and determined that (i) the overall building height is 25 feet, 2 inches (which complies with the 30-foot height limitation in the R-2A District (*see* Section 355-21 and 355 Attachment 1, Schedule of Residence District Regulations)) and (ii) the maximum exterior wall height is 34 feet, 1 inch (which complies with the 38-foot limitation in the District (*see* Section 355-26(D))).

I understand that David Sessions, RLA, AICP, visited the Property on April 22, 2024 and confirmed the wetland delineation performed by Mr. Fain.

Kindly schedule this matter for an initial presentation and discussion, and referral of the application to the Conservation Board and any other required boards or agencies, at the Board's May 13, 2024 meeting. With Adam Kaufman, AICP's prior consent, we have submitted our application to the Conservation Board so that if your Board makes a referral on May 13<sup>th</sup>, we will be able to proceed before the Conservation Board on May 21<sup>st</sup>. We hope you will also schedule a joint site walk with the Conservation Board for a date when our team can meet both Boards at the site.

I am not able to attend your meeting on May 13<sup>th</sup> (I will be out of the country on a preplanned trip) but Messrs. Fain and Altermatt will be present to explain the project and address any questions you may have.

Hon. Chris Carthy, Chairman  
and Members of the Planning Board  
April 25, 2025  
Page 6

If you have any questions or need additional information in the interim, please contact Messrs. Fain ((203) 581-5902) or Altermatt ((860) 488-1603), or me.

Respectfully yours,

Hocherman Tortorella & Wekstein, LLP

By:   
Geraldine N. Tortorella

GNT:hc

Enclosures

cc: *(via electronic mail with enclosures)*

Robert Melillo, Building Inspector

Adam Kaufman, AICP

John Kellard, P.E.

Joseph Cermele, P.E.

Vinny Federici, P.E.

David Sessions, RLA, AICP

Roland Baroni, Jr., Esq.

Thomas Altermatt, P.E.

Jay Fain, MS, PSS, CPESC, CERP

Louis DeMasi, RA

Mr. Mario Masseroli

Mr. Nicolas Cuadros

1



**TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning**

**Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)**

## Application for Site Development Plan Approval

**Application Name**

**Marcela Yepes and Nicolas Cuadros Residence, 41 Mead Road**





TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

### **Important General Information**

- Prior to submitting an application, the "Notice to Applicants" should be reviewed.
- To appear before the Planning Board, all required application materials shall be submitted not later than **12:00 P.M., Monday, fourteen (14) days** prior to the date of the Planning Board meeting at which the application is scheduled to be heard or as otherwise noted by the Planning Board Secretary. Continuing Business can be submitted 12 days prior to the Next Planning Board meeting by the close of business. Except where noted.  
If all required application materials, including the pertinent application fee and escrow monies are not submitted by that deadline, the application shall be automatically removed from the agenda.  
At the discretion of the Planning Board Chairman, the application may be rescheduled, if appropriate, for the next available Planning Board meeting or the application may be removed from future agendas altogether. Without prior authorization from the Planning Board, application submissions shall not be accepted at Planning Board meetings.
- At the time of submission, all required application materials shall be submitted. **Piecemeal submissions shall not** be accepted. Substitution of previously submitted materials shall not be permitted.
- All submissions shall be dated, with revision dates identified on new submissions.
- All submissions shall be accompanied by a cover letter describing the project and/or any changes as compared to previous submissions.
- To be considered complete for Planning Board hearing purposes, an application package shall contain the information identified in Parts IV and V of this application form.



**TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning**

**Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastlenv.com](http://www.northcastlenv.com)**

**AT THE TIME OF SUBMISSION TO THE PLANNING DEPARTMENT  
PLEASE MAKE SURE THE FOLLOWING IS PROVIDED**

- ✓ SUBMISSION OF A SINGLE PDF FILE (PLANS, APPLICATION FORM, OTHER PAPERWORK) ON A DISK, THUMBDRIVE OR EMAIL
  
- ✓ COVER LETTER DESCRIBING THE PROJECT OR CHANGES TO THE PROJECT
  
- ✓ ALL PLANS ARE SIGNED AND SEALED BY A LICENSED NYS PROFESSIONAL



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
**17 Bedford Road**  
**Armonk, New York 10504-1898**

**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
**Director of Planning**

**Telephone: (914) 273-3542**  
**Fax: (914) 273-3554**  
[www.northcastleny.com](http://www.northcastleny.com)

## **NOTICE TO APPLICANTS**

In the Town of North Castle, the Planning Board is responsible for the review and approval of all applications concerning site plans, subdivisions and lot line changes; some applications concerning special use permits, wetlands permits and tree removal permits; and the environmental review of those applications over which it has jurisdiction. The Planning Board may also have an advisory role in connection with some applications before the Town Board, such as those involving other categories of special use permits and zoning amendments.

The Planning Board is composed of five volunteer members – all residents of North Castle – who are appointed by the Town Board for five-year terms. As part of the review of some applications, the Planning Board is assisted on an as-needed basis by other lay boards of the Town, such as the Conservation Board (CB), the Zoning Board of Appeals (ZBA), the Open Space Committee and the Architectural Review Board (ARB). As part of the review of most applications, the Planning Board is also assisted by the Director of Planning, the Town Engineer, the Town Attorney and other special consultants when required.

### **FEES:**

If you submit an application for Planning Board review, you will be required to reimburse the Town for the cost of professional review services, including legal and engineering services, incurred in connection with the review of your application. The charges for professional planning review services have been \$120/hour. If other types of professional consultant review services are required, those charges will be in accord with fees usually charged for such services and pursuant to a contractual agreement between the Town and such professional.

At the time of submission of an application, the Planning Board will require the establishment of an escrow account from which withdrawals shall be made to reimburse the Town for the cost of consultant fees and professional staff services.

### **ESCROW ACCOUNT:**

Escrow Accounts are established for each application. Monies will be deducted from the account for professional review services rendered. Monthly escrow disbursement summaries will be mailed for your reference regarding your project. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, a letter will be mailed to the applicant and the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit. Additional information on these requirements is provided in the North Castle Town Code (see Sections 355-79B and 275-36.C).



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
**17 Bedford Road**  
**Armonk, New York 10504-1898**

**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
**Director of Planning**

**Telephone: (914) 273-3542**  
**Fax: (914) 273-3554**  
[www.northcastlenv.com](http://www.northcastlenv.com)

**PROCEDURE:**

Prior to submitting an application to the Planning Board for review and approval, prospective applicants should schedule an appointment with the Planning Board Secretary at (914) 273-3542 for a consultation with the Town Planner and the Town Engineer. When the appointment is made, a verbal description of the proposal should be provided to the Planning Board Secretary. The Town of North Castle is providing the services of the Director of Planning and the Town Engineer for *initial* consultation at no cost to the applicant so that it is possible to conduct the application review as efficiently as possible for the benefit of the applicant as well as the Planning Board.

After meeting with the Town Planner and Town Engineer, prospective applicants should prepare one complete set of application documents and plans. This set will be reviewed for completeness by the Town Planner. If determined to be incomplete, the Planning Department will submit a checklist indicating which items have not been adequately addressed. If determined to be complete, the checklist will be initialed and the Applicant should submit the remainder of the required application packages.

Once the checklist has been initialed and all application packages have been submitted, the Planning Board Secretary will schedule the application for the first available opening on the Planning Board's meeting agenda. However, if the required application material packages, including the pertinent application fee are not received at the Planning Board office by 12:00 PM, Monday, 14 days prior to the date of the Planning Board meeting at which you are scheduled to appear (or otherwise scheduled by the Planning Board Secretary), your application will be automatically removed from the agenda. At the discretion of the Planning Board Chairman, your application may be rescheduled, if appropriate, for the next available Planning Board meeting or the application may be removed from future agendas altogether. Additional requirements pertinent to each type of application are provided on the individual application forms, which you should carefully review prior to submitting your application.

When an application is deemed complete and submitted for review, it will be forwarded to the Planning Board Members and its professional advisors in advance of the meeting to allow adequate time for review, preparation of written reports and site inspections as necessary. Your application may also be forwarded to other boards and staff of the Town as well as to agencies outside of the Town, if required. Compliance with State Environmental Quality Review (SEQR) procedures is also required as part of the processing of all applications.

At your first appearance before the Planning Board, the Applicant will describe the project and the Planning Board will discuss any preliminary issues. The Planning Board discussion may be continued at future meetings, or if the Planning Board review has progressed sufficiently, the Application may be scheduled for a public hearing (if one is required) The public hearing may occur at a single Planning Board meeting, or it may be adjourned and continued at another Planning Board meeting. Because the nature and complexity of each application varies



**TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning**

**Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)**

considerably, it is not possible to predict in advance the length of time needed to secure Planning Board approval. There are certain steps that you can take, however, to expedite the review process. These include, but are not limited to, the following:

- Be thoroughly familiar with the requirements pertinent to your application. Carefully review relevant provisions of the North Castle Town Code and the application form for your particular type of application. Be sure to check on what other types of approvals may be required in addition to that of the Planning Board. Approvals by other Town boards or departments as well as agencies outside of the Town may be required before you will be allowed to proceed with your project.
- Make sure that your application materials are accurately prepared and contain all required information. The information that we initially request is required, so make sure that your submission is complete. If supplementary information is requested as the review process continues, make sure that it is submitted in a timely fashion so the Planning Board can continue to move your application along.
- Follow up to make sure that your application materials are being submitted on time, or deliver them to the Planning office yourself.
- Attend the Planning Board meeting at which your application will be discussed and be on time for the meeting. If you cannot appear personally, make sure that your representative will be there and is thoroughly familiar with your application.

If the Application is approved by the Planning Board, a resolution of approval will be adopted by the Planning Board. It is the Applicant's responsibility to address any and all conditions of approval. Permits from the Building Department cannot be issued until all conditions have been addressed and the plans have been signed by the Planning Board Chair and the Town Engineer.

**ON LINE AGENDAS & PLANNING DEPARTMENT MEMORANDA CAN BE  
REVIEWED AT**

**[WWW.NORTHCASTLENY.COM](http://WWW.NORTHCASTLENY.COM)**



**TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning**

**Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)**

**INFORMATION REGARDING PUBLIC HEARINGS**

1. The North Castle Assessor's Office shall prepare a list of neighbors to be notified for the neighbor notifications and public hearings - **A minimum of one week's notice is required**. The fee is \$50.00 which includes the list of neighbors and two sets of labels for mailing. The Assessor's Office may be reached Monday – Friday from 8:30 a.m.– 4:30 p.m. at 273-3324. You may also e-mail your request to [assessor@northcastleny.com](mailto:assessor@northcastleny.com)

When requesting your list please reference the list of application types below so that you can tell the Assessor's office how many feet on all sides of the property to create the list for.

**Subdivisions** - All lots zoned R-10, R-5 and R-2F shall notice all neighbors within 200 feet from all sides of their property. All other zoning districts shall notice neighbors within 500 feet from all sides of their property. Public hearing notice must be published in the newspaper.

**Special Use Permit for Structures over 800 sq ft. & Accessory Apartment** - All Zoning Districts shall notice all neighbors within 250 feet from all sides of their property. Public hearing notice must be published in the newspaper.

**Site Plan, Non Residential** - All Zoning Districts shall notice all neighbors within 250 feet from all sides of their property. Public hearing notice must be published in the newspaper.

**Site Plan, Residential/ Neighbor Notification** – All zoning districts R-3/4A or smaller shall notice all neighbors within 250' from all sides of their property. All zoning districts zoned R-1A or larger shall notice all neighbors within 500' from all sides of the property. No public hearing required, no publication in the newspaper required.

**Wetlands Permit** - All Zoning Districts shall notice all abutting property owners. Public hearing notice must be published in the newspaper.

2. The Director of Planning will prepare a Public Notice. The applicant and or professional will review, sign, date and return to the Planning Department Secretary. If there are any changes necessary, please edit and return for corrections. The corrections will be made and emailed back to the applicant who will forward it to the Journal Newspaper, when applicable.

**If notification to the newspaper is not required, please continue to #3.**



**TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning**

**Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)**

You may email your public notice to [legals@lohud.com](mailto:legals@lohud.com). Please request an affidavit of publication which must be submitted to the Planning Board secretary prior to the public hearing. The Journal News requires three days prior notice before 12 noon, not counting weekends and holidays, for ad placement. Make sure the notice placement of the ad in the Greater Westchester Area. This notice cannot be published any sooner than 20 days prior to the meeting and must be published no less than 10 days prior to the meeting.

If you have any questions regarding your publication you may call 888-516-9220:  
Email Address: [legals@lohud.com](mailto:legals@lohud.com)

It is suggested that you purchase the newspaper for your records the day the notice is published.

3. Send out the Public Hearing Notice/ Neighbor Notification by First Class Mail. Notice shall be mailed by the applicant in official envelopes provided by the North Castle Planning Department; the list of noticed neighbors will be prepared by the Assessor's Office. This must be sent out no less than 10 days prior to the meeting and no more than 20 days prior to the meeting date. A Certificate of Mailing (PS Form 3817 or 3877) shall be filled out and post marked by the Post Office on the day of mailing. Neighbor Notifications – no publication in the newspaper required.
4. The Friday before the meeting or no later than 12:00 p.m. the day of the meeting the following **must** be submitted.
  - List of Neighbors prepared by the Assessor's Office
  - Certificate of Mailing – PS form 3817 or 3877 post marked by the US Post Office
  - Affidavit of publication from the Newspaper (only if published in the newspaper)







TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**APPLICATIONS REQUIRING PLANNING BOARD APPROVAL**  
**SCHEDULE OF APPLICATION FEES**

<b><u>Type of Application</u></b>	<b><u>Application Fee</u></b>
Site Development Plan	\$200.00
Each proposed Parking Space	\$10
Special Use Permit (each)	\$200 (each)
Preliminary Subdivision Plat	\$300 1 <sup>st</sup> Lot \$200 (each additional lot)
Final Subdivision Plat	\$250 1 <sup>st</sup> Lot \$100 (each additional lot)
Tree Removal Permit	\$75
Wetlands Permit	\$50 (each)
Short Environmental Assessment Form	\$50
Long Environmental Assessment Form	\$100
Recreation Fee	\$10,000 Each Additional Lot
Discussion Fee	\$200.00
Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of \$200.00 shall be submitted for each informal appearance before the board.	

\*Any amendment to previously approved applications requires new application forms and Fees\*



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898


PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS**

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

\* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

  
 Applicant Signature Marcela Yepes

Date: As of April 25, 2024

  
 Nicolas Cuadros

**I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES**

Name of Property Owner: Guadalupe Real Estate NY LLC

Mailing Address: 445 Hamilton Avenue, Suite 605, White Plains, New York 10601

Contact Nicolas Cuadros

Telephone: 917-244-9909 Fax: \_\_\_\_\_ e-mail: Nicolas.cuadros@icloud.com

Name of Applicant (if different): Marcela Yepes and Nicolas Cuadros c/o Guadalupe Real Estate NY LLC

Address of Applicant: 445 Hamilton Avenue, Suite 605, White Plains, New York 10601

Telephone: Contact Nicolas Cuadros 917-244-9909 Fax: \_\_\_\_\_ e-mail nicolas.cuadros@icloud.com

Interest of Applicant, if other than Property Owner: Sole Member of Owner and her husband

Is the Applicant (if different from the property owner) a Contract Vendee?

Yes

No

If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board  
Applicant is a member of the Owner and her husband.

Name of Professional Preparing Site Plan:

Altermatt Engineering LLC (Civil Engineer)

Address: 9 Rooster Trail Hollow, New Milford, Connecticut 06776

Telephone: (860) 488-1603 Fax: \_\_\_\_\_ e-mail thomas.d.altermatt@snet.net

Name of Other Professional: Jay Fain, MS, PSS, CPESC, CERP (Wetland Consultant)

Address: Jay Fain & Associates, LLC, 2000 Post Road, Suite 201, Fairfield, Connecticut 06824  
(office) 203-254-3156

Telephone: (cell) 203-581-5902 Fax: \_\_\_\_\_ e-mail elmst@optonline.net

Name of Attorney (if any): Geraldine N. Tortorella, Esq., Hocherman Tortorella & Wekstein, LLP

Address: One North Broadway, Suite 400, White Plains, New York 10601

Telephone: 914-421-1800 Ext. 1 Fax: 914-421-1856 e-mail g.tortorella@htwlegal.com

Louis DeMasi, RA (Architect), DiMasi Architects, P.C., 105 Smith Avenue, Mount Kisco, New York 10549  
Telephone: 914-666-3858 Fax: 914-666-5196 Email lou@demasiarchitects.com

**Applicant Acknowledgement**

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: Marcela Yepes Nicolás Cuadros

Date: As of April 25, 2024

Signature of Property Owner: Marcela Yepes

Date: As of April 25, 2024

By: Marcela Yepes, Sole Member, Guadalupe Real Estate NY LLC

MUST HAVE BOTH SIGNATURES

**II. IDENTIFICATION OF SUBJECT PROPERTY**

Street Address: 41 Mead Road

Location (in relation to nearest intersecting street):

0 feet (north, south, east or west) from the northwest corner of Mead & Edgar Roads, North Castle.

Abutting Street(s): Edgar Road (on the south)

Tax Map Designation (NEW): Section 109.01 Block 1 Lot 12

Tax Map Designation (OLD): Section 1 Block 10 Lot 5

Zoning District: R-2A Total Land Area 3.98 Acres

Land Area in North Castle Only (if different) \_\_\_\_\_

Fire District(s) Banksville FD School District(s) Byram Hills

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No \_\_\_ Yes (adjacent) X Yes (within 500 feet) \_\_\_\_\_

If yes, please identify name(s): Greenwich, Connecticut

The boundary of any existing or proposed County or State park or any other recreation area?

No X Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No X Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No X Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No X Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The boundary of a farm operation located in an agricultural district?

No X Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

Does the Property Owner or Applicant have an interest in any abutting property?

No X Yes \_\_\_\_\_

If yes, please identify the tax map designation of that property:

\_\_\_\_\_

**III. DESCRIPTION OF PROPOSED DEVELOPMENT**

Proposed Use: Single Family Residence

Gross Floor Area: Existing \_\_\_\_\_ S.F. Proposed 7,277.6 S.F.

Proposed Floor Area Breakdown:

Retail N/A S.F.; Office N/A S.F.;

Industrial N/A S.F.; Institutional N/A S.F.;

Other Nonresidential N/A S.F.; Residential 7,277.6 S.F.;

Number of Dwelling Units: 1

Number of Parking Spaces: Existing 0 Required 2 Proposed 2 (min.)

Number of Loading Spaces: Existing 0 Required 0 Proposed 0

Earthwork Balance: Cut \_\_\* C.Y. Fill \_\_\*\* C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No \_\_X\_\_ Yes \_\_\_\_\_

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No \_\_\_\_\_ Yes \_\_X\_\_

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.) Application being made simultaneously herewith.

Town-regulated wetlands? No \_\_\_\_\_ Yes \_\_X\_\_

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.) Application being made simultaneously herewith.

State-regulated wetlands? No \_\_\_\_\_ Yes \_\_X\_\_

(If yes, application for a State Wetlands Permit may also be required.) Applicant's Wetlands Consultant is in contact with NYSDEC staff.

\*Large stock piles of previously excavated materials (totaling approximately 900 cy) were left on the site by the prior contractor on the western side of the house, the area at the south side of the driveway and from the proposed septic area. This excess material shall be disposed of off-site. Please refer to the Cross Section Plans for detailed information about the material to be removed and the areas involved.

\*\*Approximately 150 cubic yards of topsoil is be required to cover all of the disturbed areas with a 4" deep layer of topsoil. The topsoil shall be brought in from off-site.

#### **IV. SUBMISSION REQUIREMENTS**

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) PDF set of the site development plan application package in a single PDF file .
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

## V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

### Legal Data:

- Name of the application or other identifying title.
- Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established. Survey provided.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- \* Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- \*\* A signature block for Planning Board endorsement of approval.

\* If locator map does not cover a sufficient perimeter distance, it can be revised.

\*\* To follow on final set



**Existing Conditions Data:**

- Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- NA Location of existing parking and truck loading areas, with access and egress drives thereto.
- Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- NA Location, size and design of existing signs.
- NA Location, type, direction, power and time of use of existing outdoor lighting.
- NA Location of existing outdoor storage, if any.
- Existing topographical contours with a vertical interval of two (2) feet or less.
- Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

**Proposed Development Data:**

- NA Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- Proposed sight distance at all points of vehicular access.
- NA Proposed number of employees for which buildings are designed.
- NA Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- NA Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

- Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- Location, size and design of all proposed signs.
- Location, type, direction, power and time of use of proposed outdoor lighting.
- Location and design of proposed outdoor garbage enclosure.
- Location of proposed outdoor storage, if any.
- Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- Type of power to be used for any manufacturing
- Type of wastes or by-products to be produced and disposal method
- In multi-family districts, floor plans, elevations and cross sections
- The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- Proposed soil erosion and sedimentation control measures.
- For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.



## Town of North Castle Planning Department

17 Bedford Road Armonk, New York 10504

(914) 273-3542 (914) 273-3554 (fax)

### PRELIMINARY SITE PLAN COMPLETENESS REVIEW FORM

*This form represents the standard requirements for a completeness review for all preliminary site plans. Failure to provide all of the information requested will result in a determination that the site plan application is incomplete. The review of the site plan for completeness will be based on the requirements of the Town of North Castle Town Code.*

Project Name on Plan: Marcela Yepes and Nicolas Cuadros Residence, 41 Mead Road

Initial Submittal  Revised Preliminary

Street Location: 41 Mead Road

Zoning District: R-2A Property Acreage: 3.98 Ac Tax Map Parcel ID: 109.01-1-12

Date: As of April 25, 2024

#### DEPARTMENTAL USE ONLY

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

##### Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

1. A complete application for site development plan approval form
2. Plan prepared by a registered architect or professional engineer
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Proposed division of buildings into units of separate occupancy, detailed breakdowns of all proposed floor space by type of use and floor level
7. Existing topography and proposed grade elevations
8. Location of drives

**PRELIMINARY SITE PLAN COMPLETENESS REVIEW FORM**

Page 2

- 9. Location of any outdoor storage
- 10. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences
- 11. Description of method of water supply and sewage disposal and location of such facilities
- 12. Location, design and size of all signs
- 13. Location and design of lighting, power and communication facilities
- 14. In an industrial district, specific uses proposed, number of employees for which buildings are designed, type of power to be used for any manufacturing process, type of wastes or by-products to be produced by any manufacturing process and proposed method of disposal of such wastes or by-products
- 15. In a multifamily district, floor plans of each dwelling unit shall be shown, and elevations and cross sections also may be required
- 16. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work.
- 17. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 18. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 19. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.

# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

### Instructions for Completing

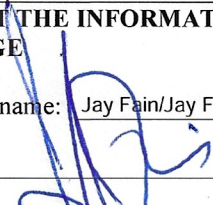
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

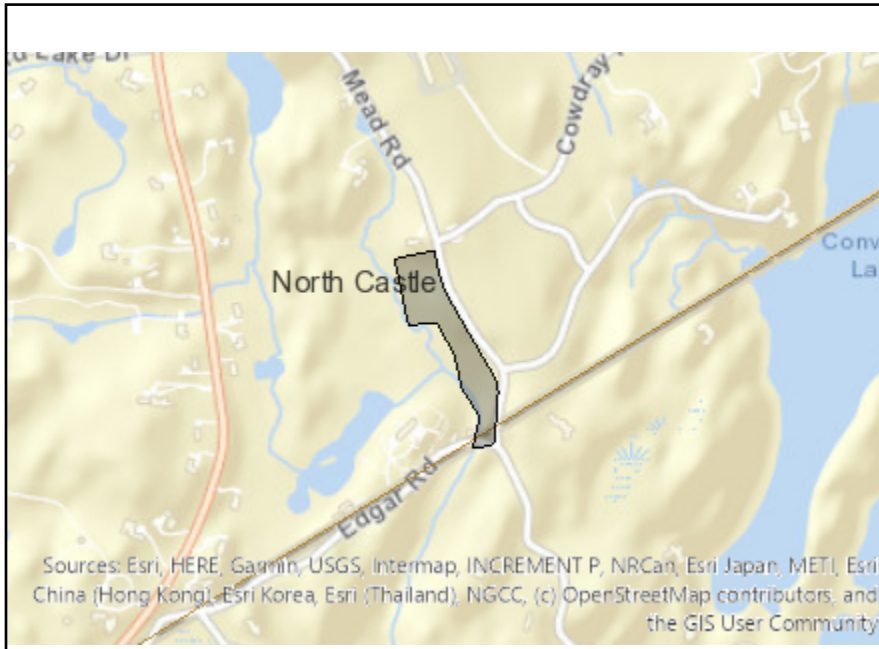
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:		Telephone:		
		E-Mail:		
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 3.98 acres		
b. Total acreage to be physically disturbed?		_____ acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 3.98 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5.     Urban       Rural (non-agriculture)       Industrial       Commercial       Residential (suburban)				
<input type="checkbox"/> Forest     Agriculture                   Aquatic       Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? *	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

\*Based on consultations with the NYSDEC, a determination from SHPO is not required.

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<hr/> <hr/>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<hr/> <hr/>		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<hr/> <hr/>		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<hr/> <hr/>		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: Jay Fain/Jay Fain & Associates		Date: 4/25/2024
Signature: 		Title: Ecologist



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No





## **Town of North Castle Building Department**

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

[www.northcastleny.com](http://www.northcastleny.com)

### **TOWN OF NORTH CASTLE TREE REMOVAL APPLICATION PERMIT**

#### **WHEN A PERMIT IS REQUIRED**

The Town of North Castle finds and declares that the preservation of Trees is necessary to protect the health, safety and general welfare of the Town of North Castle because trees provide shade, impede soil erosion, aid water absorption and retention, inhibit excess runoff and flooding, enhance air quality, offer a natural barrier to noise, provide a natural habitat for wildlife, provide screening, enhance property values and add to the aesthetic quality of the community.

#### **A tree removal permit is required under the following circumstances:**

1. Removal of a tree within a property's regulated setback zone or landscape buffer zone (All trees 8" or greater DBH – Diameter at Breast Height).

The regulated setback zone refers to the area of vegetative screening or landscaping measured from each property line of a residentially zoned property toward the interior of such property.

R-4A One-Family Residence District: 25 feet.

R-2A One-Family Residence District: 15 feet.

R-1.5A One-Family Residence District: 12 feet.

R-1A One-Family Residence District: 10 feet.

All other residential districts: 5 feet

2. Removal of a Significant Tree that's 24 inches or greater DBH at 4 feet.
3. Removal of any tree in wetlands, within clearing lines, or Conservation Easements.
3. Any cutting of more than 5 trees of 8 inches in diameter or more in any one quarter-acre area, within a 12 month period with such area being measured as a square with each side measuring 104 feet.
4. Removal of any street tree within the Right of Way.
5. Removal in any calendar year of more than ten (10) trees on any lot.



## Town of North Castle Building Department

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

[www.northcastleny.com](http://www.northcastleny.com)

### Tree Removal Application

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

**Section I-** PROJECT ADDRESS: 41 Mead Road DATE: As of April 25, 2024

**Section II-** CONTACT INFORMATION: (Please print clearly. All information must be current)

APPLICANT: Marcela Yepes and Nicolas Cuadros

ADDRESS: c/o Guadalupe Real Estate NY LLC 445 Hamilton Avenue, Suite 605, White Plains, New York 10601  
Contact Nicolas Cuadros

PHONE: \_\_\_\_\_ MOBILE: 914-244-9909 EMAIL: Nicolas.cuadros@icloud.com

PROPERTY OWNER: Guadalupe Real Estate NY LLC

ADDRESS: 445 Hamilton Avenue, Suite 605, White Plains, New York 10601  
Contact Nicolas Cuadros

PHONE: \_\_\_\_\_ MOBILE: 914-244-9909 EMAIL: Nicolas.cuadros@icloud.com

Tree Company: To Follow

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

**Section III-** REGULATED ACTIVITY: (Check all that apply)

Removal of a tree within a property's regulated setback zone or landscaped buffer zone.

Removal of a significant tree.

Removal of any tree in the wetlands, within clearing lines, or conservation easements.

Clearing/Thinning.

Removal of any tree within the right of way.

Removal in any calendar year of more than ten (10) trees on any lot.

**Section IV-** DESCRIPTION OF WORK: ( Please include how many trees will be removed)

A prior owner and contractor removed nine trees more than a permit they obtained allowed and removed two dead trees (ashes). The Applicant is seeking a retroactive permit for the nine trees. In addition, four additional dead trees (tulips) will be removed to complete the project. The Applicant proposes to plant 18 trees as mitigation.

**Section V-** FUTURE PLANS:

Do you have any intention of tearing down the house to build a new house within the next six (6) months.

Yes

No

# Town of North Castle Building Department

## Section V- FUTURE PLANS: (Continued)

Do you have any intention to expand the house over 1500 square feet within the next six (6) months?  Yes  No

## Section VI- RESTRICTION:

Is there any conservation easements on your deed?  Yes  No

## Section VII- PERMIT FEES: (\$50 application fee and a \$25 Certificate of Compliance fee)

## Section VIII- APPLICANT CERTIFICATION

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature: Marcela Yepes Nicolas Cuadros Date: As of April 25, 2024

## Section IX- AFFIDAVIT OF OWNER AUTHORIZATION: (To be notarized)

GERALDINE N. TORTORELLA  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 02TO4933447  
Qualified in Westchester County  
My Commission Expires May 09, 2026

STATE OF NEW YORK }  
COUNTY OF WESTCHESTER } SS:

The applicant Marcela Yepes and Nicolas Cuadros have ~~not~~ proper consent from said owner to make this application as submitted and said owner agrees to all terms and conditions placed upon same.

Owner's Name (PRINT) Guadalupe Real Estate NY LLC Owner's Signature Marcela Yepes  
Sworn to before me this 22nd day of April, 2024 Marcela Yepes, Sole Member  
Geraldine N. Tortorella, NOTARY PUBLIC (above) *see stamp*

### OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Zone: \_\_\_\_\_ Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot: \_\_\_\_\_

### Building Department Checklist:

Does this permit require RPRC approval?  Yes  No

Has a plan delineating all improvements, site grading and disturbance proposed on the subject property.  Yes  No

GC License      Work. Comp.      Liability. Ins.      Disability      Two sets of documents

Permit Fee \$75.00    Payment type:      Check #: \_\_\_\_\_      Cash

Name on check: \_\_\_\_\_ Received By: \_\_\_\_\_ Date: \_\_\_\_\_

Reviewed By: \_\_\_\_\_ Date: \_\_\_\_\_

Building Inspector Approval: \_\_\_\_\_ Date: \_\_\_\_\_

Conditions: \_\_\_\_\_

# WETLANDS AND DRAINAGE APPLICATION TOWN OF NORTH CASTLE BUILDING DEPARTMENT

DATE: \_\_\_/\_\_\_/\_\_\_ \$50 (min.) for Residential Apps. FEE: \$\_\_\_\_\_  
\$250 (min.) for Commercial Apps.

1. **NAME & ADDRESS OF APPLICANT:** Marcela Yepes and Nicolas Cuadros  
c/o Guadalupe Real Estate NY LLC  
445 Hamilton Avenue, Suite 605  
White Plains, New York 10601  
**TELEPHONE:** (917) 244 - 9909  
Contact Nicolas Cuadros

**OWNER (IF DIFFERENT):** Guadalupe Real Estate NY LLC  
445 Hamilton Avenue, Suite 605  
White Plains, New York 10601  
**TELEPHONE:** (917) 244 - 9909  
Contact Nicolas Cuadros

2. **STREET ADDRESS OF PROPERTY:** 41 Mead Road  
**SECTION:** 109.01 **BLOCK:** 1 **LOT:** 12

3. **DESCRIPTION OF PROPOSED WORK & MATERIALS: PLANS & SPECIFICATIONS ANNEXED HERETO. STATE NAME AND OCCUPATION OF PREPARER:**

A prior owner of the Property and former contractor performed approximately 21,107 SF of additional disturbance in the wetland and buffer than was authorized under a previous wetland permit. The Applicant is seeking to correct the condition and proposing to restore/replant approximately 15,000 SF and remove invasive species from approximately 27,215 SF of wetland and wetland buffer area on the Property.

Wetland Consultant: Jay Fain, MS, PSS, CPESC, CERP, Jay Fain & Associates, LLC.

4. **IMPACT STATEMENT (IF REQUIRED) PREPARED BY:** \_\_\_\_\_

As of DATED: 4 / 25 / 2024

APPLICANT'S SIGNATURE: \_\_\_\_\_

Marcela Yepes  
Marcela Yepes

Nicolas Cuadros

**NOTE:** WETLANDS APPLICATIONS WILL BE REVIEWED BY THE TOWN BOARD, THE PLANNING BOARD, THE CONSERVATION BOARD, OR THE TOWN ENGINEER AT THE DISCRETION OF THE TOWN ENGINEER.

Do you have any intention of tearing down a house to build a new house within the next SIX (6) months?  
 Yes  No

Do you have any intention to expand a house over 1500 square feet within the next SIX (6) months?  
 Yes  No

If the Planning Board has granted you approval previously, on what dates were you approved? (List Below)

(Prior approval granted by RPRC dated May 22, 2015)



17 BEDFORD ROAD  
ARMONK, NY 10504  
TEL: 914 273 0346  
FAX: 914 273 3554  
www.northcastleny.com

**TOWN OF NORTH CASTLE  
CONSERVATION BOARD**  
17 Bedford Road Armonk, New York 10504  
914-273-3000 x 50

**SUBMISSION CHECKLIST**

This form represents the standard requirements for a completeness review for all Conservation Board submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

\*DISCLAIMER\* - The Board may wish to ask for other documents in the future

Project name on Plan Marcela Yepes and Nicolas Cuadros Residence, 41 Mead Road

Initial Submittal (Submit 3 weeks prior to Board meeting), minimum of three (3) hard copies.

Send entire Submission digitally to: Jmucker@northcastleny.com – Required by both the Town and the Town Wetland Consultant.

Returning Application (Submit 2 weeks prior to Board meeting), three (3) Copies

Street Location: 41 Mead Road

Zoning District R-2A Property Acreage 3.98 Ac Tax Map Parcel ID 109.01-1-12

Date: As of April 25, 2024

**Required Items**

- Completed **Wetland Permit** Application
- Copy of submitted Permit Fee (s)
- Copy of the complete Environmental Assessment Form (EAF) – if applicable
- Wetland Mitigation Plan (to include the following, per Chapter 340 of the Town Code)

## Conservation Board Review Form

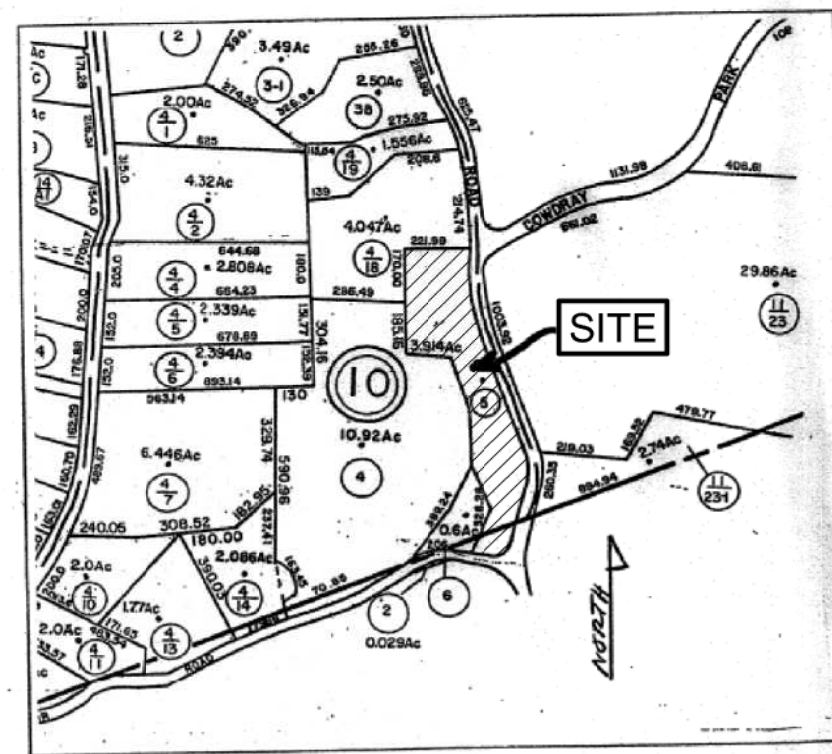
- Name and address of the owner/applicant
- Seal and signature of the Design Professional who prepared the plan
- Location Map depicting the applicant's entire property and adjacent properties
- Existing Topography and proposed grade elevations
- The location of the wetland and/or watercourse as they exist in the field and field-verified by the Town Wetland Consultant
- The location of any 100' local of N.Y. state regulated Wetland Buffer (s) and/or 500' Critical Environmental Area (CEA) regulated Wetland Buffer (s)
- Location and quantification (square feet) of the construction area or area (s) proposed to be disturbed and their relation to property lines, road, buildings, watercourses and wetlands
- Location of all existing wells and septic areas on the site including septic expansion areas.
- The size/species of all existing trees within and adjacent to the proposed disturbance areas should be specified. All trees to be removed or protected should be identified and be shown on site plan (**Tree removal permit?**)
  
- Proposed Mitigation Measures, Town Code Section 340-9
  - \*Mitigation includes, but is not limited to, remediating activities that limit environmental damage, wetland construction, wetland maintenance, restoration of disturbed or degraded wetlands, wetland buffer enhancement, mitigation plantings, establishment of conservation easements, establishment of no-mow, no herbicide/pesticide zones, removal of invasive species
  - \* Include a schedule of proposed plantings that includes: quantity, species, botanical/common name, size and root conditions. Identify whether species area native or non-native.
  - \* Locations and corresponding identification codes of all plantings should be illustrated on the mitigation site plan
  - \* Construction details for all mitigation activities: proposed planting methods (tree, shrub, groundcover, grasses etc.) and removal methods of invasive species
  
- The proposed wetland mitigation ratio (2:1 required);  
Total sq. ft. mitigation areas/total sq. ft. of disturbance areas;  
This should include:
  - \*A table listing the disturbance and mitigation areas
  - \*An illustration of the disturbance and mitigation areas on the mitigation site plan map (s)
- \* All proposed Erosion Controls should be shown and detailed
- \* Proposed Quality assurances, including maintenance and monitoring of the wetland mitigation, Town Code Sections 340-11 & 12

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION

2

a





LOCATION PLAN

ZONING CONFORMANCE TABLE		
R-2A ZONING DISTRICT	REQUIRED/PERMITTED	EXISTING/PROVIDED
MIN. LOT SIZE	2.0 ACRES	3.98 ACRES
FRONTAGE	150' MIN.	973' ±
LOT WIDTH	150' MIN.	973' ±
LOT DEPTH	150' MIN.	225' ±
FRONT YARD	50' MIN.	50'
SIDE YARD	30' MIN.	200' ±
REAR YARD	30' MIN.	31' *
BUILDING HEIGHT	30' MIN.	25'-2''**
MAX. EXTERIOR WALL HEIGHT	38' MAX.	34'-1''**
MAX. PERMITTED FLOOR AREA	13,571.9 SF	7,277.6 SF **
TOTAL MAX. GROSS LAND COVERAGE	19,738.7 SF	8,403.8 SF

\*\*VARIANCE ACQUIRED  
\*\*INFORMATION PROVIDED BY DeMASI ARCHITECTS, P.C.

FIRE DISTRICT: BANKSVILLE FD  
SCHOOL DISTRICT: BYRAM HILLS.

EDGAR ROAD

MEAD ROAD

NOTE:  
1. THE PROPERTY LINES, EASEMENT BOUNDARIES, HOUSE LOCATION, SETBACKS, LOCATION OF WETLAND BOUNDARY AND THE 100' WETLAND SETBACK ARE FROM THE MAP ENTITLED: "ASBUILT TOPOGRAPHY PREPARED FOR TAX LOT 5 SITUATE IN THE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK; PREPARED T.C. MERRITTS LAND SURVEYORS, MAP REVISED FEBRUARY 2, 2024 TO SHOW ASBUILT TOPOGRAPHY."

- LIST OF CIVIL/SITE DRAWINGS
- C-1 SITE PLAN
  - C-2 GRADING AND UTILITIES PLAN
  - C-3 GRADING AND UTILITIES DETAILS
  - C-4 EROSION AND SEDIMENTATION CONTROL PLAN
  - C-5 EROSION AND SEDIMENTATION CONTROL DETAILS
  - C-6 SECTIONS 1
  - C-7 SECTIONS 2
  - C-8 SECTIONS 3
  - C-9 RESTORATION AREA PLAN
  - C-10 GROSS LAND COVERAGE WORKSHEET

- LEGEND
- Property Line
  - Building Setback Line
  - Existing Contours
  - Proposed Contours
  - Wetland Limit Line
  - Wetland Buffer Line
  - Watercourse
  - Conservation Easement
  - Catch Basin
  - Manhole
  - Deep Test Hole
  - Percolation Test Hole
  - Benchmark
  - Guide Posts
  - Split Rail Fence
  - Tree Line
  - Limit of Disturbance Approved in 2015
  - Boundary of Existing Disturbance 1/2024

OWNER: GUADALUPE REAL ESTATE NY LLC  
MARCELA YEPES  
445 HAMILTON AVENUE  
SUITE 605  
WHITE PLAINS, NY 10601

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

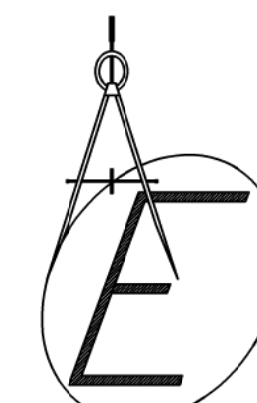
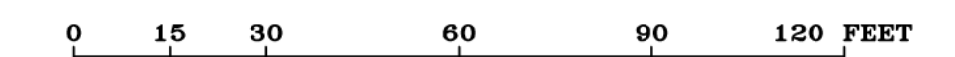


THOMAS D. ALTERMATT P.E. #087560

SITE PLAN

PREPARED FOR  
MARCELA YEPES AND NICOLAS CUADROS RESIDENCE  
41 MEAD ROAD - TOWN OF NORTH CASTLE  
SECTION 1 - BLOCK 10 - LOT 5  
WESTCHESTER COUNTY, NEW YORK 10504  
TAX ID. 109.01-1-12

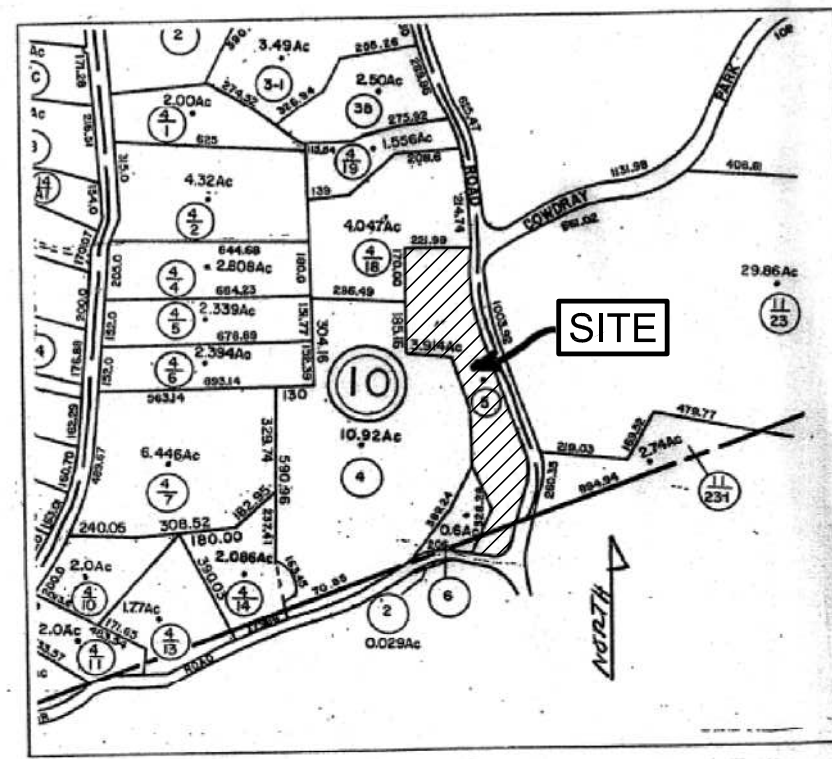
SCALE: 1" = 30' DATE: APRIL 25, 2024



ALTERMATT  
ENGINEERING LLC  
9 ROOSTER TAIL HOLLOW  
NEW MILFORD, CT 06776  
(860)-488-1603 thomas.d.altermatt@snet.net  
CIVIL ENGINEERING, LAND PLANNING  
CONSTRUCTION MANAGEMENT

C-1

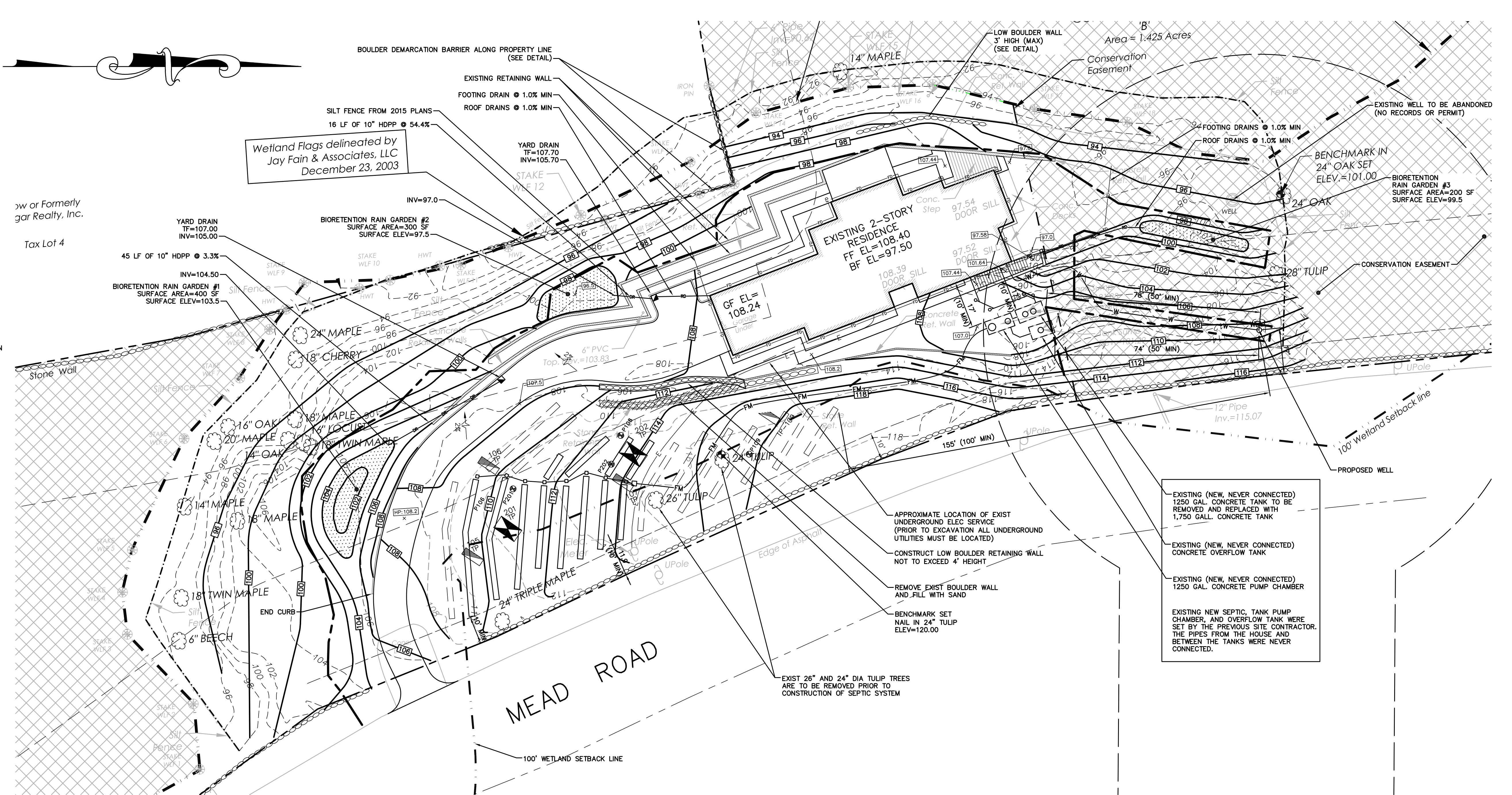
b



LOCATION PLAN

**NOTES:**

1. TREES ARE NOT PERMITTED WITHIN 10 FEET OF THE PRIMARY SEPTIC SYSTEM.
2. THERE ARE NO EXISTING OR PROPOSED SEPTIC SYSTEMS WITHIN 200' UP GRADIENT OF THE PROPOSED WELL.
3. THERE ARE NO EXISTING OR PROPOSED SEPTIC SYSTEM ABSORPTION FIELDS WITHIN 100' DOWN GRADIENT OF THE PROPOSED WELL.
4. SEE SECTIONS, DRAWINGS C-6, C-7, and C-8



**LEGEND**

- Property Line
- Building Setback Line
- Existing Contours
- Proposed Contours
- Wetland Limit Line
- Wetland Buffer Line
- Watercourse
- Conservation Easement
- Catch Basin
- Manhole
- ⊗ Deep Test Hole
- ⊙ Percolation Test Hole
- Benchmark
- ⋯ Guide Posts
- Split Rail Fence

OWNER: GUADALUPE REAL ESTATE NY LLC  
 MARCELA YEPES  
 445 HAMILTON AVENUE  
 SUITE 605  
 WHITE PLAINS, NY 10601

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

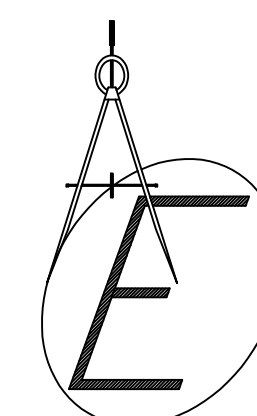
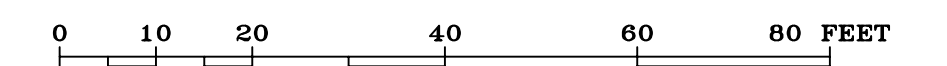


THOMAS D. ALTERMATT P.E. #067560

**GRADING AND UTILITY PLAN**

PREPARED FOR  
 MARCELA YEPES AND NICOLAS CUADROS RESIDENCE  
 41 MEAD ROAD - TOWN OF NORTH CASTLE  
 SECTION 1 - BLOCK 10 - LOT 5  
 WESTCHESTER COUNTY, NEW YORK 10504  
 TAX ID. 109.011-12

SCALE: 1" = 20' DATE: APRIL 25, 2024



**ALTERMATT ENGINEERING LLC**  
 9 ROOSTER TAIL HOLLOW  
 NEW MILFORD, CT 06776  
 (860)-488-1603 thomas.d.altermatt@snet.net  
 CIVIL ENGINEERING, LAND PLANNING  
 CONSTRUCTION MANAGEMENT

C

**5.3.6 Rain Gardens (RR-6)**

A rain garden is intended to manage and treat small volumes of stormwater runoff from impervious surfaces. Treatment is achieved using a conditioned planting soil bed and planting materials to filter runoff stored within a shallow depression. Rain gardens are designed as a passive filtration system without an underdrain system connected to the storm drain system. A stone drainage layer is used for dispersed infiltration. The system consists of an inflow component, a shallow ponding area over a planted soil bed, mulch layer, stone drainage layer, plantings and an overflow mechanism to convey larger rain events to the storm drain system or receiving waters.

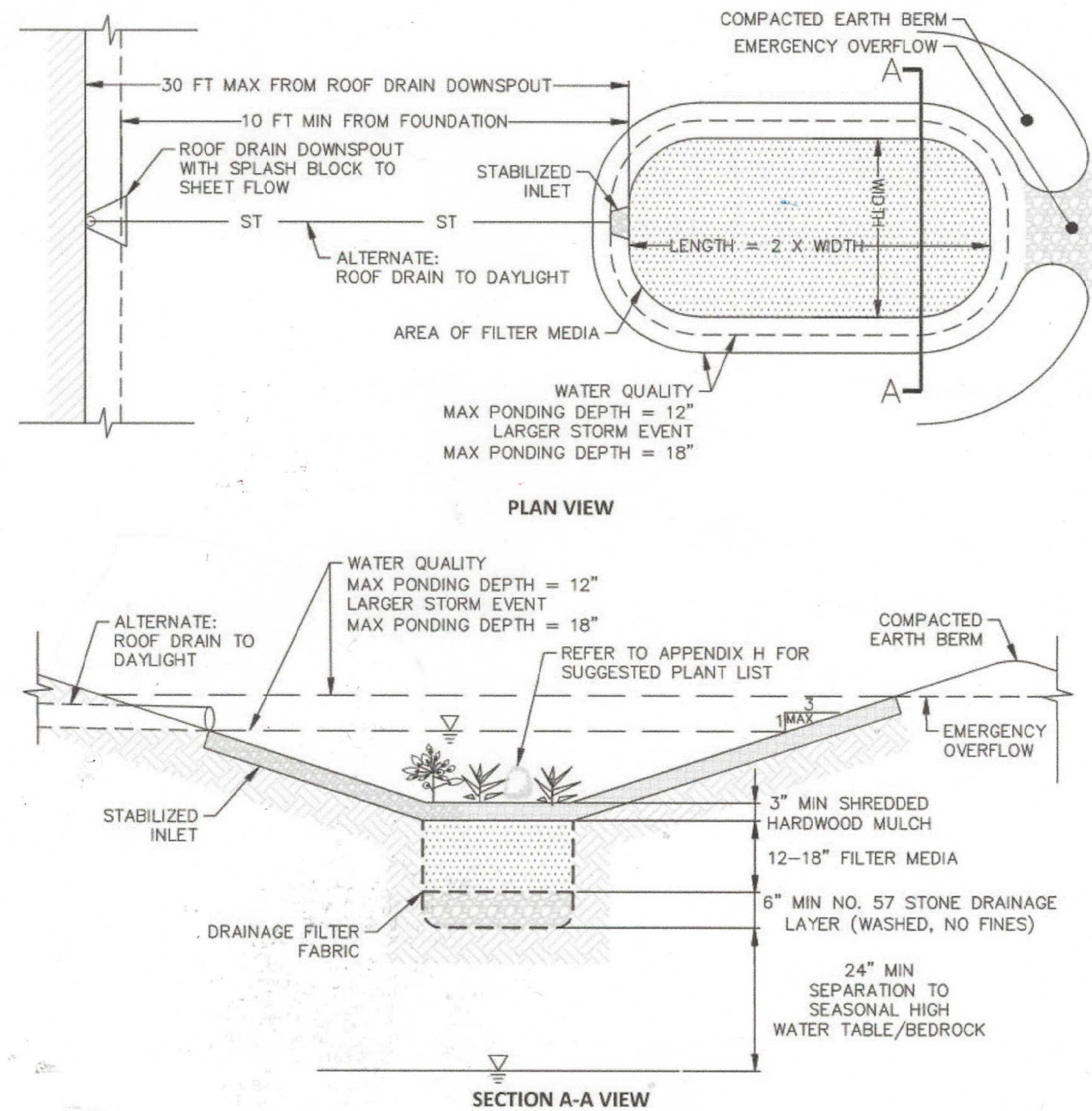
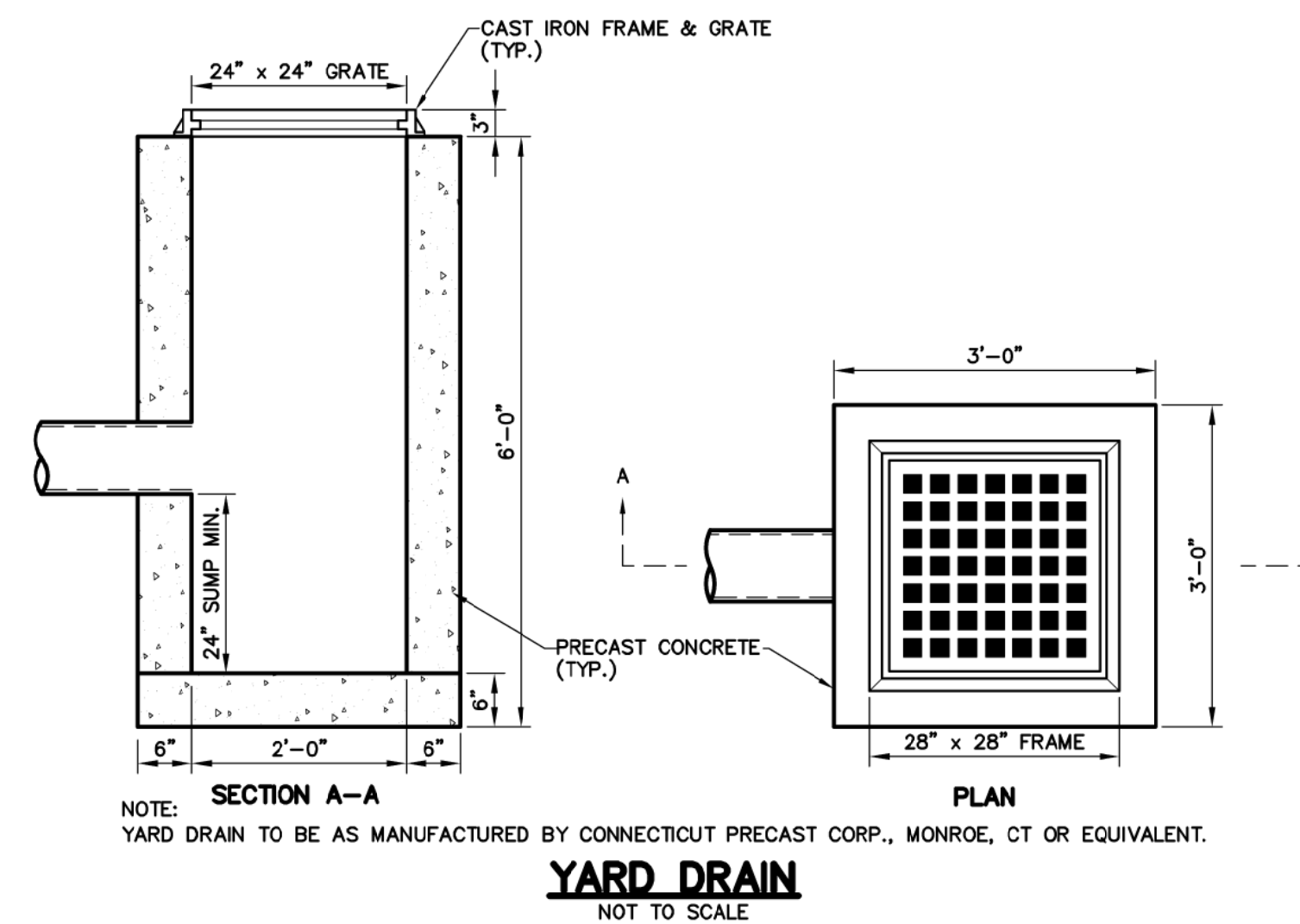
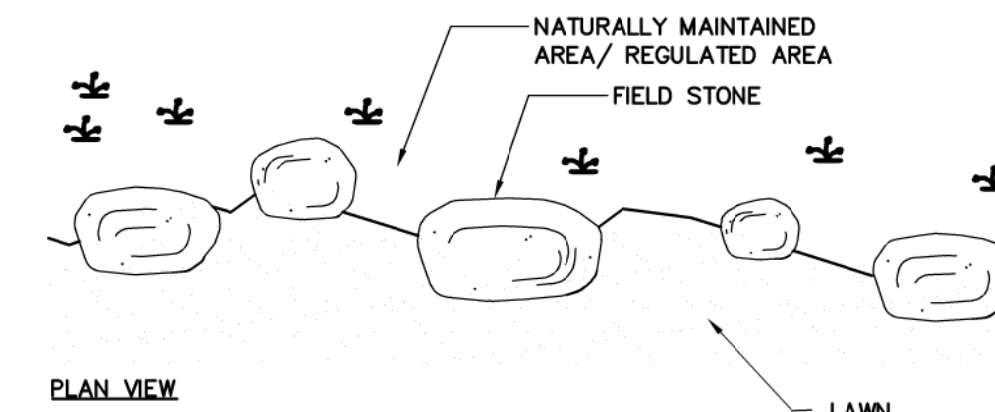
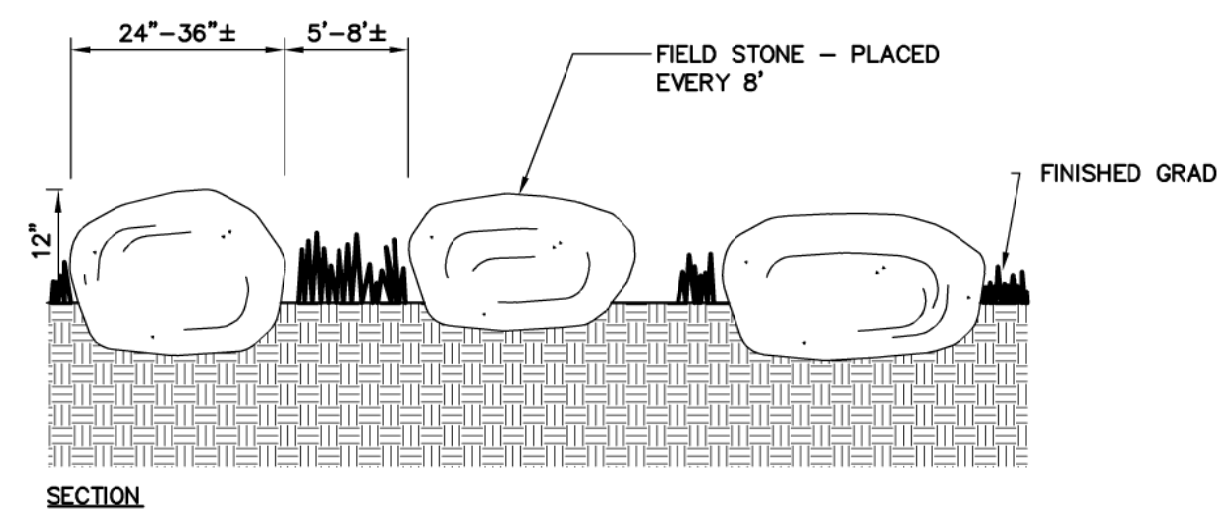


Figure 5.41 Infiltration Rain Garden (RR-6)



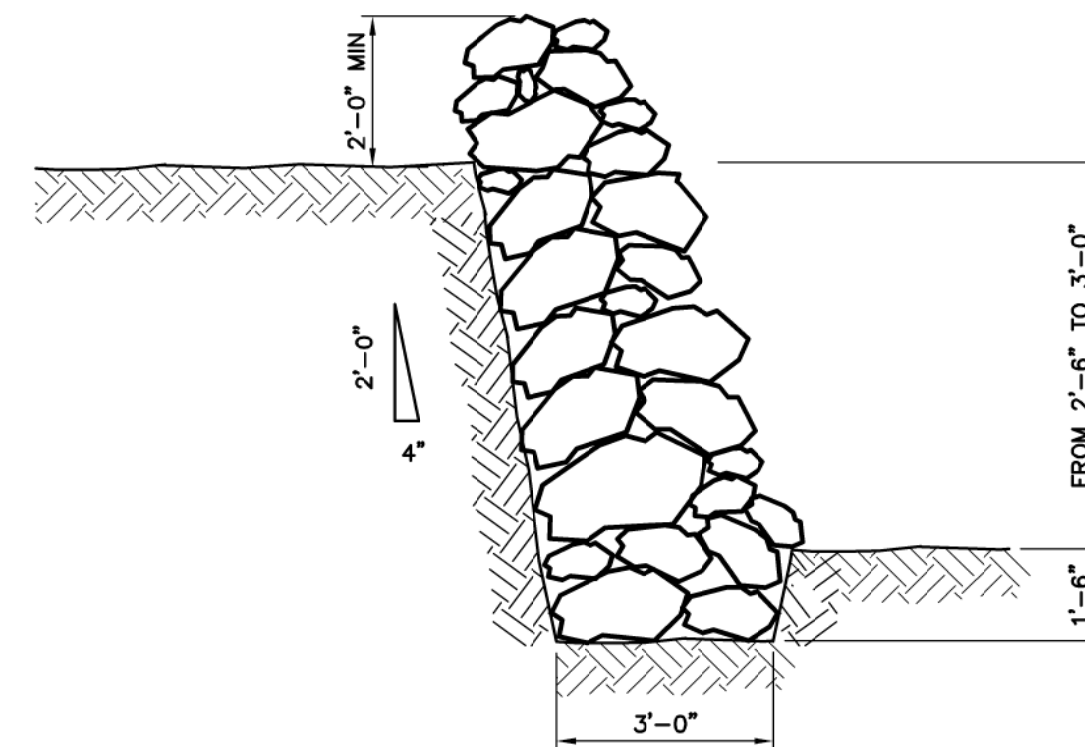
NOTE: SECTION A-A  
YARD DRAIN TO BE AS MANUFACTURED BY CONNECTICUT PRECAST CORP., MONROE, CT OR EQUIVALENT.

**YARD DRAIN**  
NOT TO SCALE



NOTES:  
1. LOCATE BOULDER ROW IN FIELD AS DIRECTED BY THE SITE ENGINEER OR / LANDSCAPE ARCHITECT. LOCATION MAY VARY SLIGHTLY FROM PLAN BASED ON ACTUAL FIELD CONDITIONS.

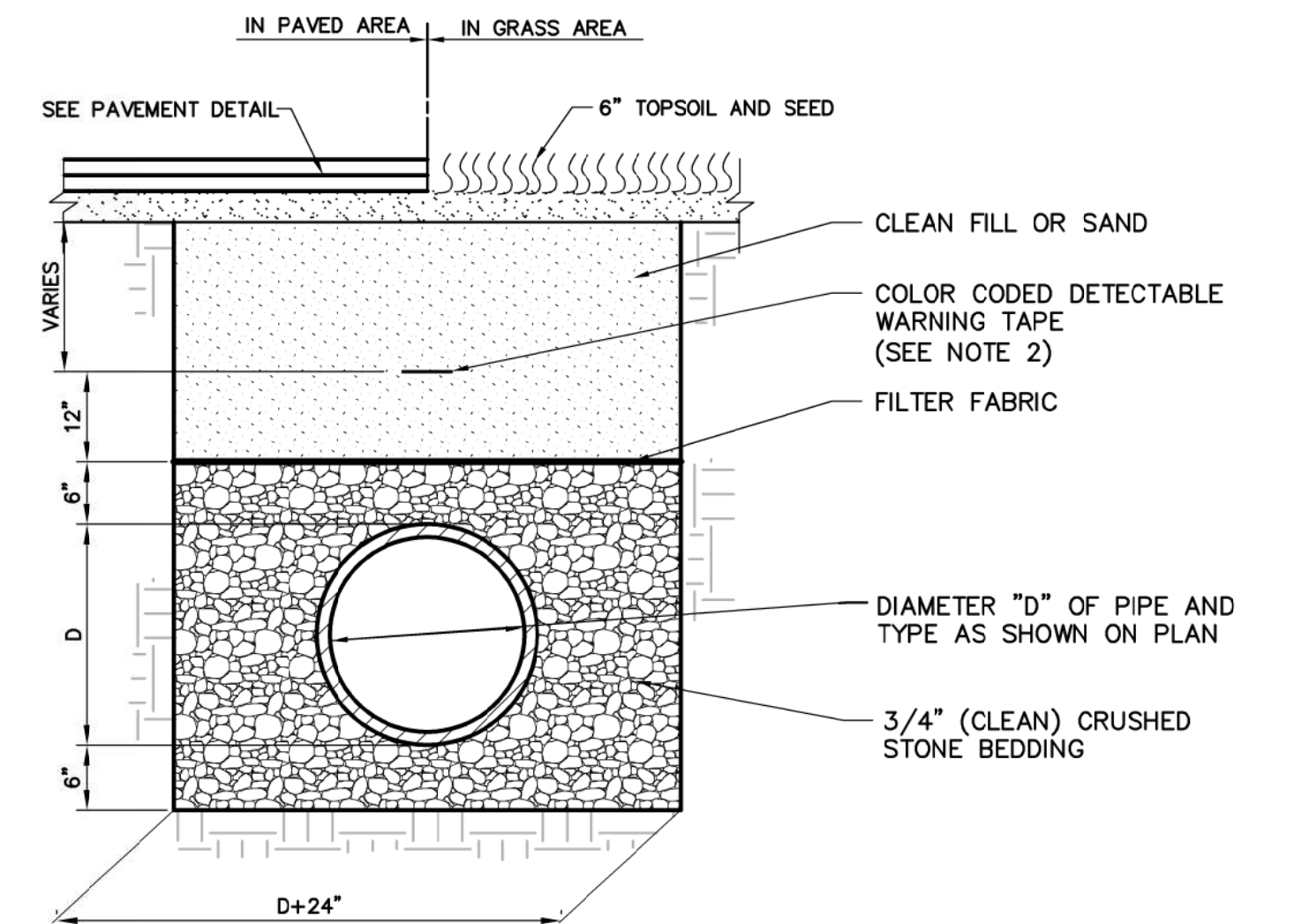
**BOULDER DEMARCATION BARRIER**  
NOT TO SCALE



**GENERAL NOTES:**

- FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL OR LEDGE HAVING MINIMUM BEARING CAPACITY OF 2 TSF (4000 POUNDS PER SQUARE FOOT).
- IF UNSUITABLE SOIL IS DISCOVERED IN THE AREA UNDERNEATH THE NEW FOOTINGS (ORGANICS, LOOSE FILL, AND ETC.), SOIL SHALL BE REPLACED WITH COMPACTED FILL OF GRAVEL OR CRASHED STONE. PLACE BACKFILL IN LIFTS NOT EXCEEDING 9" IN LOOSE LIFT THICKNESS. NOTIFY THE ENGINEER BEFORE PROCEEDING WITH STRUCTURAL BACKFILL TO CONFIRM SUITABILITY OF BEARING STRATUM.
- BOULDERS SHALL BE INSTALLED USING INTERLOCKING IN ORDER TO PROVIDE BETTER STABILITY OF THE WALL. FILL VOIDS WITH CRASHED STONE.

**LOW BOULDER WALL DETAIL**  
NOT TO SCALE

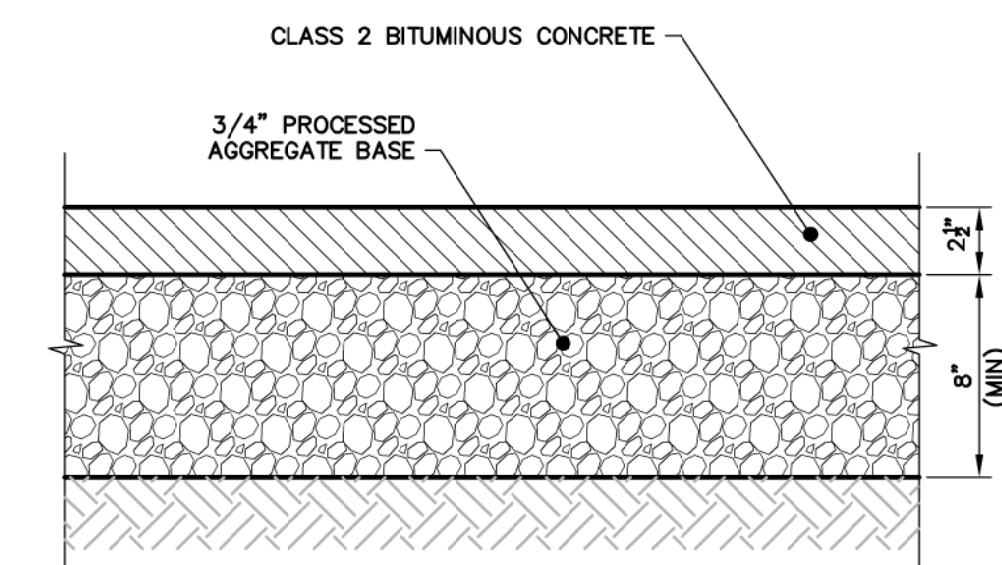


**NOTES:**

- FILL MATERIALS SHALL BE COMPACTED TO 95% DRY DENSITY UNDER PAVED AREAS, SIDEWALKS AND OTHER STRUCTURES AND TO 90% DRY DENSITY (MIN.) UNDER UNPAVED AREAS.
- COLOR OF DETECTABLE WARNING TAPE SHALL BE AS FOLLOWS:  
BLUE - WATER  
GREEN - STORM & SANITARY  
RED - ELECTRICAL  
ORANGE - COMMUNICATIONS  
YELLOW - GAS

**TYPICAL UTILITY TRENCH**

NOT TO SCALE



**TYPICAL BITUMINOUS DRIVEWAY**

NOT TO SCALE

OWNER: GUADALUPE REAL ESTATE NY LLC  
MARCELA YEPES  
445 HAMILTON AVENUE  
SUITE 605  
WHITE PLAINS, NY 10601

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

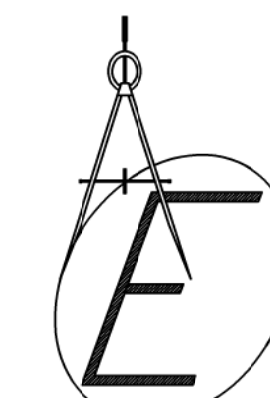


THOMAS D. ALTERMATT P.E. #067560

**GRADING AND UTILITIES DETAILS**

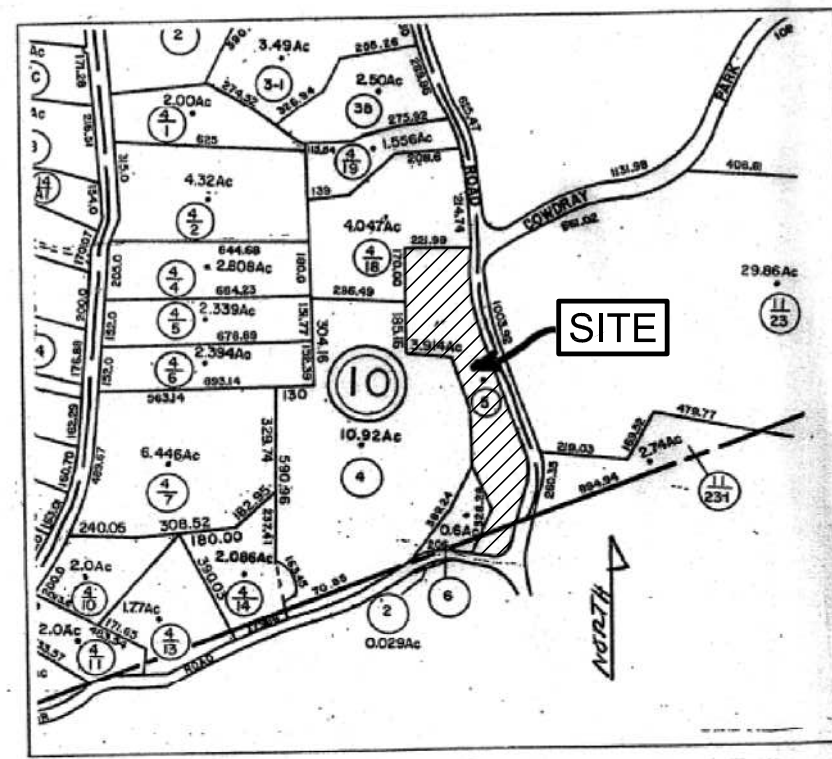
PREPARED FOR  
MARCELA YEPES AND NICOLAS CUADROS RESIDENCE  
41 MEAD ROAD - TOWN OF NORTH CASTLE  
SECTION 1 - BLOCK 10 - LOT 5  
WESTCHESTER COUNTY, NEW YORK 10504  
TAX ID. 109.011-12

SCALE: AS NOTED DATE: APRIL 25, 2024

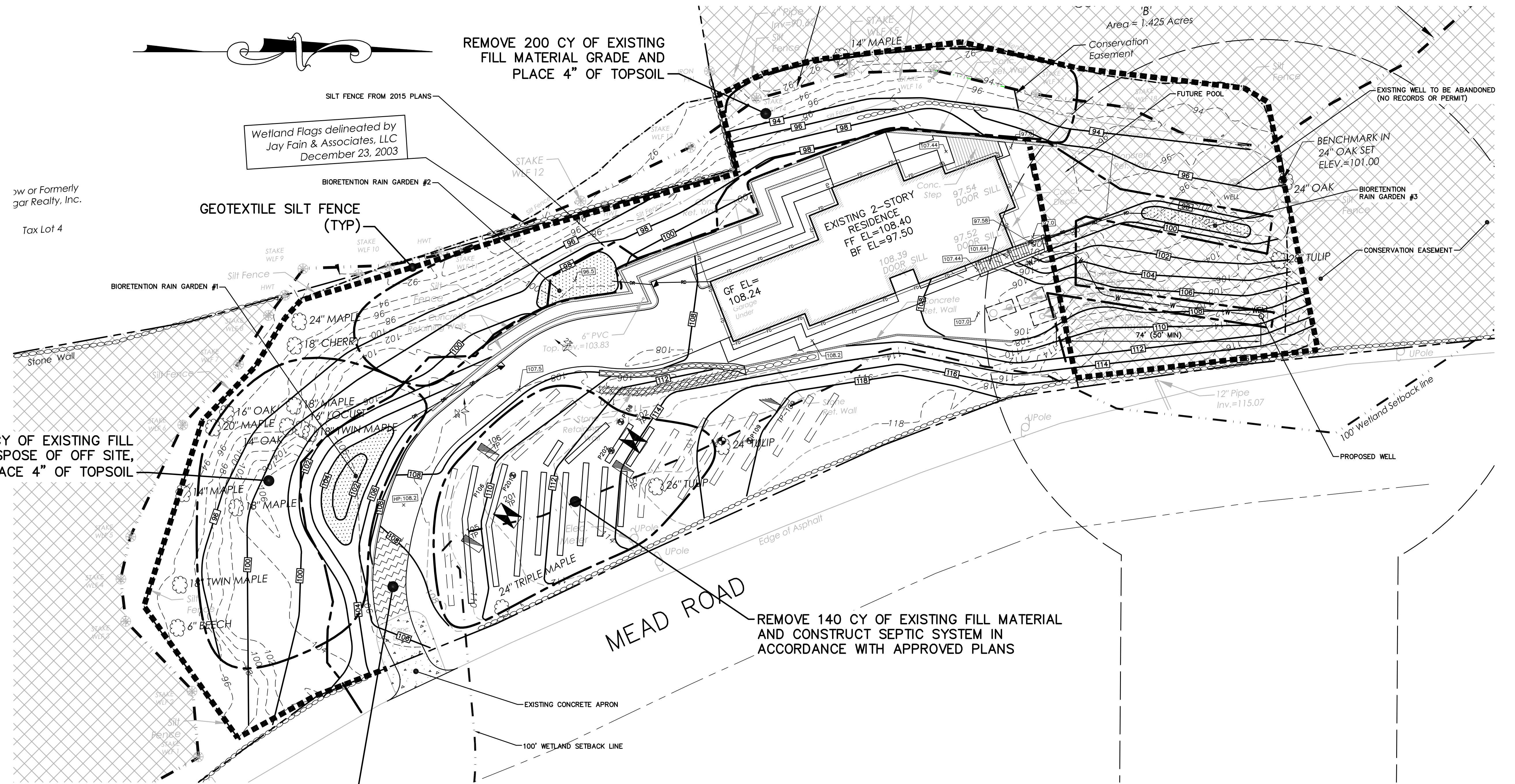


**ALTERMATT ENGINEERING LLC**  
9 ROOSTER TAIL HOLLOW  
NEW MILFORD, CT 06776  
(860)-488-1603 thomas.d.altermatt@snef.net  
CIVIL ENGINEERING, LAND PLANNING  
CONSTRUCTION MANAGEMENT

d



LOCATION PLAN



REMOVE 600 CY OF EXISTING FILL MATERIAL, DISPOSE OF OFF SITE, GRADE, AND PLACE 4" OF TOPSOIL

REMOVE 200 CY OF EXISTING FILL MATERIAL GRADE AND PLACE 4" OF TOPSOIL

REMOVE 140 CY OF EXISTING FILL MATERIAL AND CONSTRUCT SEPTIC SYSTEM IN ACCORDANCE WITH APPROVED PLANS

**NOTES:**

1. TREES ARE NOT PERMITTED WITHIN 10 FEET OF THE PRIMARY SEPTIC SYSTEM.
2. THERE ARE NO EXISTING OR PROPOSED SEPTIC SYSTEMS WITHIN 200' UP GRADIENT OF THE PROPOSED WELL.
3. THERE ARE NO EXISTING OR PROPOSED SEPTIC SYSTEM ABSORPTION FIELDS WITHIN 100' DOWN GRADIENT OF THE PROPOSED WELL.
4. SEE SECTIONS, DRAWINGS C-6, C-7, and C-8
5. FOR DETAILS SEE EROSION AND SEDIMENTATION CONTROL DETAILS, DRAWING C-6.

**CONSTRUCTION SEQUENCE:**

1. INSTALL AND REPAIR ALL SILT FENCE AROUND THE PERIMETER OF THE TEMPORARY DISTURBANCE.
2. EXCAVATE EXCESS STOCKPILE MATERIAL AND REMOVE MATERIAL FORM SITE.
3. GRADING DISTURBANCE AREA; MAX. GRADE OF 3H:1V
4. PLACE 4" OF TOPSOIL AND SEED.
5. HYDROSEED AREAS
6. MAINTAIN SILT FENCE FOR 4 MONTHS.

**LEGEND**

- Property Line
- Building Setback Line
- Existing Contours
- Proposed Contours
- Wetland Limit Line
- Wetland Buffer Line
- Watercourse
- Conservation Easement
- Catch Basin
- Manhole
- ⊕ Deep Test Hole
- ⊕ Percolation Test Hole
- Benchmark
- ⋯ Guide Posts
- Split Rail Fence

OWNER: GUADALUPE REAL ESTATE NY LLC  
 MARCELA YEPES  
 445 HAMILTON AVENUE  
 SUITE 605  
 WHITE PLAINS, NY 10601

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.



THOMAS D. ALTERMATT P.E. #067560

**EROSION AND SEDIMENTATION CONTROL PLAN**

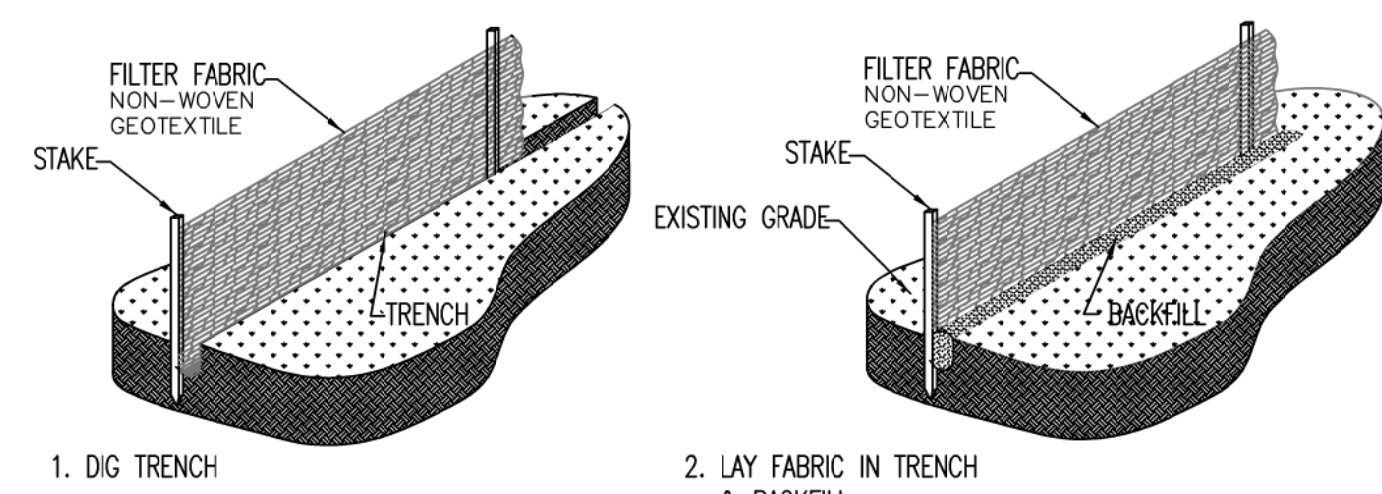
PREPARED FOR  
**MARCELA YEPES AND NICOLAS CUADROS RESIDENCE**  
 41 MEAD ROAD - TOWN OF NORTH CASTLE  
 SECTION 1 - BLOCK 10 - LOT 5  
 WESTCHESTER COUNTY, NEW YORK 10504  
 TAX ID. 109.011-12

SCALE: 1" = 20'      DATE: APRIL 25, 2024

**ALTERMATT ENGINEERING LLC**  
 9 ROOSTER TAIL HOLLOW  
 NEW MILFORD, CT 06776  
 (860)-488-1603 thomas.d.altermatt@snet.net  
 CIVIL ENGINEERING, LAND PLANNING  
 CONSTRUCTION MANAGEMENT

e

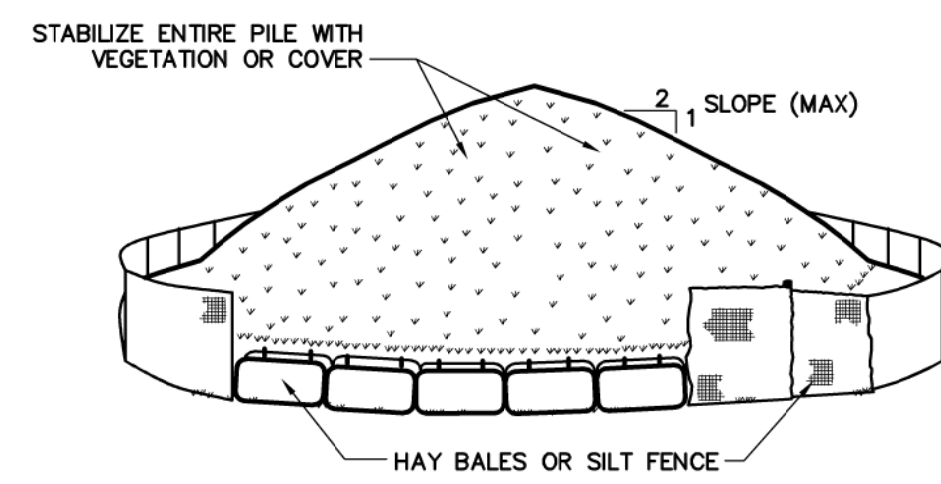




1. DIG TRENCH

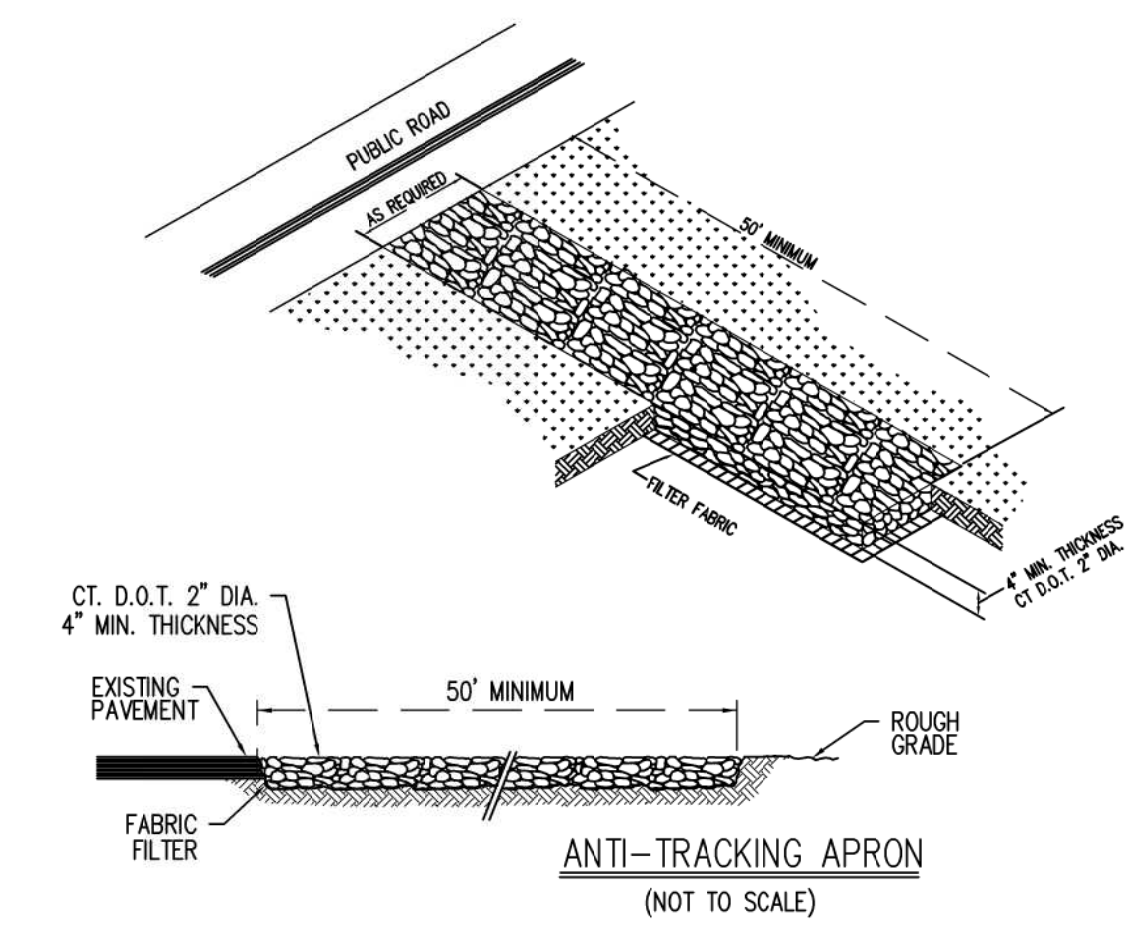
2. LAY FABRIC IN TRENCH & BACKFILL

**ENVIRO-SILT FENCE**  
N.T.S.



INSTALLATION NOTES:  
 1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.  
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2H:1V.  
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR HAY BALES, THEN STABILIZED WITH VEGETATION OR COVERED.

**TEMPORARY SOIL STOCKPILE**  
NOT TO SCALE



OWNER: GUADALUPE REAL ESTATE NY LLC  
 MARCELA YEPES  
 445 HAMILTON AVENUE  
 SUITE 605  
 WHITE PLAINS, NY 10601

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.



THOMAS D. ALTERMATT P.E. #067560

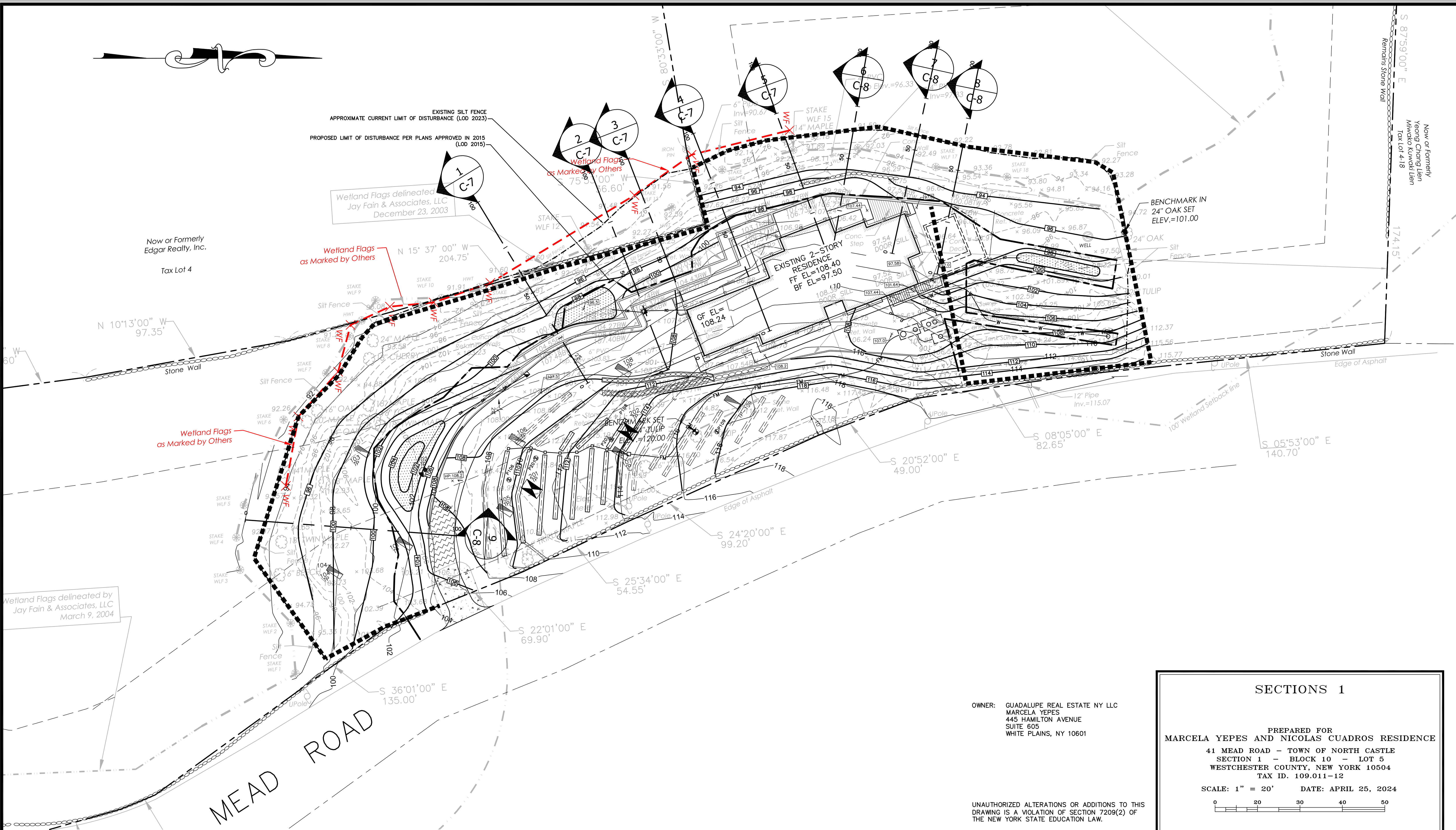
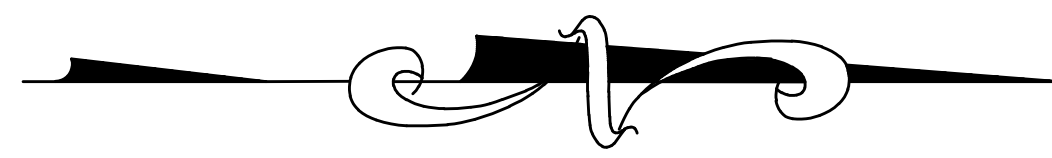
**EROSION AND SEDIMENTATION CONTROL DETAILS**

PREPARED FOR  
**MARCELA YEPES AND NICOLAS CUADROS RESIDENCE**  
 41 MEAD ROAD - TOWN OF NORTH CASTLE  
 SECTION 1 - BLOCK 10 - LOT 5  
 WESTCHESTER COUNTY, NEW YORK 10504  
 TAX ID. 109.011-12

SCALE: AS NOTED      DATE: APRIL 25 2024

**ALTERMATT ENGINEERING LLC**  
 9 ROOSTER TAIL HOLLOW  
 NEW MILFORD, CT 06776  
 (860)-488-1603 thomas.d.altermatt@snef.net  
 CIVIL ENGINEERING, LAND PLANNING  
 CONSTRUCTION MANAGEMENT

f



Now or Formerly  
Edgar Realty, Inc.  
Tax Lot 4

Wetland Flags delineated by  
Jay Fain & Associates, LLC  
March 9, 2004

OWNER: GUADALUPE REAL ESTATE NY LLC  
MARCELA YEPES  
445 HAMILTON AVENUE  
SUITE 605  
WHITE PLAINS, NY 10601

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS  
DRAWING IS A VIOLATION OF SECTION 7209(2) OF  
THE NEW YORK STATE EDUCATION LAW.

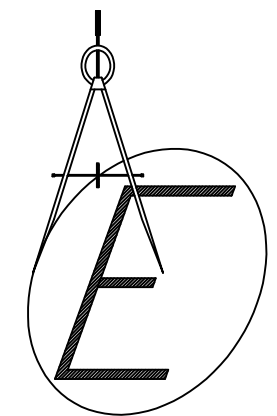
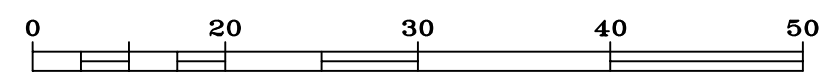


THOMAS D. ALTERMATT P.E. #067560

**SECTIONS 1**

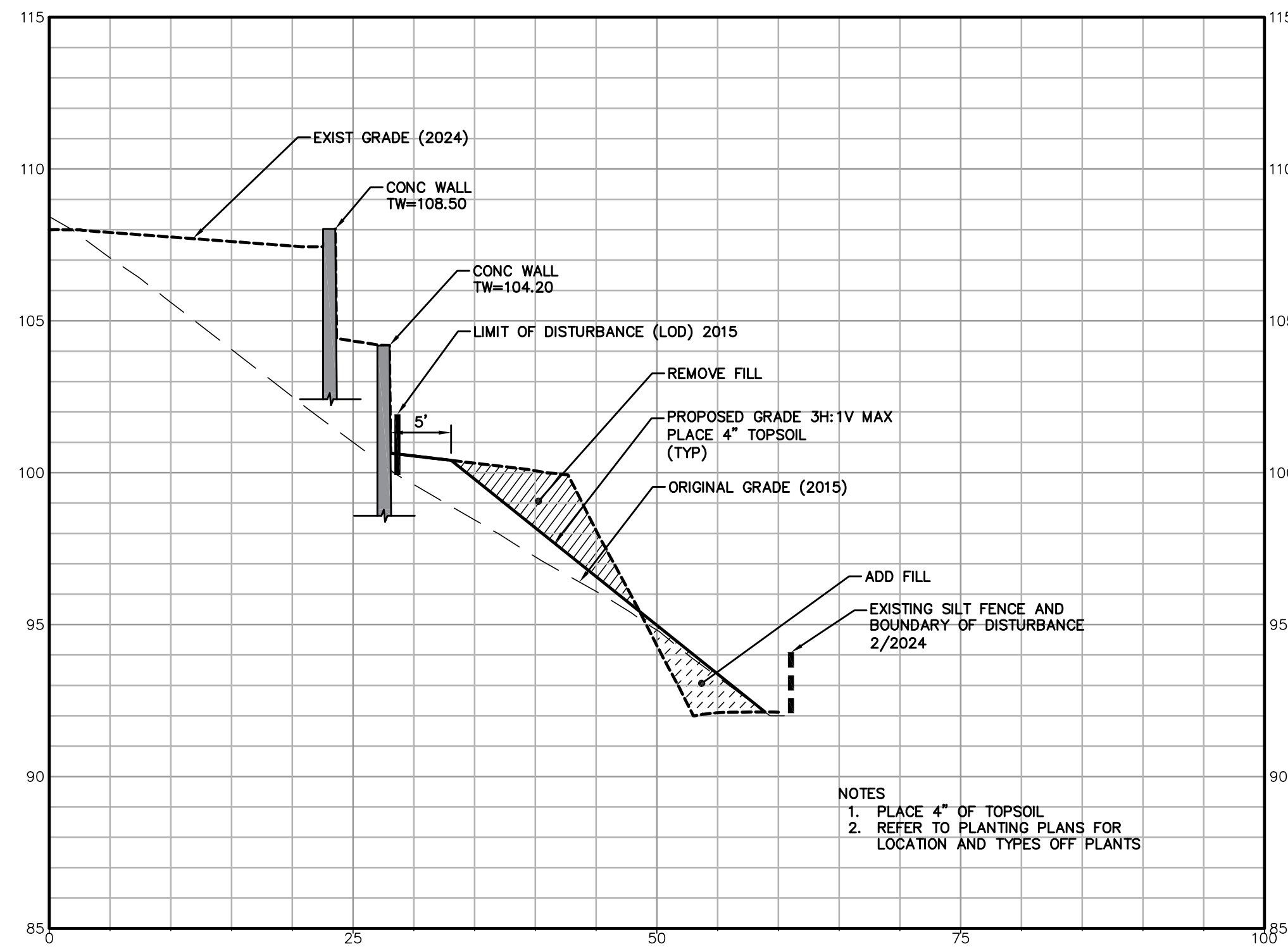
PREPARED FOR  
**MARCELA YEPES AND NICOLAS CUADROS RESIDENCE**  
41 MEAD ROAD - TOWN OF NORTH CASTLE  
SECTION 1 - BLOCK 10 - LOT 5  
WESTCHESTER COUNTY, NEW YORK 10504  
TAX ID. 109.011-12

SCALE: 1" = 20'      DATE: APRIL 25, 2024



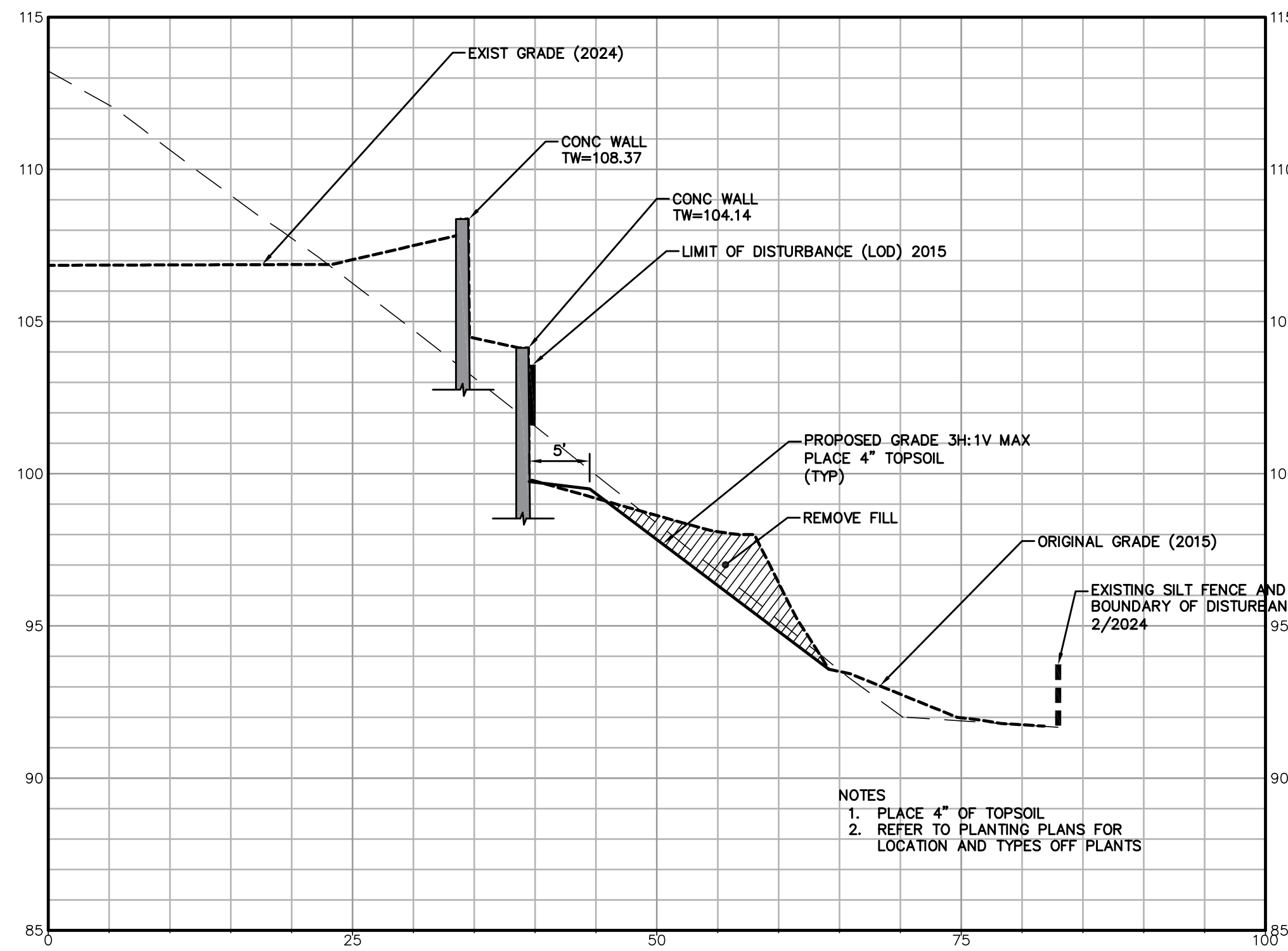
**ALTERMATT  
ENGINEERING LLC**  
9 ROOSTER TAIL HOLLOW  
NEW MILFORD, CT 06776  
(860)-488-1603  
CIVIL ENGINEERING, LAND PLANNING  
CONSTRUCTION MANAGEMENT

၁၁၁



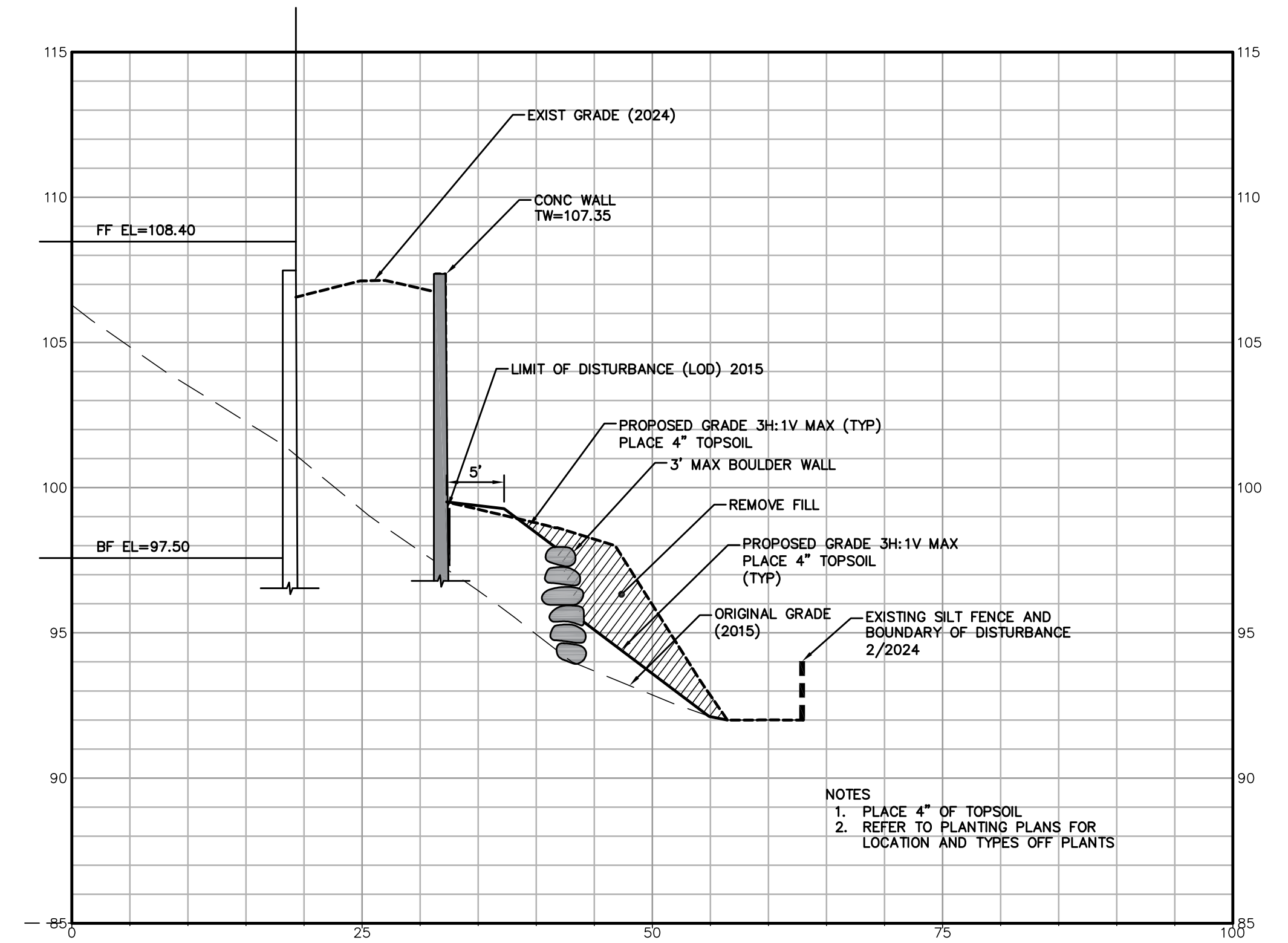
SECTION 1

**1** HORZ SCALE: 1" = 10'  
VERT SCALE: 1" = 4'



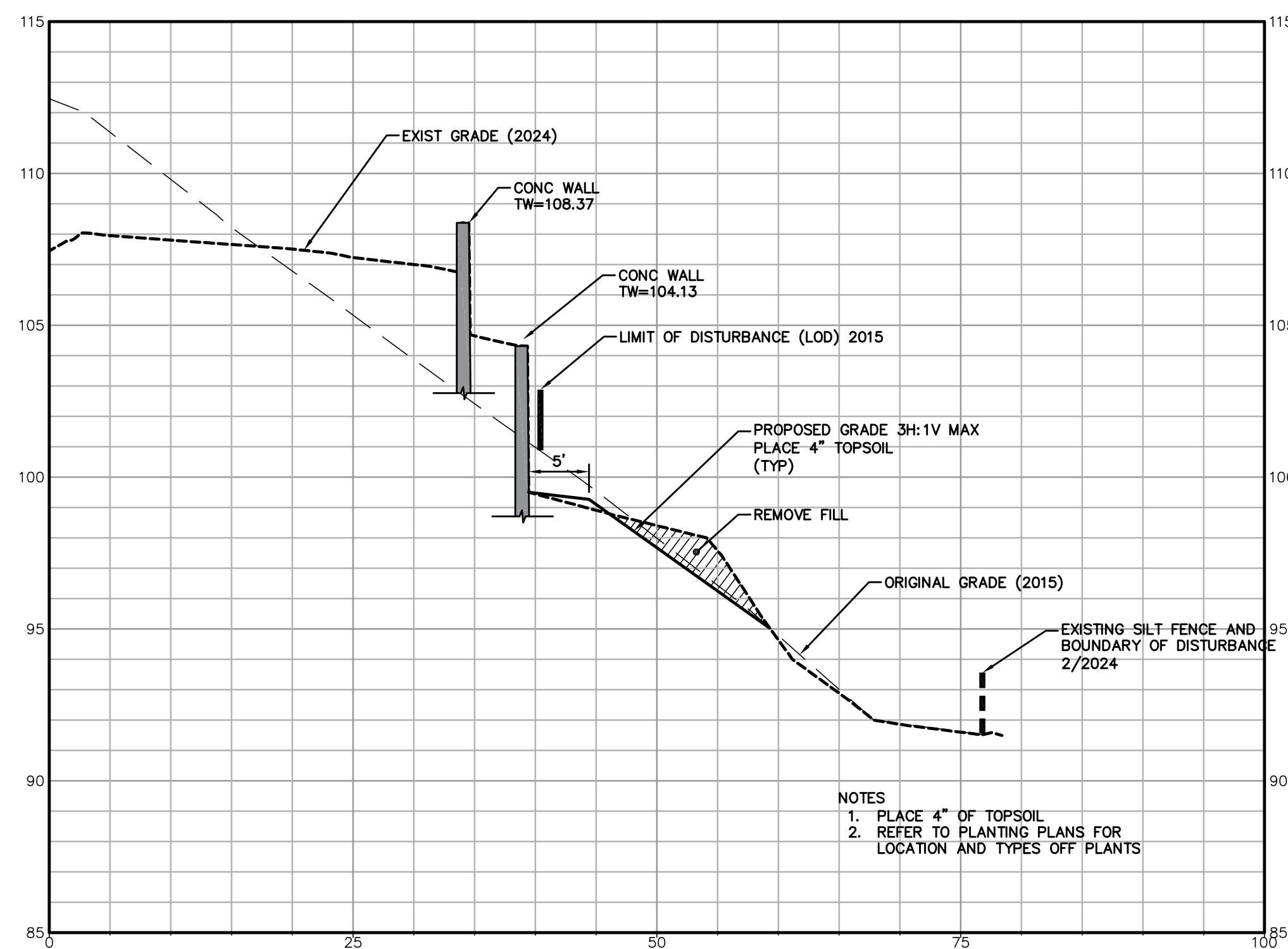
SECTION 3

**3** HORZ SCALE: 1" = 10'  
VERT SCALE: 1" = 4'



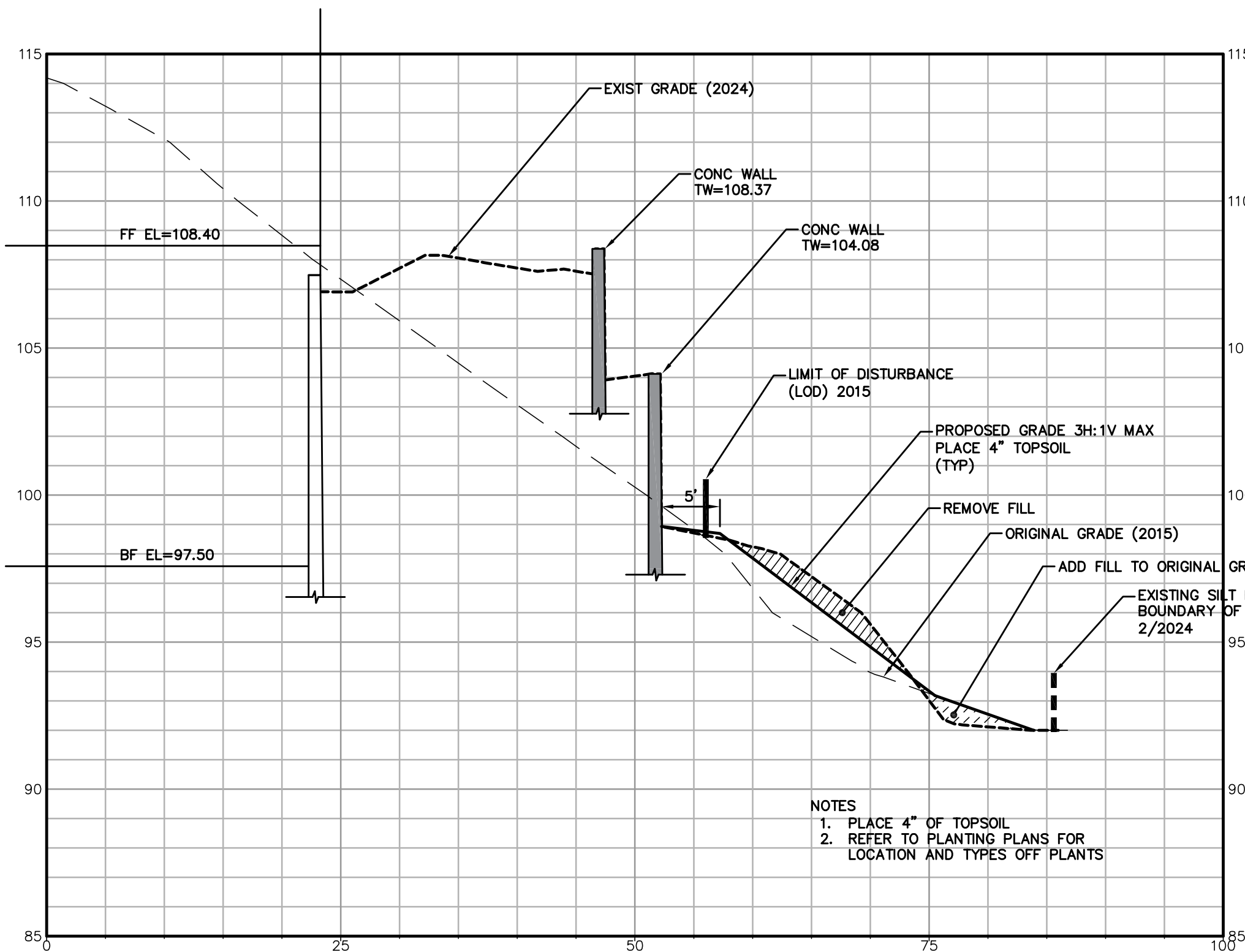
SECTION 5

**5** HORZ SCALE: 1" = 10'  
VERT SCALE: 1" = 4'



SECTION 2

**2** HORZ SCALE: 1" = 10'  
VERT SCALE: 1" = 4'



SECTION 4

**4** HORZ SCALE: 1" = 10'  
VERT SCALE: 1" = 4'

OWNER: GUADALUPE REAL ESTATE NY LLC  
MARCELA YEPES  
445 HAMILTON AVENUE  
SUITE 605  
WHITE PLAINS, NY 10601

PREVIOUSLY APPROVED:  
NOC2005-33 NOVEMBER 18, 2005  
NOC2007-004 FEBRUARY 7, 2007  
NOC2012-07  
NOC2014-04  
NOC2015-10

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.



THOMAS D. ALTERMATT P.E. #067560

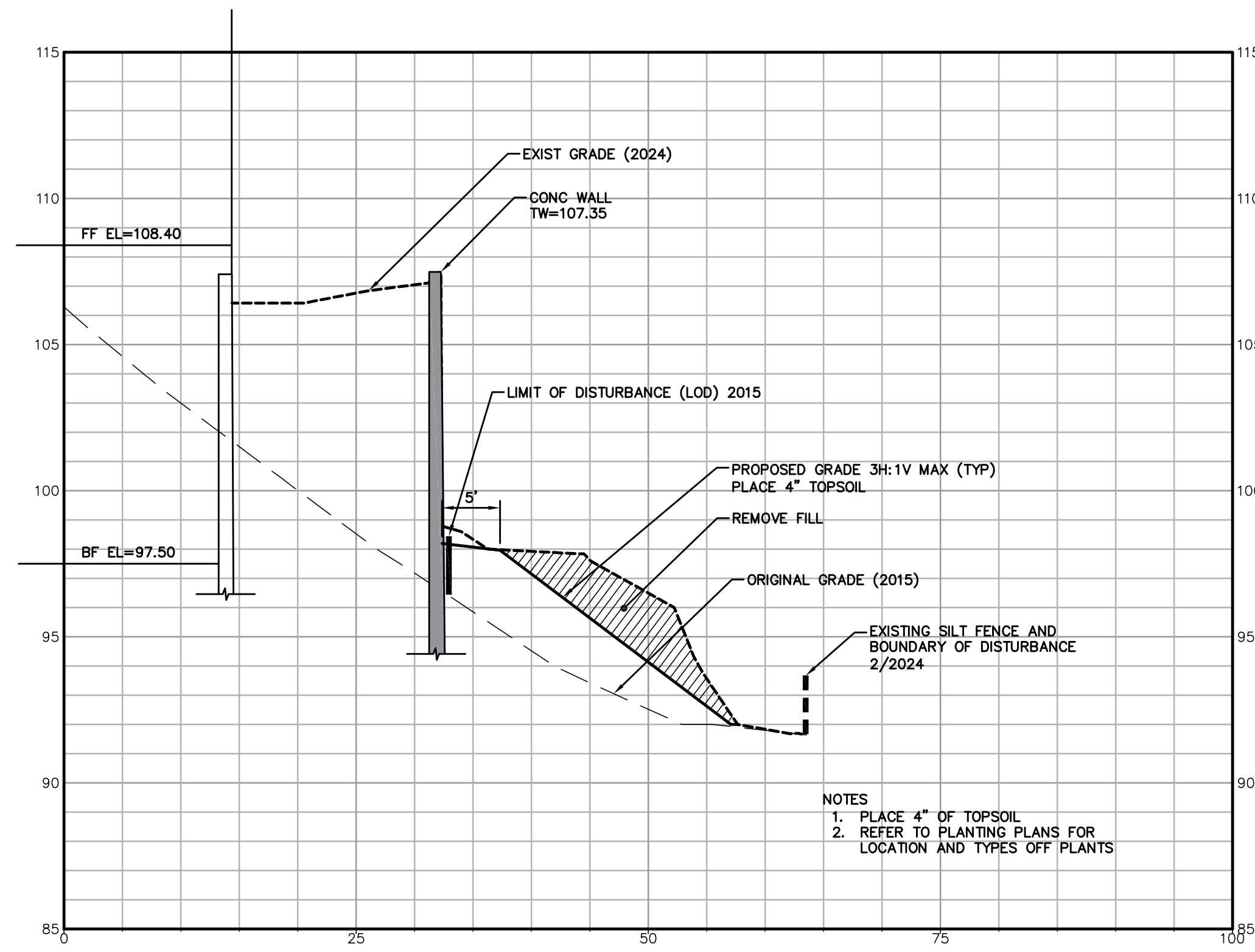
**SECTIONS 2**

PREPARED FOR  
**MARCELA YEPES AND NICOLAS CUADROS RESIDENCE**  
41 MEAD ROAD - TOWN OF NORTH CASTLE  
SECTION 1 - BLOCK 10 - LOT 5  
WESTCHESTER COUNTY, NEW YORK 10504  
TAX ID. 109.011-12

SCALE: AS NOTED      DATE: APRIL 25, 2024

**ALTERMATT ENGINEERING LLC**  
9 ROOSTER TAIL HOLLOW  
NEW MILFORD, CT 06776  
(860)-488-1603  
CIVIL ENGINEERING, LAND PLANNING  
CONSTRUCTION MANAGEMENT

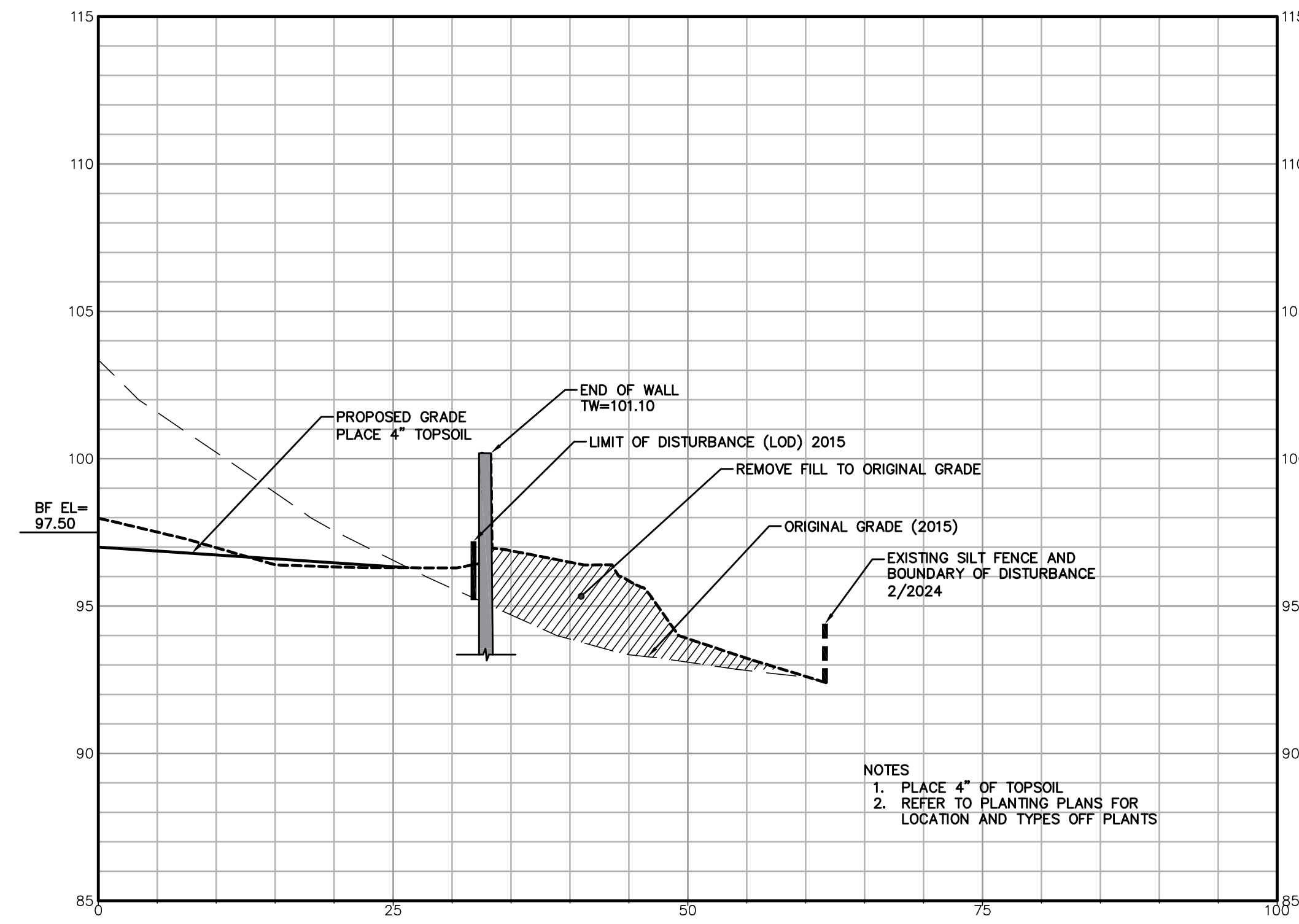
h



SECTION 6

6

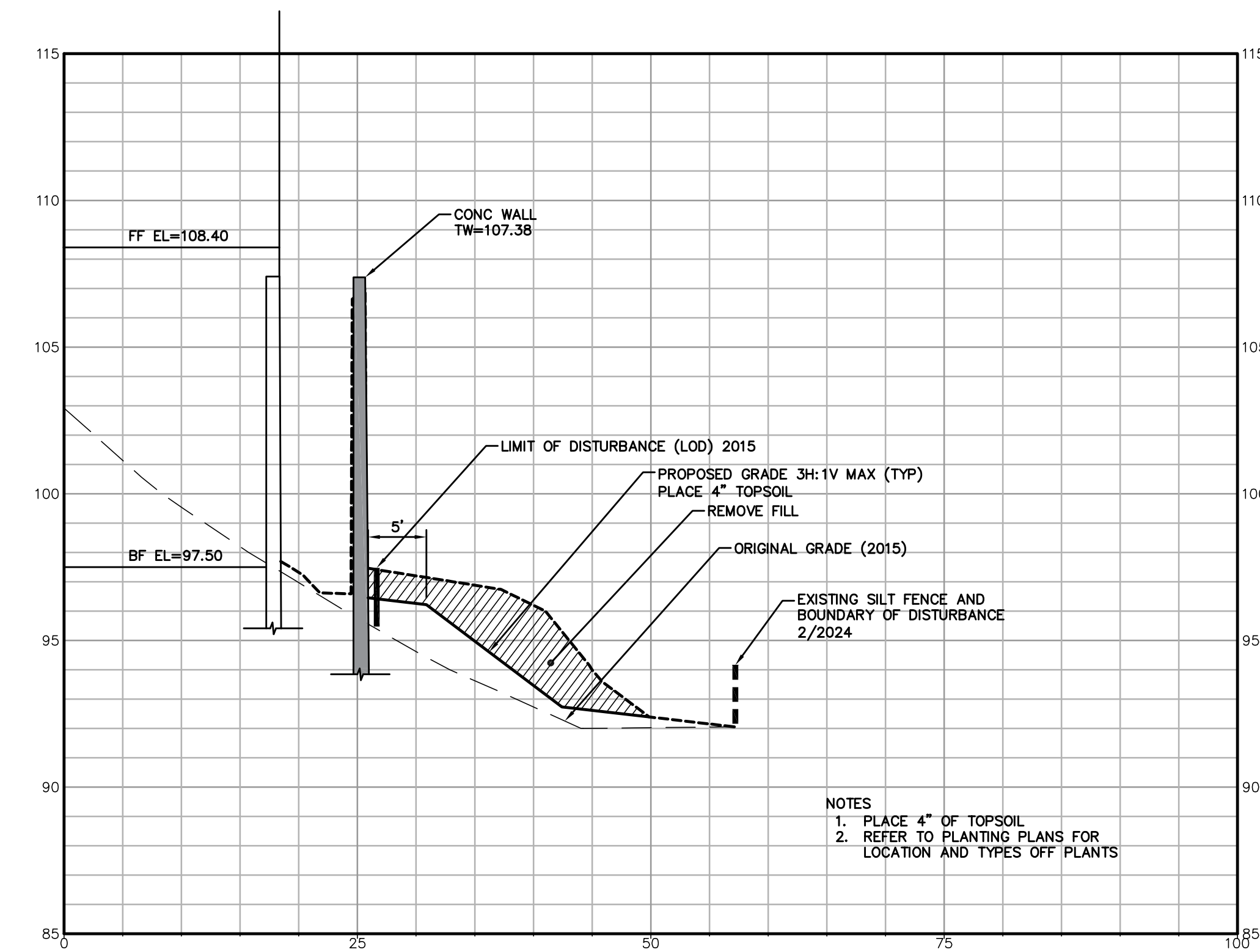
HORZ SCALE: 1" = 10'  
VERT SCALE: 1" = 4'



SECTION 8

8

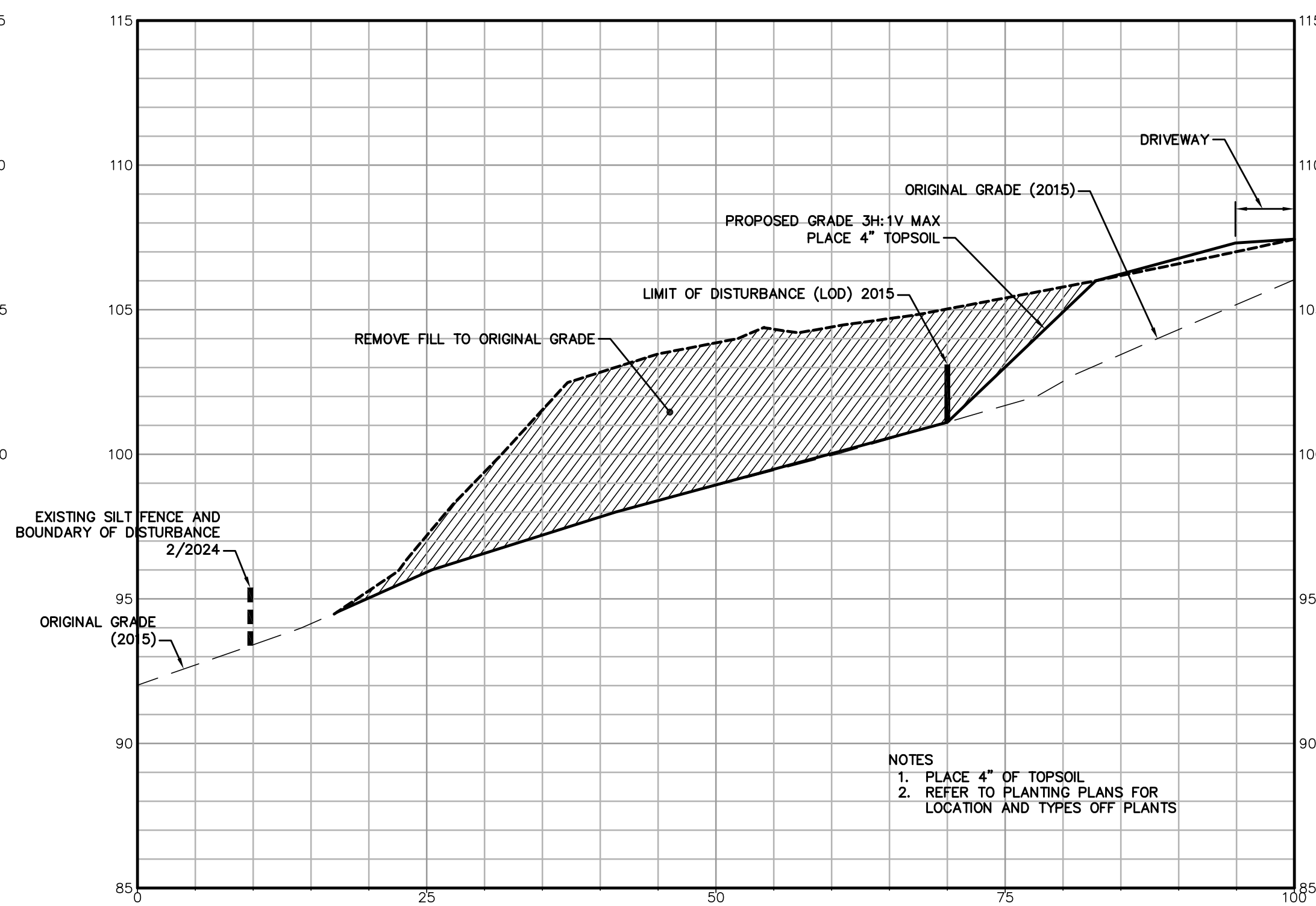
HORZ SCALE: 1" = 10'  
VERT SCALE: 1" = 4'



SECTION 7

7

HORZ SCALE: 1" = 10'  
VERT SCALE: 1" = 4'



SECTION 10

9

HORZ SCALE: 1" = 10'  
VERT SCALE: 1" = 4'

OWNER: GUADALUPE REAL ESTATE NY LLC  
MARCELA YEPES  
445 HAMILTON AVENUE  
SUITE 605  
WHITE PLAINS, NY 10601

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS  
DRAWING IS A VIOLATION OF SECTION 7209(2) OF  
THE NEW YORK STATE EDUCATION LAW.

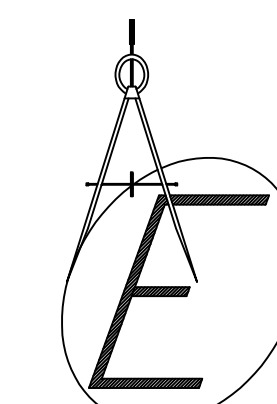
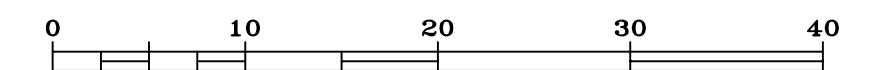


THOMAS D. ALTERMATT P.E. #067560

SECTIONS 3

PREPARED FOR  
MARCELA YEPES AND NICOLAS CUADROS RESIDENCE  
41 MEAD ROAD - TOWN OF NORTH CASTLE  
SECTION 1 - BLOCK 10 - LOT 5  
WESTCHESTER COUNTY, NEW YORK 10504  
TAX ID. 109.011-12

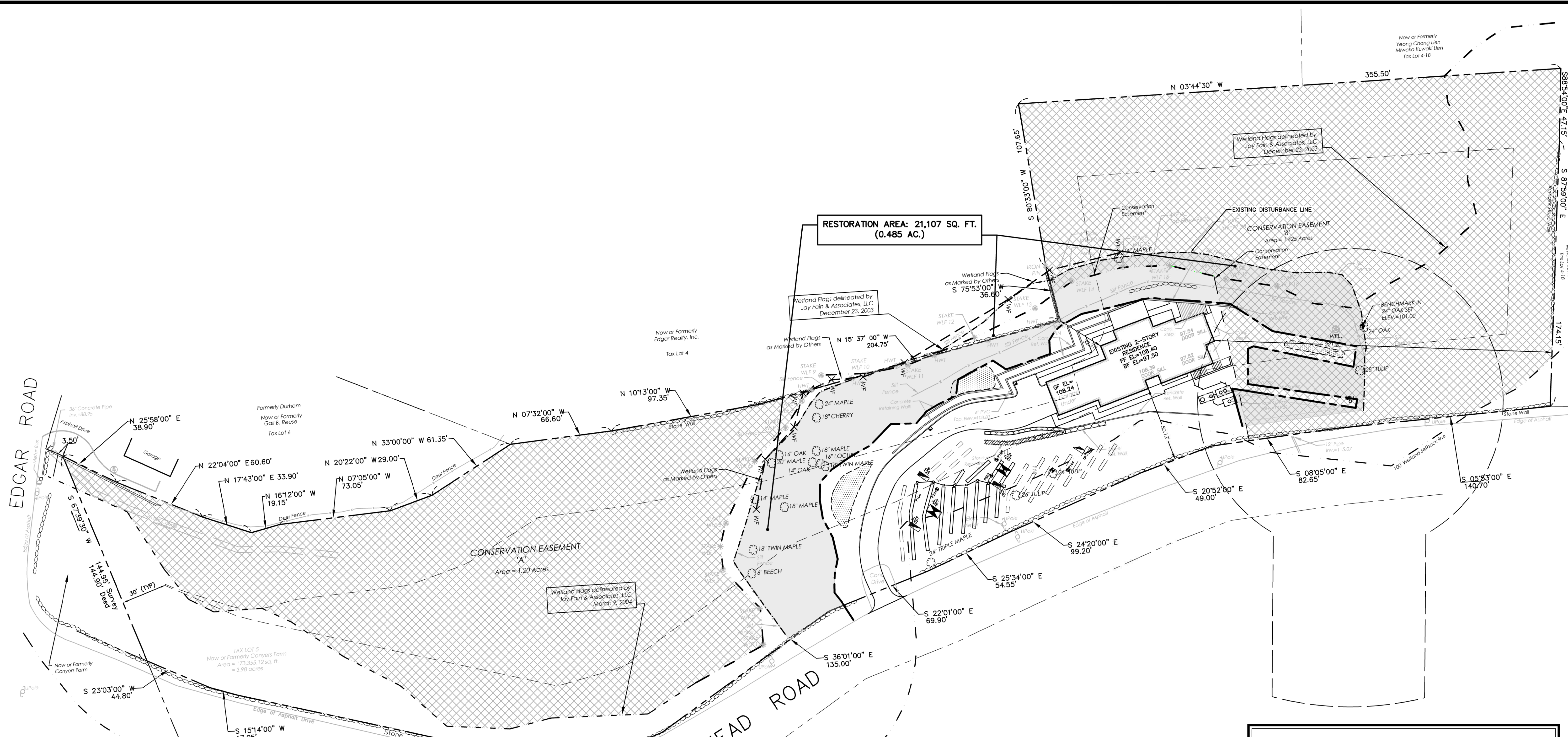
SCALE: AS NOTED DATE: APRIL 25, 2024



ALTERMATT  
ENGINEERING LLC  
9 ROOSTER TAIL HOLLOW  
NEW MILFORD, CT 06776  
(860)-488-1603  
CIVIL ENGINEERING, LAND PLANNING  
CONSTRUCTION MANAGEMENT

**i**





**RESTORATION AREA: 21,107 SQ. FT. (0.485 AC.)**

**CONSERVATION EASEMENT 'A'**  
Area = 1.20 Acres

- LEGEND**
- Property Line
  - Building Setback Line
  - Existing Contours
  - Proposed Contours
  - Wetland Limit Line
  - Wetland Buffer Line
  - Watercourse
  - Conservation Easement
  - Catch Basin
  - Manhole
  - ⊠ Deep Test Hole
  - ⊠ Percolation Test Hole
  - Benchmark
  - ⋯ Guide Posts
  - Split Rail Fence
  - Tree Line
  - Limit of Disturbance Approved in 2015
  - Boundary of Existing Disturbance 1/2024

OWNER: GUADALUPE REAL ESTATE NY LLC  
MARCELA YEPES  
445 HAMILTON AVENUE  
SUITE 605  
WHITE PLAINS, NY 10601

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

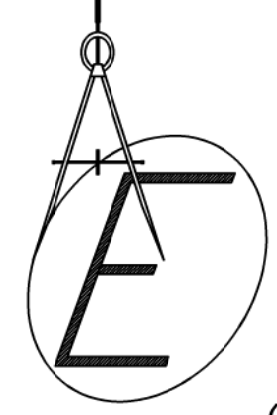
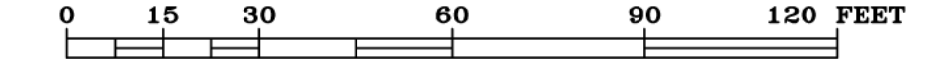


THOMAS D. ALTERMATT P.E. #067560

**RESTORATION AREA PLAN**

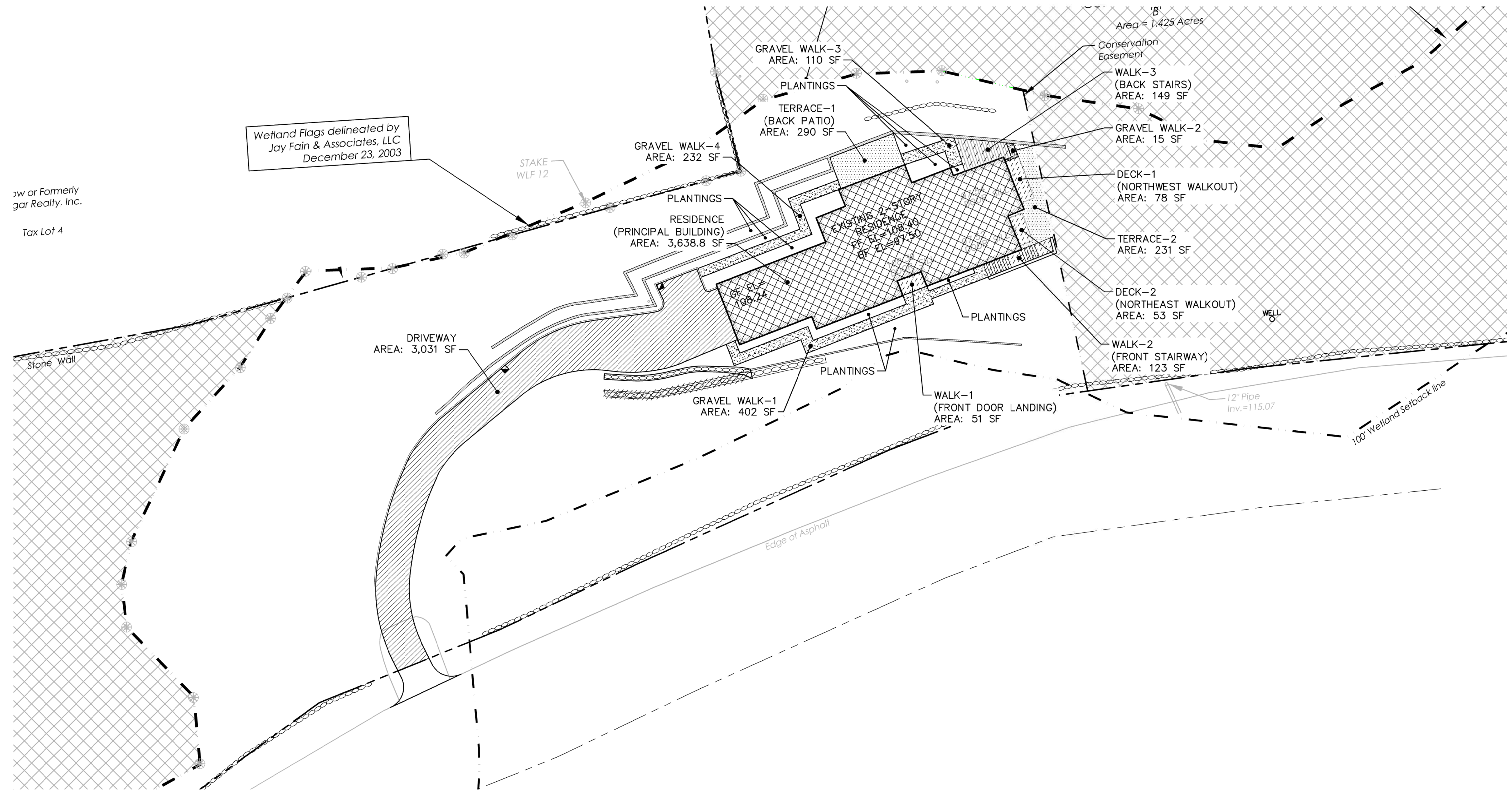
PREPARED FOR  
**MARCELA YEPES AND NICOLAS CUADROS RESIDENCE**  
41 MEAD ROAD - TOWN OF NORTH CASTLE  
SECTION 1 - BLOCK 10 - LOT 5  
WESTCHESTER COUNTY, NEW YORK 10504  
TAX ID. 109.01-1-12

SCALE: 1" = 30'      DATE: APRIL 25, 2024



**ALTERMATT ENGINEERING LLC**  
9 ROOSTER TAIL HOLLOW  
NEW MILFORD, CT 06776  
(860)-488-1603 thomas.d.altermatt@snef.net  
CIVIL ENGINEERING, LAND PLANNING  
CONSTRUCTION MANAGEMENT

j



Wetland Flags delineated by Jay Fain & Associates, LLC December 23, 2003

or Formerly gar Realty, Inc.  
Tax Lot 4

**GROSS LAND COVERAGE CALCULATIONS:**

(AREAS COMPUTED BY CLOSED POLYLINES IN CAD)

PRINCIPAL BUILDING: RESIDENCE AREA: 3,638.8 SF

DECKS:  
DECK-1: 78 SF  
DECK-2: 53 SF  
TOTAL DECKS: 131 SF

TERRACES:  
TERRACE-1: 290 SF  
TERRACE-2: 231 SF  
TOTAL TERRACES: 521 SF

DRIVEWAYS, PARKING, AND WALKWAYS:  
DRIVEWAY: 3,031 SF  
GRAVEL WALK 1: 402 SF  
GRAVEL WALK 2: 15 SF  
GRAVEL WALK 3: 110 SF  
GRAVEL WALK 4: 232 SF  
WALK-1: 51 SF  
WALK-2: 123 SF  
WALK-3: 149 SF  
TOTAL DRIVEWAYS, PARKING AND WALKWAYS: 4,113 SF

TOTAL PROPOSED GROSS LAND COVERAGE: 8,403.8 SF

**LEGEND**

- Property Line
- Building Setback Line
- Existing Contours
- Proposed Contours
- Wetland Limit Line
- Wetland Buffer Line
- Watercourse
- Conservation Easement
- █ Catch Basin
- █ Manhole
- █ Deep Test Hole
- █ Percolation Test Hole
- █ Benchmark
- ... Guide Posts
- Split Rail Fence
- Tree Line
- Limit of Disturbance Approved in 2015
- Boundary of Existing Disturbance 1/2024

OWNER: GUADALUPE REAL ESTATE NY LLC  
MARCELA YEPES  
445 HAMILTON AVENUE  
SUITE 605  
WHITE PLAINS, NY 10601

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

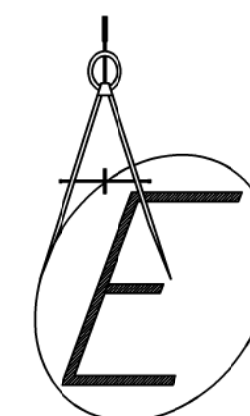
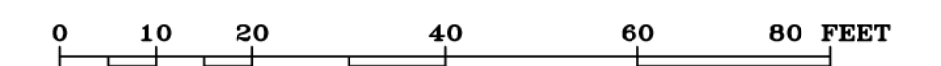


THOMAS D. ALTERMATT P.E. #067560

**GROSS LAND COVERAGE WORKSHEET**

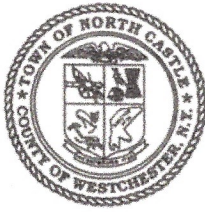
PREPARED FOR  
MARCELA YEPES AND NICOLAS CUADROS RESIDENCE  
41 MEAD ROAD - TOWN OF NORTH CASTLE  
SECTION 1 - BLOCK 10 - LOT 5  
WESTCHESTER COUNTY, NEW YORK 10504  
TAX ID. 109.01-1-12

SCALE: 1" = 20' DATE: APRIL 25, 2024



**ALTERMATT ENGINEERING LLC**  
9 ROOSTER TAIL HOLLOW  
NEW MILFORD, CT 06776  
(860)-488-1603 thomas.d.altermatt@snef.net  
CIVIL ENGINEERING, LAND PLANNING  
CONSTRUCTION MANAGEMENT

k



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: Marcela Yepes + Nicolas Cuadras Date: 4/22/24

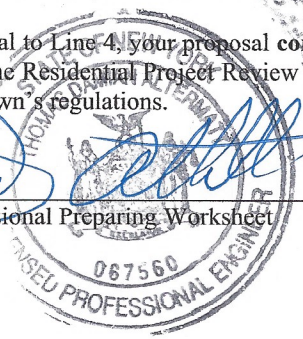
Tax Map Designation or Proposed Lot No.: Sec. 109.01, BK 01, Lot 12  
41 Mead Rd., North Castle

Gross Lot Coverage

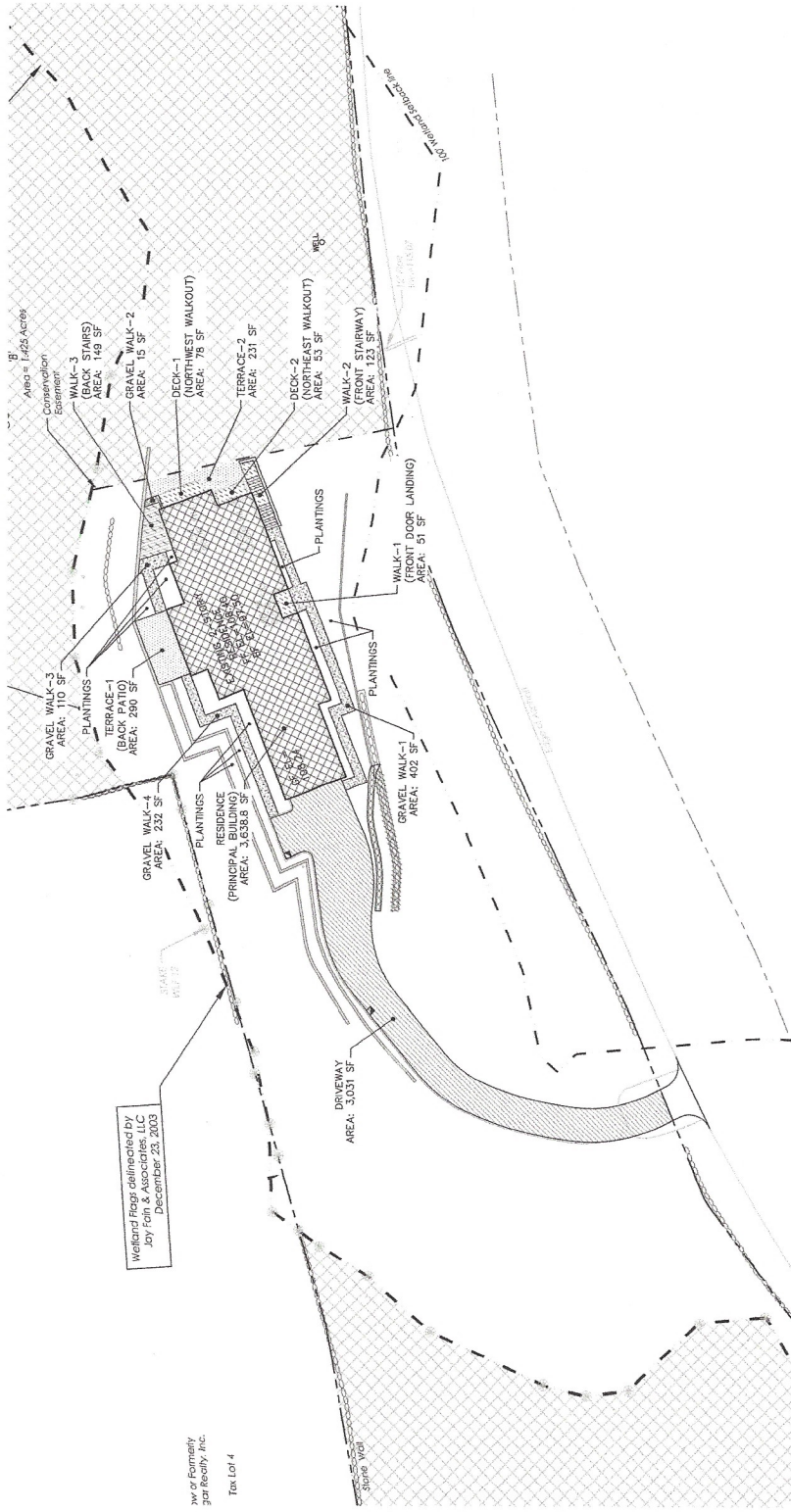
- |     |   |                            |
|-----|---|----------------------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>3.98 Ac, 173,355 SF</u> |
| 2.  | Maximum permitted gross land coverage (per Section 355-26.C(1)(a)):   | <u>19,739 SF</u>           |
| 3.  | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):  |                            |
|     | Distance principal home is beyond minimum front yard setback<br>_____ x 10 =                                      | <u>0</u>                   |
| 4.  | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3  | <u>19,739 SF</u>           |
| 5.  | Amount of lot area covered by principal building:<br>_____ existing + <u>3,638.8</u> proposed =                   | <u>3,638.8 SF</u>          |
| 6.  | Amount of lot area covered by accessory buildings:<br><u>0</u> existing + <u>0</u> proposed =                     | <u>0</u>                   |
| 7.  | Amount of lot area covered by decks:<br><u>0</u> existing + <u>131</u> proposed =                                 | <u>131 SF</u>              |
| 8.  | Amount of lot area covered by porches:<br><u>0</u> existing + <u>0</u> proposed =                                 | <u>0</u>                   |
| 9.  | Amount of lot area covered by driveway, parking areas and walkways:<br><u>0</u> existing + <u>4113</u> proposed = | <u>4,113.0</u>             |
| 10. | Amount of lot area covered by terraces:<br>_____ existing + <u>521</u> proposed =                                 | <u>521 SF</u>              |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:<br><u>0</u> existing + <u>0</u> proposed = | <u>0</u>                   |
| 12. | Amount of lot area covered by all other structures:<br><u>0</u> existing + <u>0</u> proposed =                    | <u>0</u>                   |
| 13. | Proposed gross land coverage: Total of Lines 5 - 12 =   | <u>8,403.8</u>             |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Thomas [Signature]  
 Signature and Seal of Professional Preparing Worksheet



4/22/24  
 Date



Welland Pkg. Callings by Joy Papp & Associates LLC December 23, 2003

W&A Externally 304 Realty, Inc. Tax Lot 4

**GROSS LAND COVERAGE CALCULATIONS:**  
(AREAS COMPUTED BY CLOSED POLYLINES IN CAD)

PRINCIPAL BUILDING:	RESIDENCE AREA:	3,638.8 SF
DECK-1:	78 SF	
DECK-2:	53 SF	
TOTAL DECKS:	131 SF	
TERRACES:		
TERRACE-1:	290 SF	
TERRACE-2:	123 SF	
TOTAL TERRACES:	521 SF	
DRIVEWAYS, PARKING, AND WALKWAYS:		
DRIVEWAY WALK 1:	3,031 SF	
GRAVEL WALK 2:	15 SF	
GRAVEL WALK 3:	110 SF	
GRAVEL WALK 4:	149 SF	
WALK-1:	402 SF	
WALK-2:	123 SF	
WALK-3:	149 SF	
TOTAL DRIVEWAYS, PARKING AND WALKWAYS:	4,113 SF	
<b>TOTAL PROPOSED GROSS LAND COVERAGE:</b>	<b>8,403.8 SF</b>	

**GROSS LAND COVERAGE WORKSHEET**

PREPARED FOR  
MARCELA YEDDS AND NICOLAS CUADROS RESIDENCE  
414 WEST 107TH STREET  
SECTION 1 - BLOCK 10  
WESTCHESTER COUNTY, NEW YORK 10804  
TAX ID. 109.01-1-12

SCALE: 1" = 20'  
DATE: APRIL 25, 2024

OWNER:  
GUADALUPE REAL ESTATE NY LLC  
445 HAMILTON AVENUE  
WHITE PLAINS, NY 10601

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN VIOLATE SECTION 2205(2)(C) OF THE NEW YORK STATE EDUCATION LAW.

THOMAS D. ALTERMATT P.E. #03550

**ALTERMATT ENGINEERING LLC**  
6 BOSSERMAN AVENUE  
NEW MILFORD, CT 06776  
(860)-488-1803 [thomas.d.altermatt@aei.net](mailto:thomas.d.altermatt@aei.net)  
CIVIL ENGINEERING, LAND PLANNING  
CONSULTATION MANAGEMENT

C-9



*\* Full Size Plan Included with Site Plans*

3

a



**GENERAL NOTES:**

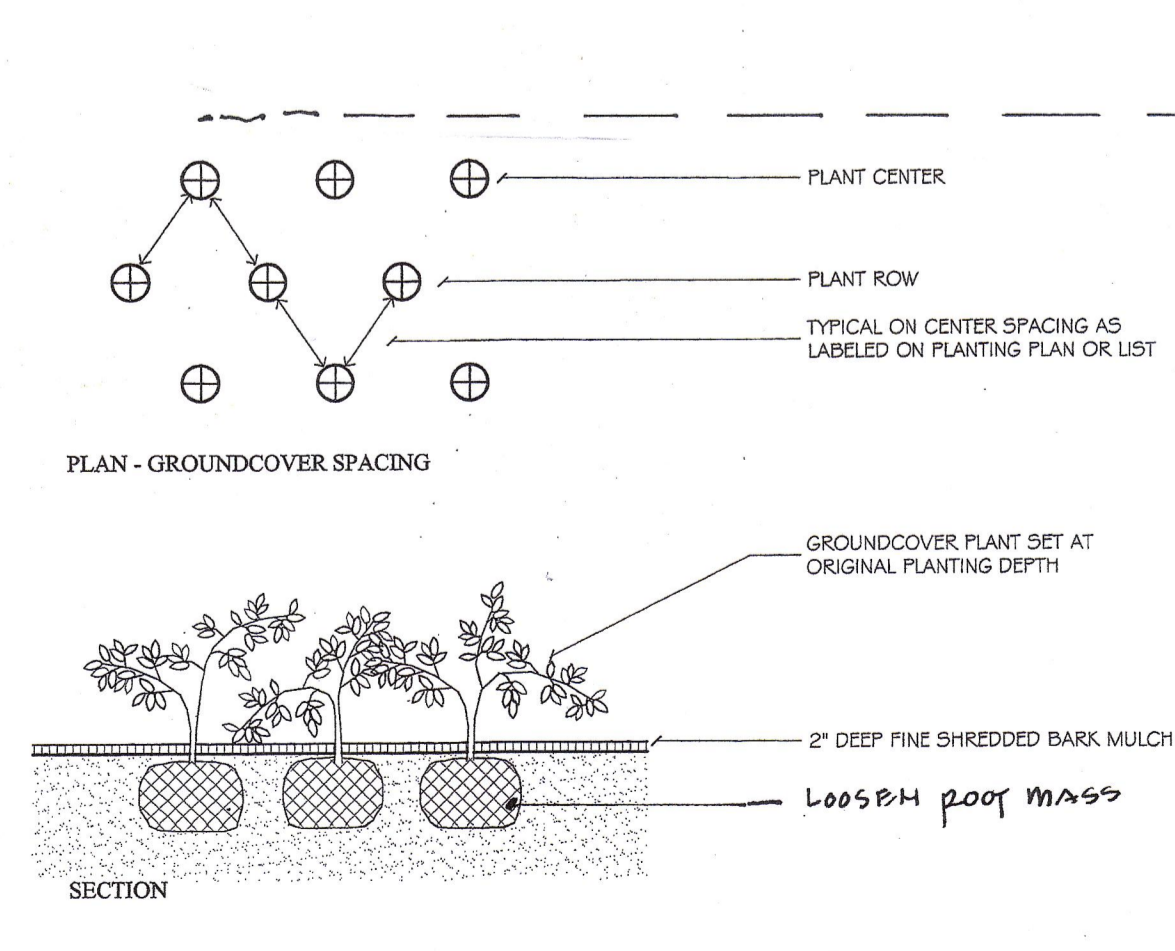
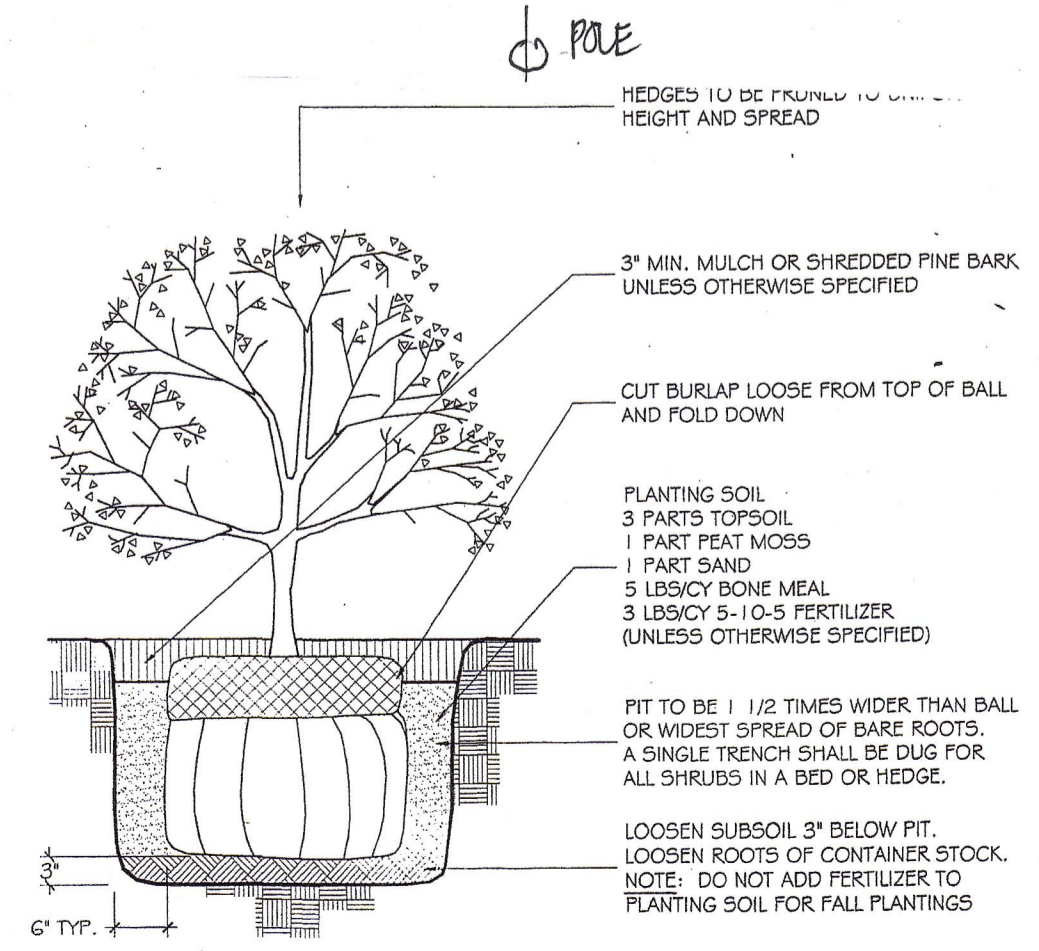
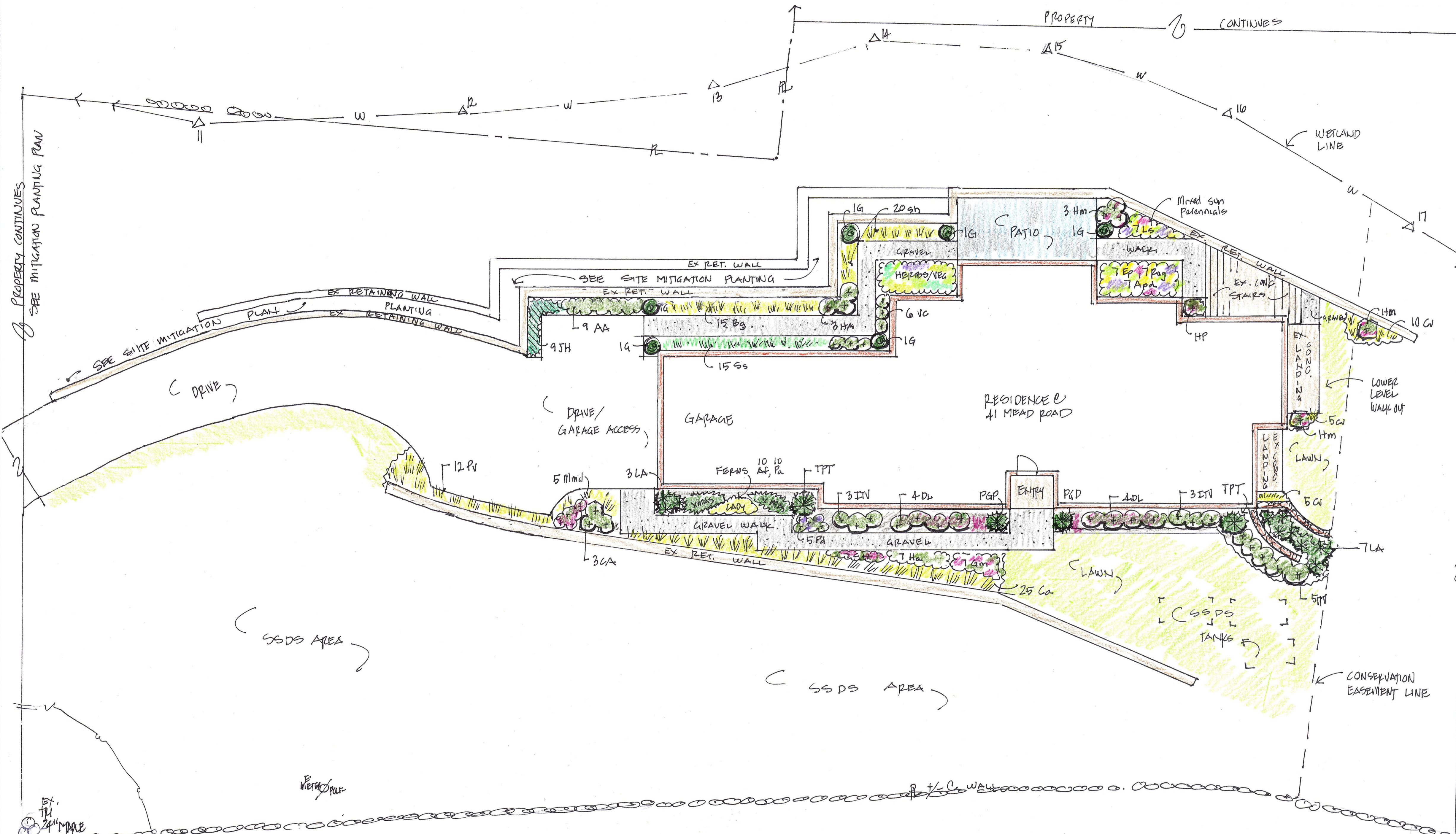
- EXISTING CONDITIONS AND PROPOSED SEPTIC LOCATION AND GRADES TAKEN FROM PLAN BY TC MERRITT'S LAND SURVEYORS TITLED "AS BUILT TOPOGRAPHY PREPARED FOR TAX LOT 5, SITUATE IN THE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK, DATED LAST REV. FEB 24, 2024"
- SEE ABOVE REFERENCED PLAN FOR THE REMAINING PROPERTY AREA
- THIS PLAN IS FOR PLANTING PURPOSES ONLY.

**PLANT LIST**  
95% NATIVE AND DEER RESISTANT SPECIES

Quan.	Sym.	Botanical/ Common Name	Size/ Root	Remark
<b>TREES</b>				
2	PGP	Picea glauca 'Pendula' / Weeping upright White Spruce	#6 cont.	Door accents, matched
2	TPT	Thuja plicata 'Tiny Towers' / Compact Green Giant Arborvitae	#10 cont.	evergreen
<b>SHRUBS</b>				
9	AA	Artostaphylos uva-ursi / Bearberry	#2 cont.	spreading
3	CA	Clethra a. 'Ruby' / Pink Sweet Pepperbush	#3 cont.	nectar
8	DL	Diervilla l. 'Kodiak Orange' / Dwarf Bush Honeysuckle	#3 cont.	Nectar, fall color
3	HA	Hydrangea arborescens 'Incrediball' / Smooth Hydrangea	#3 cont.	White, native
1	HP	Hypericum i. 'Pumpkin' / St. Johnswort	#3 cont.	Summer color
4	IG	Ilex glabra 'compacta' / Compact Inkberry	#5 cont.	evergreen
13	ITV	Itea virginica / Sweetspire	#3 cont.	Nectar
9	JH	Juniperus horizontalis 'Bar Harbor' / Spreading Juniper	#2 cont.	Evergreen, low
10	LF	Leucothoe fontanesiana / Drooping Leucothoe	#3 cont.	evergreen
8	LB	Lindera benzoin / Spicebush	#6 cont.	Fruits, insect
3	MP	Morella pennsylvanica / Northern Bayberry	#3 cont.	fruits
6	VC	Vaccinium c. s. a. / Top Hat Blueberry	#2 cont.	fruits
<b>GRASSES/FERNS</b>				
10	Af	Athyrium filix-femina / Lady Fern	#1 cont.	
15	Bg	Bouteloua gracilis 'Blonde Ambition' / Mosquito Grass	#2 cont.	2 ft airy
25	Ca	Calamagrostis a. 'Karl Foerster' / Feather Reed Grass	#2 cont.	Narrow upright
20	Cv	Carex vulpinoidea / Fox Sedge	#1 cont.	Fine texture
12	Pv	Panicum v. 'Shenandoah' / Switchgrass	#2 cont.	Compact- 3 ft
10	Pa	Polystichum acrostichoides / Christmas Fern	#1 cont.	evergreen
15	Ss	Schizachyrium scoparium 'The Blues' / Little Bluestem	#1 cont.	Upright blue color grass
20	Sh	Sporobolus h. 'Tara' / Prairie Dropseed	#1 cont.	Soft green
<b>PERENNIALS</b>				
7	Apd	Aster novae-angliae 'Purple Dome' / New England Aster	#1	compact
7	Ctt	Chelone 'Tiny Tortuga' / Compact Turtlehead	#1	compact pink
7	Ep	Echinacea purpurea 'Pow Wow' / Coneflower	#1	sun
7	Gm	Geranium maculatum / Woodland Geranium	#1	shade
7	Ha	Heuchera americana 'Dales var.' / Coralbell	#1	shade
2	Hm	Hibiscus m. 'Starry Starry Night' / Rose Mallow	#3 cont.	compact
3	Hm	Hibiscus m. 'Perfect Storm.' / Rose Mallow	#3 cont.	compact
7	Ls	Liatris spicata 'Kobold' / Gayfeather	#1	sun
5	Mmd	Monarda 'Marshall's Delight' / Pink Beebalm	#1	sun
5	Pd	Penstemon digitalis / Beardtongue	#1	Part shade
7	Rag	Rudebeckia 'American Goldrush' / Blackeyed Susan	#1	sun

**PLANT NOTES:**

- CONTACT U DIG SAFELY NY AT 811 (udig.ny.org) PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. VERIFY THE LOCATION OF ALL UTILITY LINES PRIOR TO ANY PLANTING PIT EXCAVATION. COORDINATE WITH HOMEOWNER AND BUILDER REGARDING UNDERGROUND SYSTEMS. LOCATE AND PROTECT EXISTING SEPTIC FIELDS.
- NOTIFY THE LANDSCAPE ARCHITECT AT LEAST FIVE (5) DAYS IN ADVANCE OF PLANT MATERIAL DELIVERY TO THE SITE.
- LAYOUT ALL PLANT MATERIAL WITH THE LANDSCAPE ARCHITECT PRIOR TO PLANT PIT EXCAVATION. SET UP OF ALL MATERIAL IN BEDS REQUIRED FOR OWNERS AND LANDSCAPE ARCHITECTS APPROVAL PRIOR TO PLANTING. SEE PLAN FOR PLANT LAYOUT.
- ALL PLANT MATERIAL IS TO CONFORM TO THE REQUIREMENTS OF THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN FOR EXTRA HEAVY GRADE UNLESS OTHERWISE SPECIFIED, TRUE TO NAME AND SIZE. INVESTIGATE SOURCES OF SUPPLY AND BE CERTAIN IT WILL BE POSSIBLE TO PROVIDE ALL PLANT MATERIALS SPECIFIED IN THE QUALITY AND QUANTITY REQUIRED PRIOR TO BIDDING.
- ALL PLANT MATERIAL TO BE GUARANTEED FOR ONE FULL GROWING SEASON.
- PLANT ALL PLANT MATERIAL BY HAND- NO MACHINE ACCESS.
- STAKE TREES ONLY AS NECESSARY TO INSURE STABILITY.
- ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- RESTORE ALL DISTURBED OR DAMAGED AREAS RESULTING FROM PLANTING OPERATIONS TO ORIGINAL CONDITIONS
- AMMEND EXISTING PLANTING SOILS TO PROVIDE PROPER SOIL CONDITIONS FOR PLANT GROWTH.



LAWN type	Botanical name/ Common name	rate	remark
seed	Tall Fescue Mix with 15 % Bluegrass	8-10 lbs / 1000 SF	Low water and fertilizer turf

DATE	SHEET	REVISION	NOTES
4-25-24	P-1		SUBMISSION

**HOUSE AREA PLANTING PLAN**

41 MEAD ROAD  
NORTH CASTLE, NY

Date: 3.11.2024  
Sheet No.: P-1

**JAY FAIN & ASSOCIATES, LLC**  
Environmental Consulting Services  
2000 Post Rd., Ste. 201 Fairfield, CT 06824  
jfasociates@optonline.net 203-254-3156



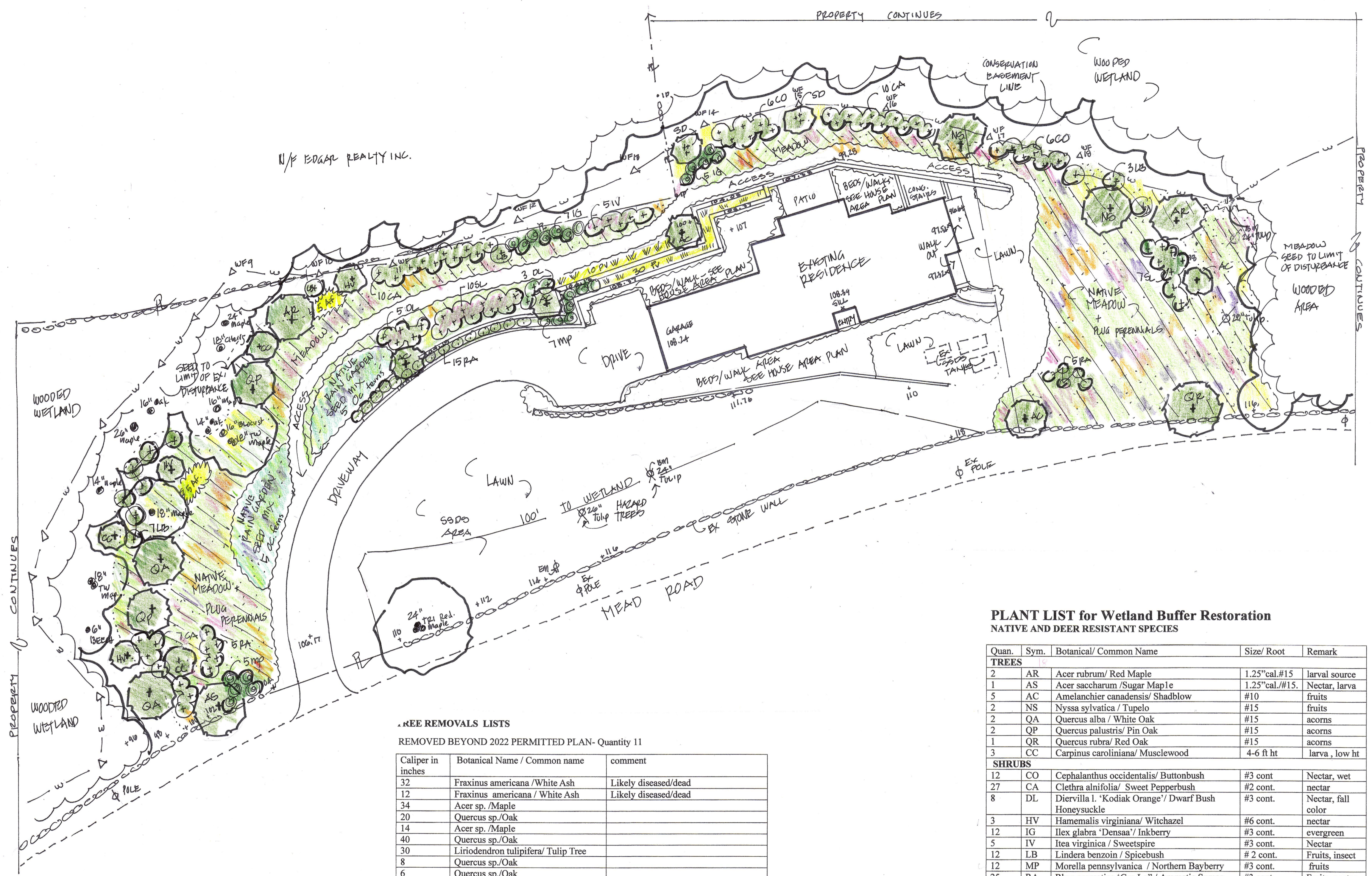
b

**GENERAL NOTES:**

- EXISTING CONDITIONS AND PROPOSED SEPTIC LOCATION AND GRADES TAKEN FROM PLAN BY TC MERRITT'S LAND SURVEYORS TITLED "AS BUILT TOPOGRAPHY PREPARED FOR TAX LOT 3, SITUATE IN THE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK. DATED LAST REV. FEB 24, 2024
- SEE ABOVE REFERENCED PLAN FOR THE REMAINING PROPERTY AREA
- THIS PLAN IS FOR PLANTING PURPOSES ONLY.
- SEE SHEET RP-2 FOR PLANTING DETAILS AND NOTES.

**PLANT NOTES:**

- CONTACT U DIG SAFELY NY AT 811 (udig.ny.org) PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. VERIFY THE LOCATION OF ALL UTILITY LINES PRIOR TO ANY PLANTING PIT EXCAVATION. COORDINATE WITH HOMEOWNER AND BUILDER REGARDING UNDERGROUND SYSTEMS. LOCATE AND PROTECT EXISTING SEPTIC FIELDS.
- NOTIFY THE LANDSCAPE ARCHITECT AT LEAST FIVE (5) DAYS IN ADVANCE OF PLANT MATERIAL DELIVERY TO THE SITE.
- LAYOUT ALL PLANT MATERIAL WITH THE LANDSCAPE ARCHITECT PRIOR TO PLANT PIT EXCAVATION. SET UP OF ALL MATERIAL IN BEDS REQUIRED FOR OWNERS AND LANDSCAPE ARCHITECTS APPROVAL PRIOR TO PLANTING. SEE PLAN FOR PLANT LAYOUT.
- ALL PLANT MATERIAL IS TO CONFORM TO THE REQUIREMENTS OF THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN FOR EXTRA HEAVY GRADE UNLESS OTHERWISE SPECIFIED, TRUE TO NAME AND SIZE. INVESTIGATE SOURCES OF SUPPLY AND BE CERTAIN IT WILL BE POSSIBLE TO PROVIDE ALL PLANT MATERIALS SPECIFIED IN THE QUALITY AND QUANTITY REQUIRED PRIOR TO BIDDING. NO SUBSTITUTIONS WITHOUT LANDSCAPE ARCHITECT'S APPROVAL.
- ALL PLANT MATERIAL TO BE GUARANTEED FOR TWO YEARS OR AS REQUIRED BY TOWN OF NORTH CASTLE.
- PLANT ALL PLANT MATERIAL BY HAND.
- STAKE TREES ONLY AS NECESSARY TO INSURE STABILITY.
- RESTORE ALL DISTURBED OR DAMAGED AREAS RESULTING FROM PLANTING OPERATIONS TO ORIGINAL CONDITIONS
- AMMEND EXISTING PLANTING SOILS TO PROVIDE PROPER SOIL CONDITIONS FOR PLANT GROWTH.



**PLANT LIST for Wetland Buffer Restoration  
NATIVE AND DEER RESISTANT SPECIES**

Quan.	Sym.	Botanical/ Common Name	Size/ Root	Remark
<b>TREES</b>				
2	AR	Acer rubrum/ Red Maple	1.25" cal. #15	larval source
1	AS	Acer saccharum/ Sugar Maple	1.25" cal. #15	Nectar, larva
5	AC	Amelanchier canadensis/ Shadblow	#10	fruits
2	NS	Nyssa sylvatica/ Tupelo	#15	fruits
2	QA	Quercus alba/ White Oak	#15	acorns
2	QP	Quercus palustris/ Pin Oak	#15	acorns
1	QR	Quercus rubra/ Red Oak	#15	acorns
3	CC	Carpinus caroliniana/ Musclemwood	4-6 ft ht	larva, low ht
<b>SHRUBS</b>				
12	CO	Cephalanthus occidentalis/ Buttonbush	#3 cont.	Nectar, wet
27	CA	Clethra alnifolia/ Sweet Pepperbush	#2 cont.	nectar
8	DL	Diervilla l. 'Kodiak Orange'/ Dwarf Bush Honeysuckle	#3 cont.	Nectar, fall color
3	HV	Hamamelis virginiana/ Witchazel	#6 cont.	nectar
12	IG	Ilex glabra 'Densa' / Inkberry	#3 cont.	evergreen
5	IV	Itea virginica / Sweetspire	#3 cont.	Nectar
12	LB	Lindera benzoin / Spicebush	#2 cont.	Fruits, insect
12	MP	Morella pennsylvanica / Northern Bayberry	#3 cont.	fruits
25	RA	Rhus aromatica 'Gro Lo' / Aromatic Sumac	#3 cont.	Fruits, nectar
2	SD	Salix discolor/ Pussy Willow	#3 cont.	Nectar, wet
17	SL	Spirea latifolia/ Broadleaf Meadowsweet	#1 cont.	nectar
<b>GRASSES/FERNS</b>				
10	Af	Athyrium filix-femina / Lady Fern	#1 cont.	Woods edge
10	Oc	Osmunda cinnamomea/ Cinnamon Fern	#1 cont.	Rain garden
40	Pv	Panicum virgatum/ Switch Grass	#3 cont.	seeds
<b>PERENNIALS - mix into seeded meadows</b>				
50		Echinacea purpurea / Coneflower	Plugs	seeds
50		Monarda fistulosa / Beebalm	Plugs	nectar
50		Penstemon digitalis/ Beardtongue	Plugs	nectar
50		Rudebeckia sp. / Blackeyed Susan	Plugs	seeds
<b>MEADOW and RAIN GARDEN SEED</b>				
9000 SF		Meadow mix- New England Wildflower Mix by NEWP, Inc (www.newp.com)	5lb seed / annual grain cover crop	Seed at 23 lbs/ Ac
1200 SF		Rain Garden mix- New England Erosion Control/Restoration Mix for Detention Basins and Moist Sites by NEWP, Inc. (www.newp.com)	1 lb seed/ with annual cover crop	Seed at 35 lbs/ Ac

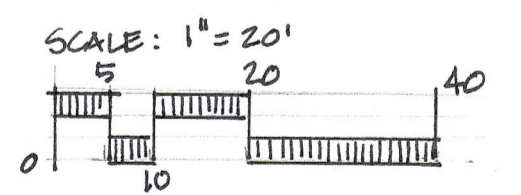
**TREE REMOVALS LISTS**

REMOVED BEYOND 2022 PERMITTED PLAN- Quantity 11

Caliper in inches	Botanical Name / Common name	comment
32	Fraxinus americana / White Ash	Likely diseased/dead
12	Fraxinus americana / White Ash	Likely diseased/dead
34	Acer sp. / Maple	
20	Quercus sp. / Oak	
14	Acer sp. / Maple	
40	Quercus sp. / Oak	
30	Liriodendron tulipifera / Tulip Tree	
8	Quercus sp. / Oak	
6	Quercus sp. / Oak	
30	Liriodendron sp. / Tulip Tree	
30	Quercus sp. / Oak	

TREES PROPOSED FOR REMOVAL IN 2024- Quantity 4

Caliper in inches	Botanical name/ Common name	Comment
24	Liriodendron tulipifera. /Tulip Tree	Damage by wind, now in open ssds area subject to wind throw and hazard to house
24	Liriodendron tulipifera. /Tulip Tree	Damage by wind, now in open ssds area subject to wind throw and hazard to house
26	Liriodendron tulipifera. /Tulip Tree	Damage by wind, in open area graded subject to wind throw and hazard to house
28	Liriodendron tulipifera. /Tulip Tree	Damage by wind, in open grade area subject to wind throw and hazard to house



DATE	SHEET	REVISION NOTES
4/25/24	RP-1	EXHIBITION



**WETLAND BUFFER PLANTING PLAN**

**41 MEAD ROAD**  
NORTH CASTLE, NY

Date: 4.2.2024  
Sheet No.: RP-1

**JAY FAIN & ASSOCIATES, L.L.C.**  
Environmental Consulting Services  
2000 Post Rd., Ste. 201 Fairfield, CT 06424  
jfassociates@joponline.net 203-254-3156

C

**LONG-TERM WETLAND MONITORING AND MAINTENANCE PLAN**

**1. Wetland Monitoring & Maintenance Plan**

- The purpose of the Wetland Monitoring and Maintenance Plan is to ensure that development in the wetland buffer does not compromise the functional integrity of the wetland buffer, ponds or wetlands and resulting mitigation meets its stated goals as described in the Final Resolution adopted by the Town of North Castle "Town" Planning Board for the "Permittee"

**2. Protocol for Commencement of Wetland Monitoring and Maintenance Plan**

- Permittee shall implement the mitigation plan (wetland plantings) approved by the Town Planning Board.
- Following the installation of all wetland mitigation in accordance with the Final Resolution and plans adopted by the Planning Board, the permittee shall submit two (2) copies of the following:
  - Certification from a Qualified Environmental Consultant ("Consultant") approved by the Planning Board or its designee verifying the proper installation of all plants and materials or deviations from the approved resolution so that these can be corrected before final approval.
  - As-Built plan prepared by a Licensed Engineer or Licensed Land Surveyor detailing the (1) location of plantings and (2) number of species of individual plants.
  - The monitoring period shall begin with the review of all required submitted information/ materials and final written approval by the Town's Wetland Consultant and continue for a period of 5 years.

**3. Assurances**

- All plantings and seed mixture applications in conjunction with the mitigation work shall be accomplished in accordance with the approved drawings and completed within the first growing season after site clean-up is complete and topsoil is respread on the disturbed areas to be re-vegetated.
- The Permittee shall ensure that all plants in conjunction with the wetland mitigation plan shall have a minimum 85% survival of installed plants, which must be met or exceeded at the end of the second growing season following the initial planting/seeding. If the 85% survival rate is not met at the end of the second growing season, the Permittee shall take necessary measures to ensure the level of survival by the end of the next growing season, including replanting and re-grading with topsoil, if necessary. Continue the program for the full term of the 5 years after planting.

**4. Monitoring Reports**

- The purpose of the mitigation monitoring and maintenance reports shall be to (1) evaluate the progress of the establishment of the mitigation areas, (2) assess compliance with plant survival and plant condition requirements, and (3) identify those aspects of the mitigation areas that may require remediation by the Permittee in order to achieve the mitigation objectives.
- Permittee shall submit the mitigation monitoring and maintenance reports prepared by a Licensed Landscape Architect (or an environmental professional approved by the Town of North Castle) annually no later than November 1<sup>st</sup> to the Town's Wetland Consultant for review.
- Information for said reports shall be collected a minimum of 7 times: (1) once prior to construction, (2) once immediately post-construction, and (3) annually for 5 years post construction between the months of June 1<sup>st</sup> and September 1<sup>st</sup>.
- Minimum requirements for monitoring reports:
  - Identification of the number of surviving approved plants and area coverage at the time of the observation. The report should detail the condition, vigor, size(dbh) of all planted material and compliance with the approved planning board resolution.
  - Color photographs from established stations approved by the Town's Wetland Consultant showing representative conditions in the mitigation areas taken annually during the designated period defined above.
  - An estimate of the vegetative cover in the mitigation area and/or locations where erosion and sedimentation are occurring; or where invasive plant species have become established. Aerial coverage of invasive plant species must be less than 15% of the total wetland mitigation area on the site.
  - A qualitative analysis of the extent to which the mitigation has been successful. Said reports shall note areas of deficiencies and/or non-compliance and provide recommendations/measures to be taken to ensure continued success of the mitigation efforts and soil stabilization.

**5. Completion of Monitoring Period**

- Final Report submitted by the Permittee and certified by the Permittee's Consultant.
- The Town's Wetland Consultant will review the submitted material and perform an inspection of the site for conformance with the approved Planning Board Resolution and As-Built Plans. Upon review and inspection, the Town's Wetland Consultant shall submit written approval to the Planning Board.
- A Monitoring Data Form (in Report) shall be filled out that includes the above information, if applicable:
  - The vegetative cover shall be comprised of native species (not invasive species), whether planted or resulting from natural colonization. If vegetative cover is less than 85%, replanting shall occur with native species which have survived and show good vigor within the wetland buffer mitigation planting areas.
  - Elimination of invasive plant species. Permittee shall demonstrate 100% removal of target species at initial treatment. Ongoing removal shall be demonstrated at each inspection period. Target species shall be tested, as necessary, to prevent re-establishment, including, but not limited to: Japanese Barberry (*Berberis thunbergii*), Common Reed (*Phragmites australis*), Bittersweet (*Celastrus orbiculatus*), Multiflora Rose (*Rosa multiflora*), Porcelain Berry (*Ampelopsis brevipedunculata*), Autumn Olive (*Eleagnus umbellata*), Winged Euonymus (*Euonymus alatus*), Garlic Mustard (*Allaria petiolata*). It is incumbent on the Permittee to remove such invasive species during the appropriate season in which removal is optimal. Hand removal of any deformed, diseased or otherwise unhealthy plantings and replacement "in kind" as necessary to meet the 85% survival threshold.

**6. NYSDEC Restrictions**

- Pesticide and fertilizer use is restricted within the 100' wetland buffer from the edge of the wetland line, except for those products which are permitted by the NYSDEC. The applicant may request a waiver for the new plantings as issued by the Town of North Castle as administrative approval.

**SEED MIX DETAILS**

**New England Wildflower Mix**

The New England Wildflower mix provides a selection of native wildflowers and grasses to insure that a variety of species will survive in conditions from dry to moist. It is an appropriate seed mix for roadsides, commercial landscaping, parks, golf courses, industrial sites and areas undergoing ecological restoration. The mix can be applied by hydroseeding (no tuffens), by mechanical spreader, or by hand. Lightly rake or roll after sowing to increase seed-to-soil contact. Apply on a clean, weed-free seed bed. Best results are obtained with a Spring or late fall dormant seeding.

APPLICATION RATE: 23 lbs/acre 1900 sq ft/lb  
 PRICE: \$78.00/bulk pound  
 (in 2024)

**SPECIES**

Little Bluestem, (*Schizachyrium scoparium*), Creeping Red Fescue, (*Festuca rubra*), Indian Grass, (*Sorghastrum nutans*), Canada Wild Rye, (*Elymus Canadensis*), Virginia Wild Rye, (*Elymus virginicus*), Partridge Pea, (*Chamaecrista fasciculata*), Showy Tick Trefol, (*Desmodium canadense*), Blue Vervain, (*Verbena hastata*), Black Eyed Susan, (*Rudbeckia hirta*), Beard Tongue, (*Penstemon digitalis*), Wild Bergamot, (*Monarda fistulosa*), Common Milkweed, (*Asclepias syriaca*), Smooth Blue Aster, (*Symphoricarum laeve*), New England Aster, (*Symphoricarum novae-angliae*), Spotted Joe Pye Weed, (*Eutrochium maculatum*), Joe Pye Weed, (*Eupatorium fistulosum*), New York Ironweed, (*Vernonia noveboracensis*), Golden Alexanders, (*Zizia aurea*), Starved/Calico Aster, (*Aster lateriflorus*), Flat-top Goldentop, (*Euthamia graminifolia*), Early Goldenrod, (*Solidago juncea*).

New England Wetland Plants, Inc www.newp.com  
 Phone: 413-548-8000 Fax: 413-549-4000  
 38

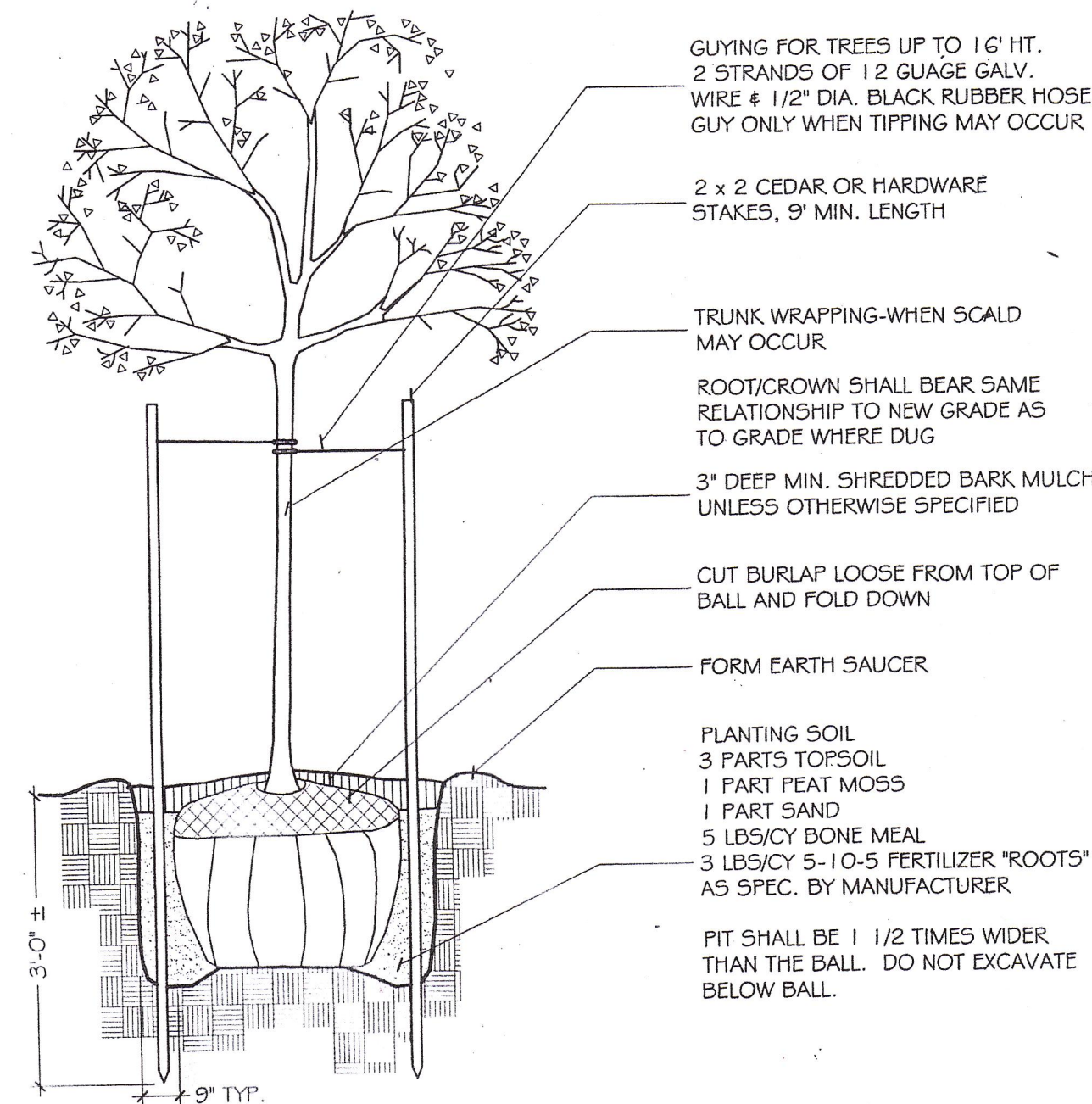
**New England Erosion Control/Restoration Mix  
 For Detention Basins and Moist Sites**

The New England Erosion Control/Restoration Mix for Detention Basins and Moist Sites contains a selection of native grasses and wildflowers designed to colonize generally moist, recently disturbed sites where quick growth of vegetation is desired to stabilize the soil surface. It is an appropriate seed mix for ecologically sensitive restorations that require stabilization as well as long-term establishment of native vegetation. This mix is particularly appropriate for detention basins that do not hold standing water. Many of the plants in this mix can tolerate infrequent inundation, but not constant flooding. The mix may be applied by hand, by mechanical spreader, or by hydro-seeder. After sowing, lightly rake, roll or cultipack to insure good seed-to-soil contact. Best results are obtained with a Spring or late Summer seeding. Late Fall and Winter dormant seeding requires an increase in the application rate. A light mulching of clean, weed-free straw is recommended.

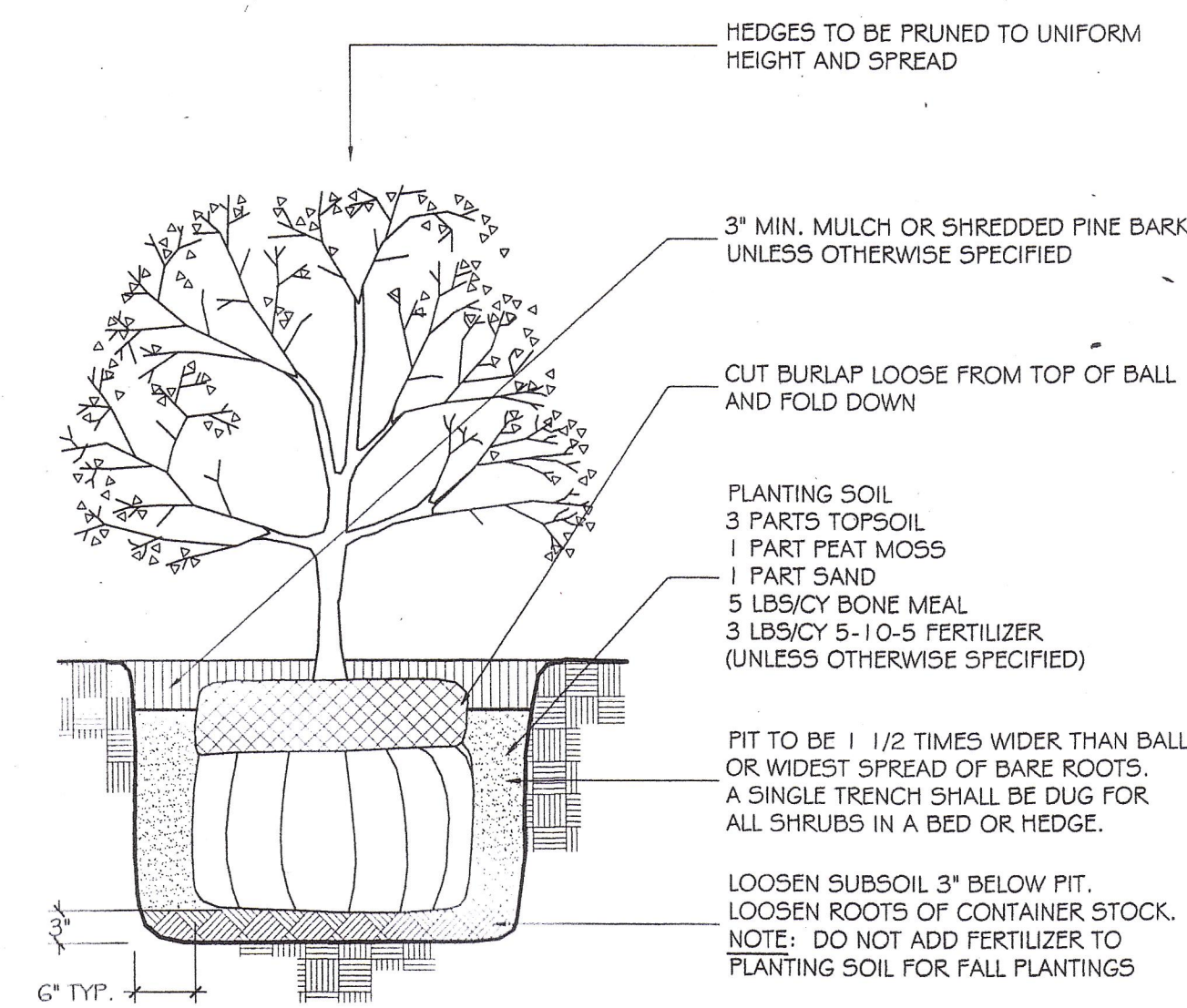
APPLICATION RATE: 35 lbs/acre 1250 sq ft/lb  
 PRICE: \$97.16/bulk pound  
 Minimum Order: (2024) 3 lbs

**SPECIES:**

Virginia Wild Rye, (*Elymus virginicus*), Creeping Red Fescue, (*Festuca rubra*), Little Bluestem, (*Schizachyrium scoparium*), Fox Sedge, (*Carex vulpinoidea*), Big Bluestem, (*Andropogon gerardii*), Switch Grass, (*Panicum virgatum*), Rough Bentgrass/Ticklegrass, (*Agrostis scabra*), Blue Vervain, (*Verbena hastata*), New England Aster, (*Symphoricarum novae-angliae*), Boneset, (*Eupatorium perfoliatum*), Green Bulrush, (*Scirpus atrovirens*), Flat-top Goldentop, (*Euthamia graminifolia*), Soft Rush, (*Juncus effusus*), Wool Grass, (*Scirpus cyperinus*).



**1 TREE PLANTING SECTION** NTS



**2 SHRUB PLANTING SECTION** NTS



DATE	SHEET	REVISION	NOTES
4.26.24	RP-2		SUBMITTED

**WETLAND BUFFER DETAILS**

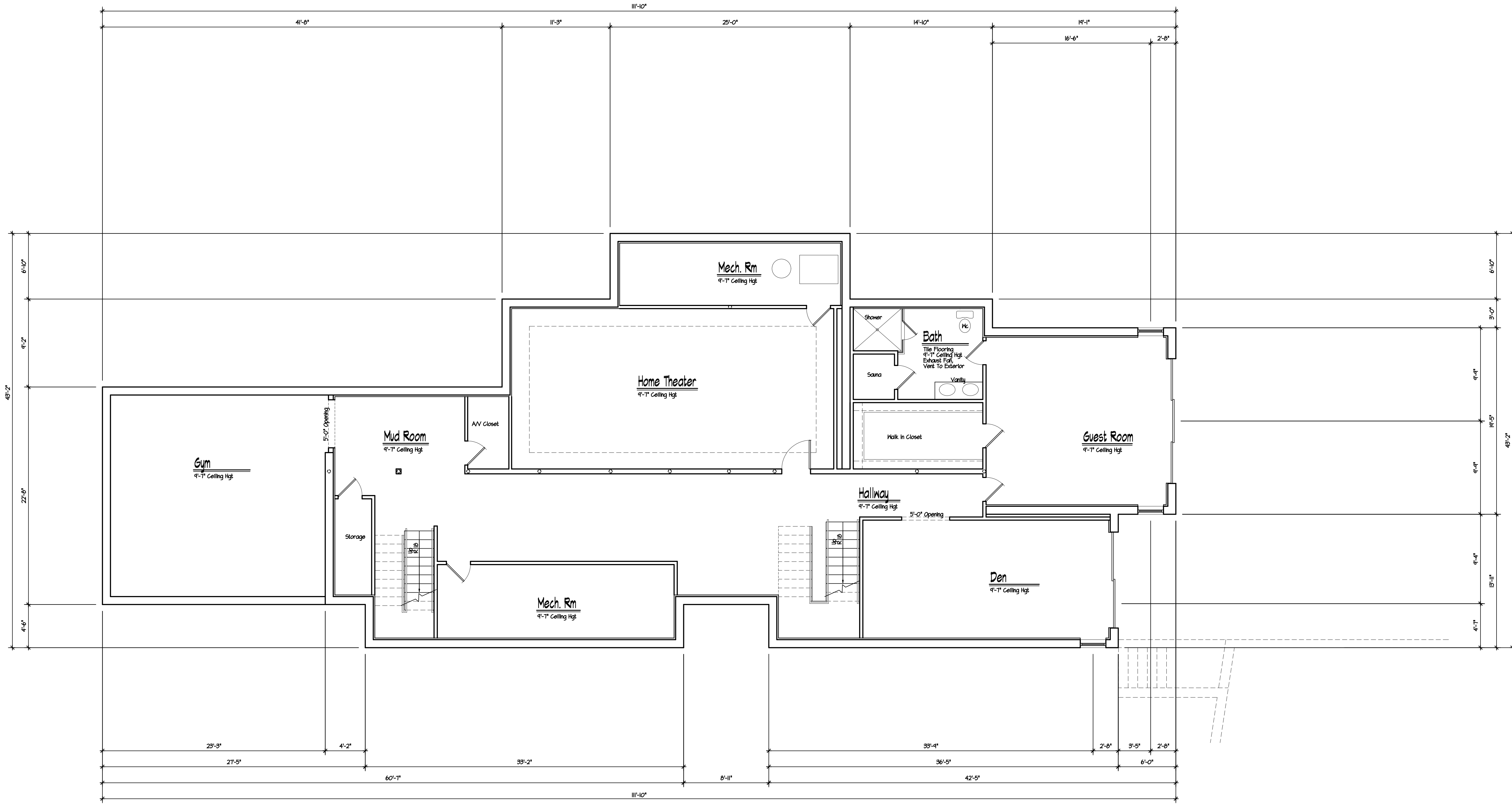
**41 MEAD ROAD**  
 NORTH CASTLE, NY

Date: 4.2.2024  
 Sheet No.: RP-2

**JAY FAIN & ASSOCIATES, LLC**  
 Environmental Consulting Services, LLC  
 2000 Post Rd., Ste. 201 Fairfield, CT 06824  
 jfassociates@optonline.net 203-254-3156

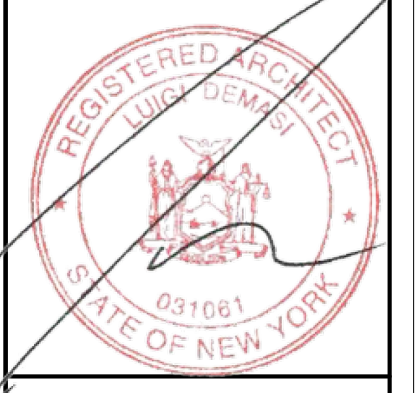
4

a



**Basement Plan**  
Scale: 3/16" = 1'-0"

**DeMasi Architects P.C.**  
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
PHONE: (914) 666-3856  
EMAIL: [Lo@DemasiArchitects.com](mailto:Lo@DemasiArchitects.com)



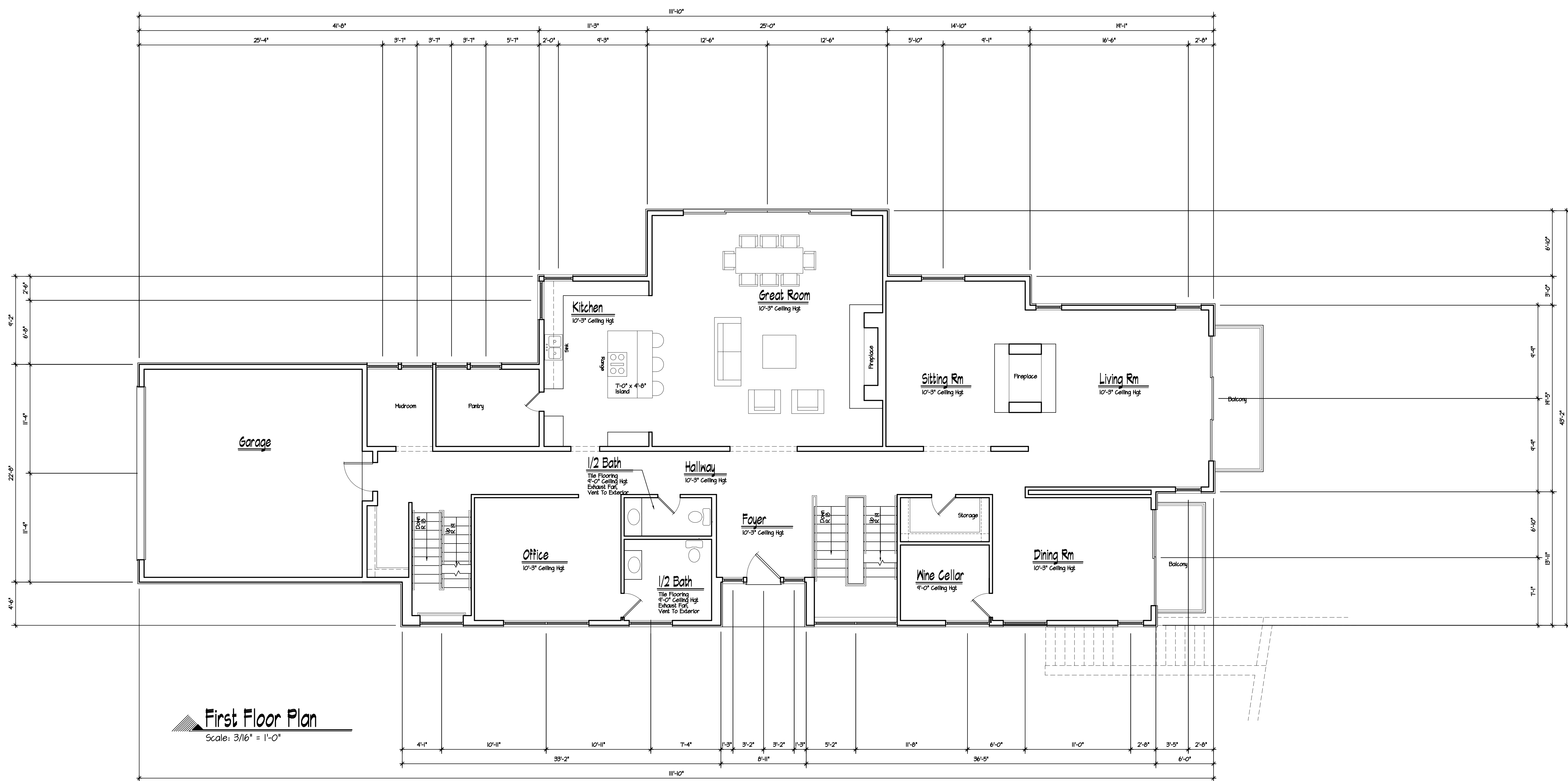
These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. Any person or corporation who uses these plans for any purpose other than the construction of one structure only by the person whose name appears on the plans.

**Progress Set**  
**Residence For**  
**41 Mead Road**  
**North Castle, NY**

Revision	Date
	April 19, 2024
Job No	222-062
Drawing	1 OF 6

Do Not Scale Prints





**First Floor Plan**  
Scale: 3/16" = 1'-0"

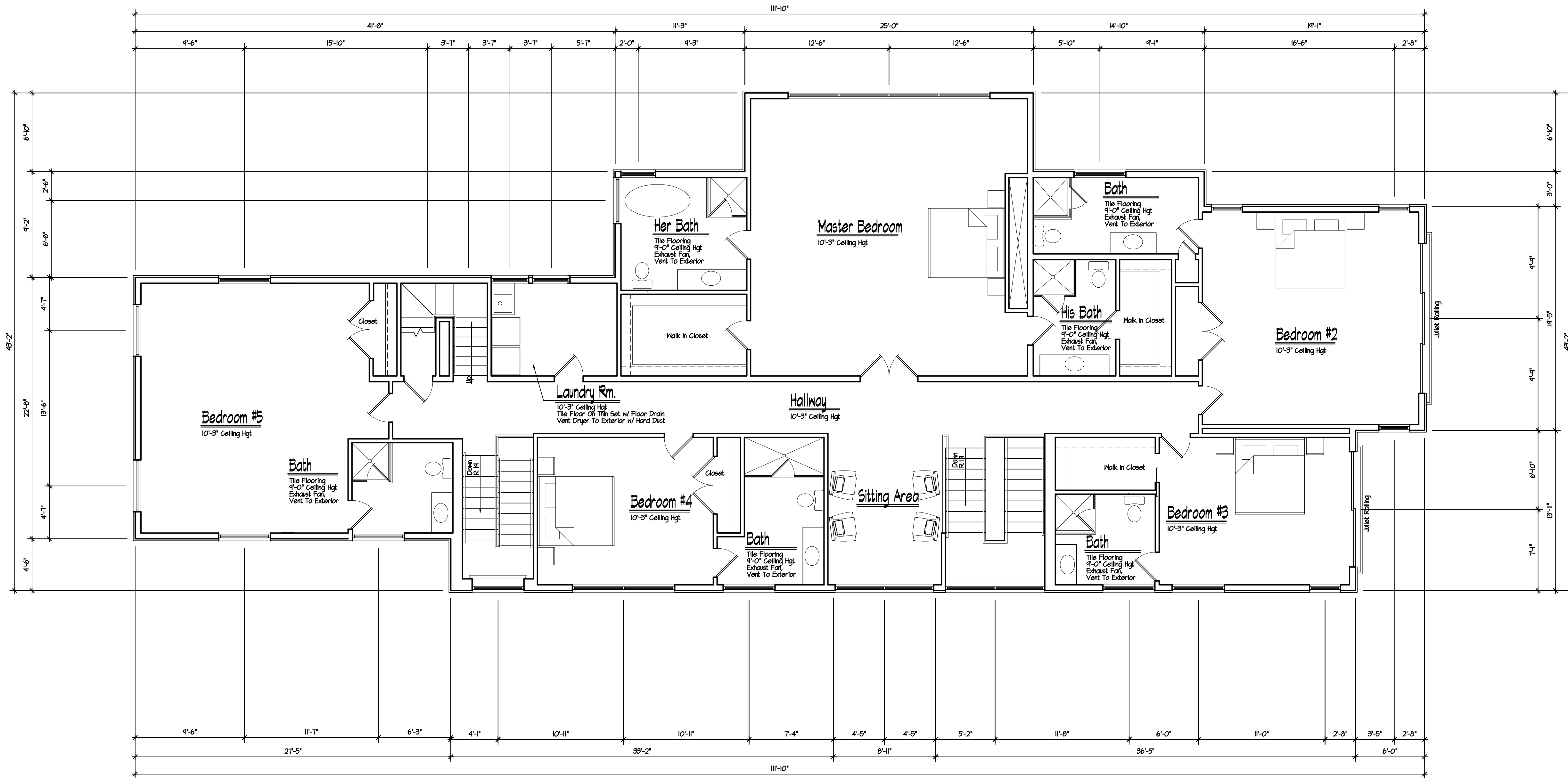
**DeMasi Architects P.C.**  
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
PHONE: (914) 666-3856  
EMAIL: Lou@DemasiArchitects.com



These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. Any person or corporation who reproduces these plans without the written authorization of the Architect, or who constructs or causes to be constructed any structure in violation of the provisions of these plans, shall be liable to the Architect for all damages and costs incurred by the Architect in connection with the construction of such structure and for the person whose name appears on the plans.

**Progress Set**  
**Residence For**  
**41 Mead Road**  
**North Castle, NY**

Revision	Date
	April 19, 2024
Job No	222-062
Drawing	2 OF 6



**Second Floor Plan**  
 Scale: 3/16" = 1'-0"

Progress Set

Residence For

41 Mead Road  
 North Castle, NY

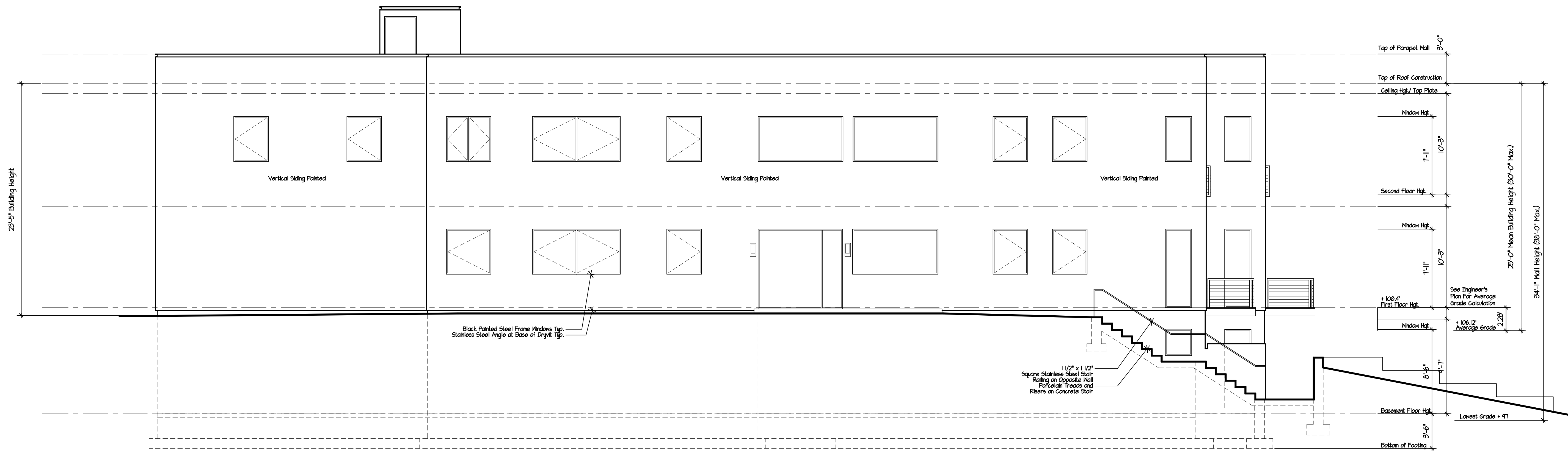
Revision	Date
	April 19, 2024
Job No	222-062
Drawing	3 OF 6

These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. Any person or corporation who reproduces these plans without the written authorization of the Architect, or who constructs or causes the construction of any structure on the basis of these plans, shall be liable for the consequences thereof. These plans are not valid for a building permit unless they are accompanied by the professional seal and signature of the Architect. The Architect's name shall appear on the plans.



**DeMasi Architects P.C.**  
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
 PHONE: (914) 666-3856  
 EMAIL: Lov@DemasiArchitects.com

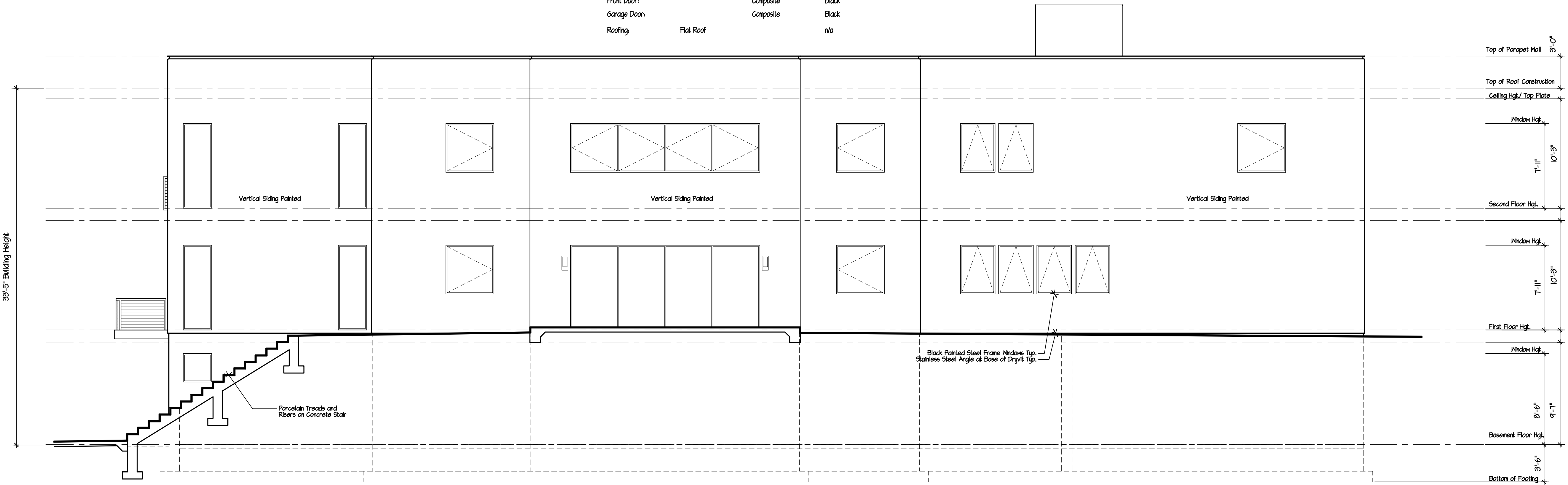
Do Not Scale Prints



**Front Elevation**  
Scale: 3/16" = 1'-0"

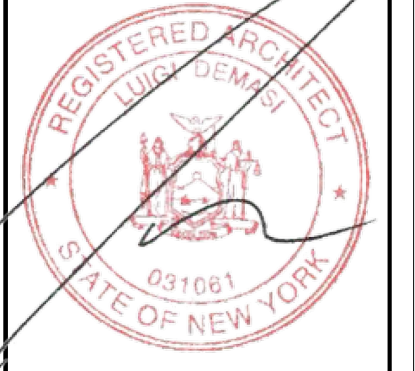
**Schedule For Proposed Building Material and Color Scheme**

Name:	Type:	Color:
Siding:	Hard-plank	Vertical Painted
Windows:	Andersen	Casement Black
Trim:	Azek/Fipon	Black
Front Door:	Composite	Black
Garage Door:	Composite	Black
Roofing:	Flat Roof	n/a



**Rear Elevation**  
Scale: 3/16" = 1'-0"

**DeMasi Architects P.C.**  
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
PHONE: (914) 666-3956  
EMAIL: Lou@DemasiArchitects.com

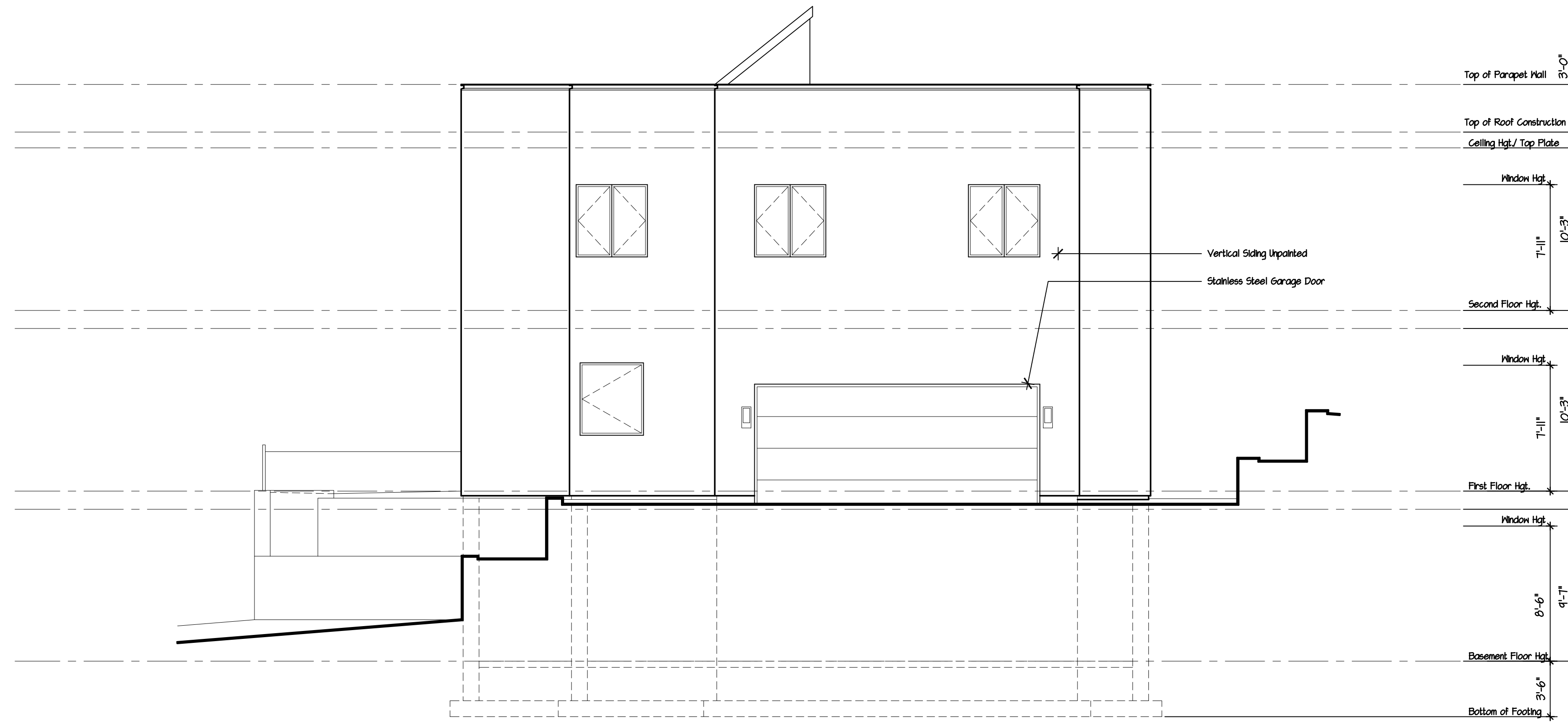


These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. Any person or corporation who reproduces these plans without the written authorization of the Architect, or who constructs or causes to be constructed any structure on the basis of these plans, shall be liable to the Architect for the full amount of the Architect's fees and costs. These plans are not valid for a building permit unless the name of the Architect appears on the plans.

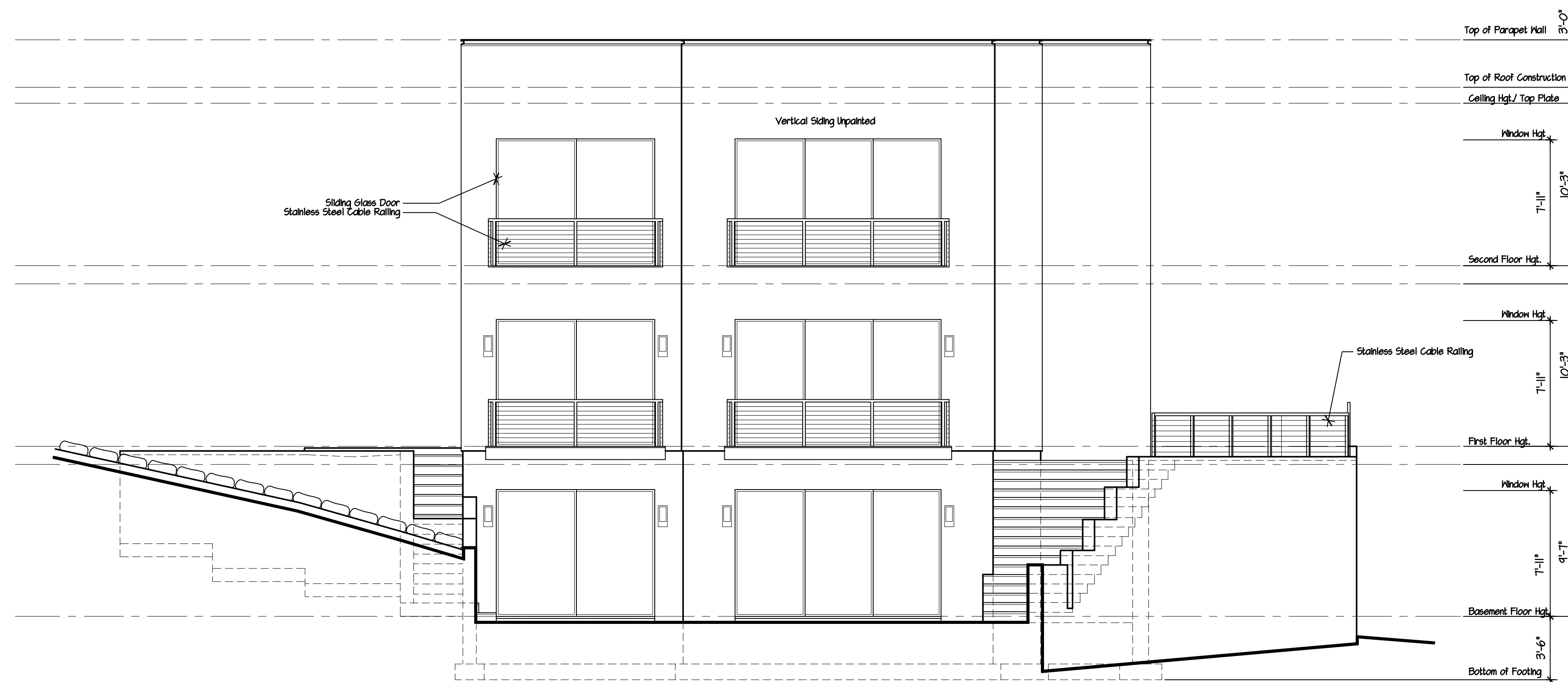
**Progress Set**  
**Residence For**  
**41 Mead Road**  
**North Castle, NY**

Revision	Date
	April 19, 2024
Job No	222-062
Drawing	4 OF 6

Do Not Scale Prints



**Left Elevation**  
Scale: 3/16" = 1'-0"



**Right Elevation**  
Scale: 3/16" = 1'-0"

**Schedule For Proposed Building Material and Color Scheme**

	Name:	Type:	Color:
Sliding:	Hard-plank	Vertical	Painted
Windows:	Andersen	Casement	Black
Trim:	Azek/Figon		Black
Front Door:		Composite	Black
Garage Door:		Composite	Black
Roofing:	Asphalt Shingle Roof		Black

**DeMasi Architects P.C.**  
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
PHONE: (914) 666-3856  
EMAIL: [Lo@DemasiArchitects.com](mailto:Lo@DemasiArchitects.com)

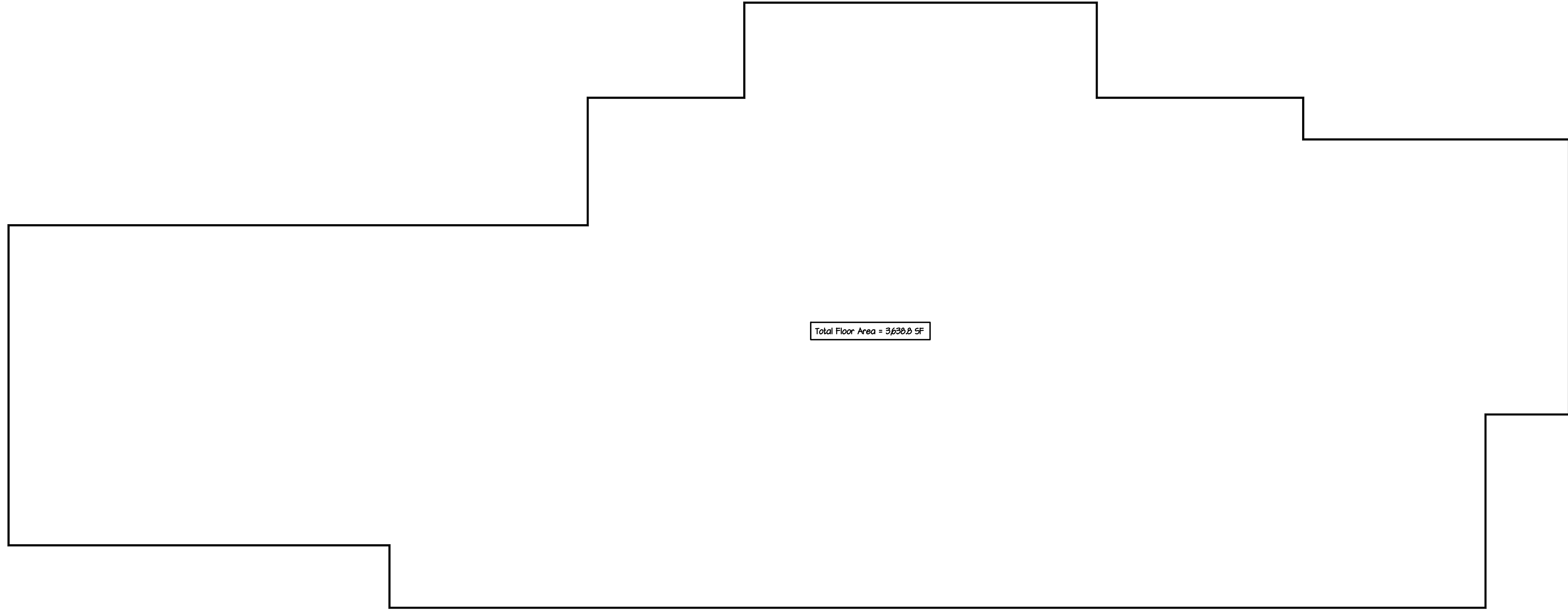


These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. Any person or corporation who reproduces or uses these plans without the written consent of the Architect, or who constructs or causes to be constructed any structure in violation of the provisions of these plans, shall be liable to the Architect for all damages and costs incurred by the Architect in the defense of this action.

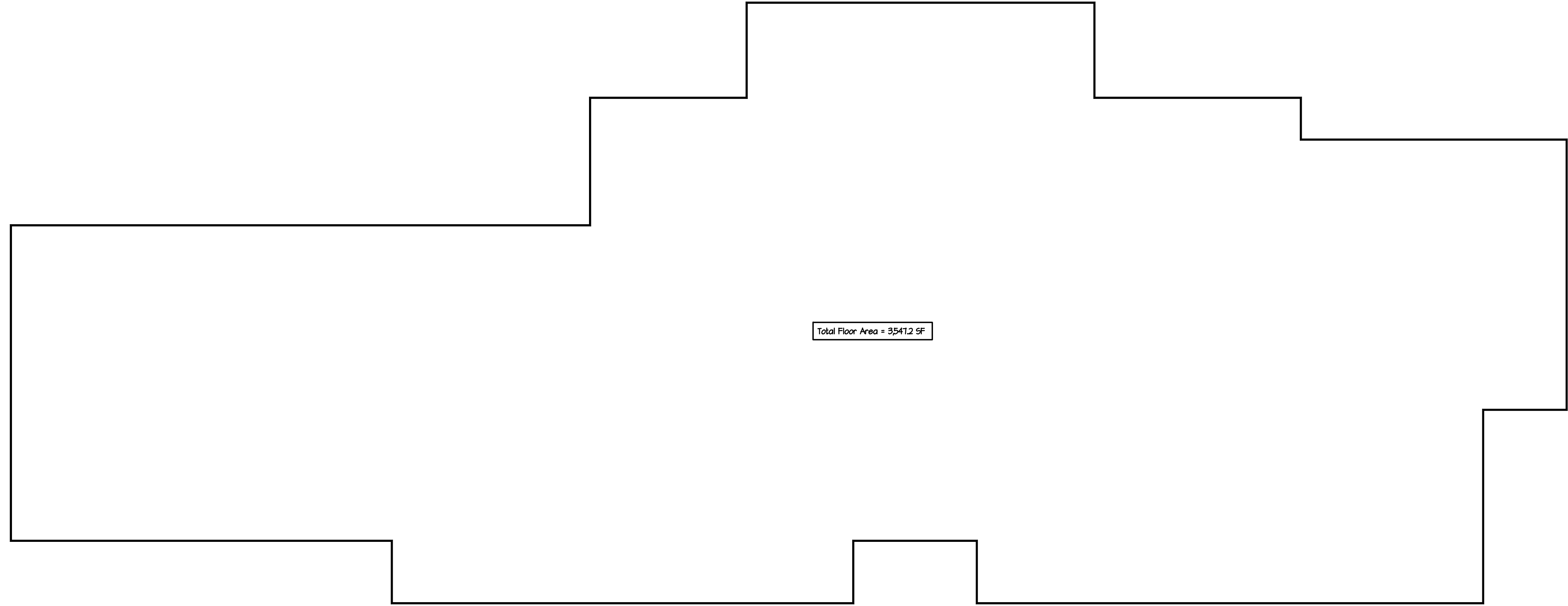
**Progress Set**  
**Residence For**  
**41 Mead Road**  
**North Castle, NY**

Revision	Date
	April 19, 2024
Job No	222-062
Drawing	5 OF 6

Do Not Scale Prints



**Floor Area Plan - First Floor & Second Floor**  
 Scale: 1/4" = 1'-0"



**Floor Area Plan - Lower Level**  
 Scale: 3/16" = 1'-0"

**DeMasi Architects P.C.**  
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
 PHONE: (914) 666-3856  
 EMAIL: [Low@DemasiArchitects.com](mailto:Low@DemasiArchitects.com)



These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. Any person or corporation who uses these plans without the written authorization will be responsible to compensate the Architect.  
 These plans are not valid for a building permit unless they are accompanied by the seal and signature of the Architect. The construction of any structure only by the person whose name appears on the plans.

**Progress Set**  
**Residence For**  
**41 Mead Road**  
**North Castle, NY**

Revision	Date
	April 19, 2024
Job No	222-062
Drawing	6 OF 6

b

# Twilight Outdoor Wall Light

## PRODUCT OPTIONS AVAILABLE

---

### FINISH

- Bronze
- Black

### SIZE

- Small: 16 in height
- Large: 21 in height

## SPECIFICATIONS

---

### Dimensions:

#### Small:

- Overall: 7 in W x 4 in D x 16 in H

#### Large:

- Overall: 9 in W x 4 in D x 21 in H

Backplate: 4.75 in W x 4.75 in H

### Lamp Type:

- LED

### Bulbs:

#### Small:

- 2 x 11.5W 120V 912 Lumens, 90CRI, 3000K  
Module LED lamp (included)

#### Large:

- 2 x 16W 120V 1281 Lumens, 90CRI, 3000K  
Module LED lamp (included)

### Listing:

- ETL
- cETL
- Wet Rated
- Title 24
- ADA

## MATERIALS

---

Aluminum, glass.

## ADDITIONAL DETAILS

---

### Product URL

<https://www.2modern.com/products/twilight-indoor-outdoor-wall-light>



## NOTES

---

Prepared by:

Prepared for:

Project:

Room:

Placement:

Approval:

C





**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
**17 Bedford Road**  
**Armonk, New York 10504-1898**

**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
**Director of Planning**

**Telephone: (914) 273-3542**  
**Fax: (914) 273-3554**  
[www.northcastleny.com](http://www.northcastleny.com)

**FLOOR AREA CALCULATIONS WORKSHEET**

Application Name or Identifying Title: Marcela Yepes & Nicolas Cuadros Residence Date: 4/19/24

Tax Map Designation or Proposed Lot No.: 109.01-1-12

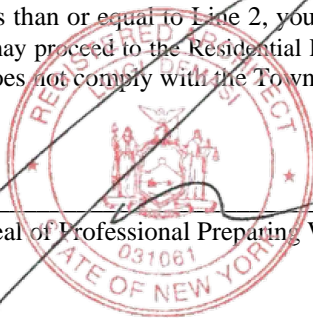
Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 3.98 Acres
2. **Maximum** permitted floor area (per Section 355-26.B(4)): 13,571.9 sf
3. Amount of floor area contained within first floor:  
0 existing + 3,089.68 proposed = 3,089.68 sf
4. Amount of floor area contained within second floor:  
0 existing + 3,638.8 proposed = 3,638.8 sf
5. Amount of floor area contained within garage:  
0 existing + 549.12 proposed = 549.12 sf
6. Amount of floor area contained within porches capable of being enclosed:  
0 existing + 0 proposed = 0
7. Amount of floor area contained within basement (if applicable – see definition):  
0 existing + 0 proposed = 0
8. Amount of floor area contained within attic (if applicable – see definition):  
0 existing + 0 proposed = 0
9. Amount of floor area contained within all accessory buildings:  
0 existing + 0 proposed = 0
10. Proposed **floor area**: Total of Lines 3–9 = 7,277.6 sf

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

\_\_\_\_\_  
Signature and Seal of Professional Preparing Worksheet

4/19/24  
Date





**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
17 Bedford Road  
Armonk, New York 10504-1898

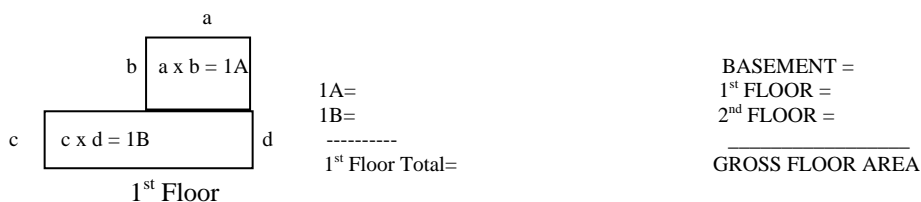
**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
**Director of Planning**

**Telephone: (914) 273-3542**  
**Fax: (914) 273-3554**  
[www.northcastleny.com](http://www.northcastleny.com)

## GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below (or schematic illustration with areas calculated with CAD).



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 340, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

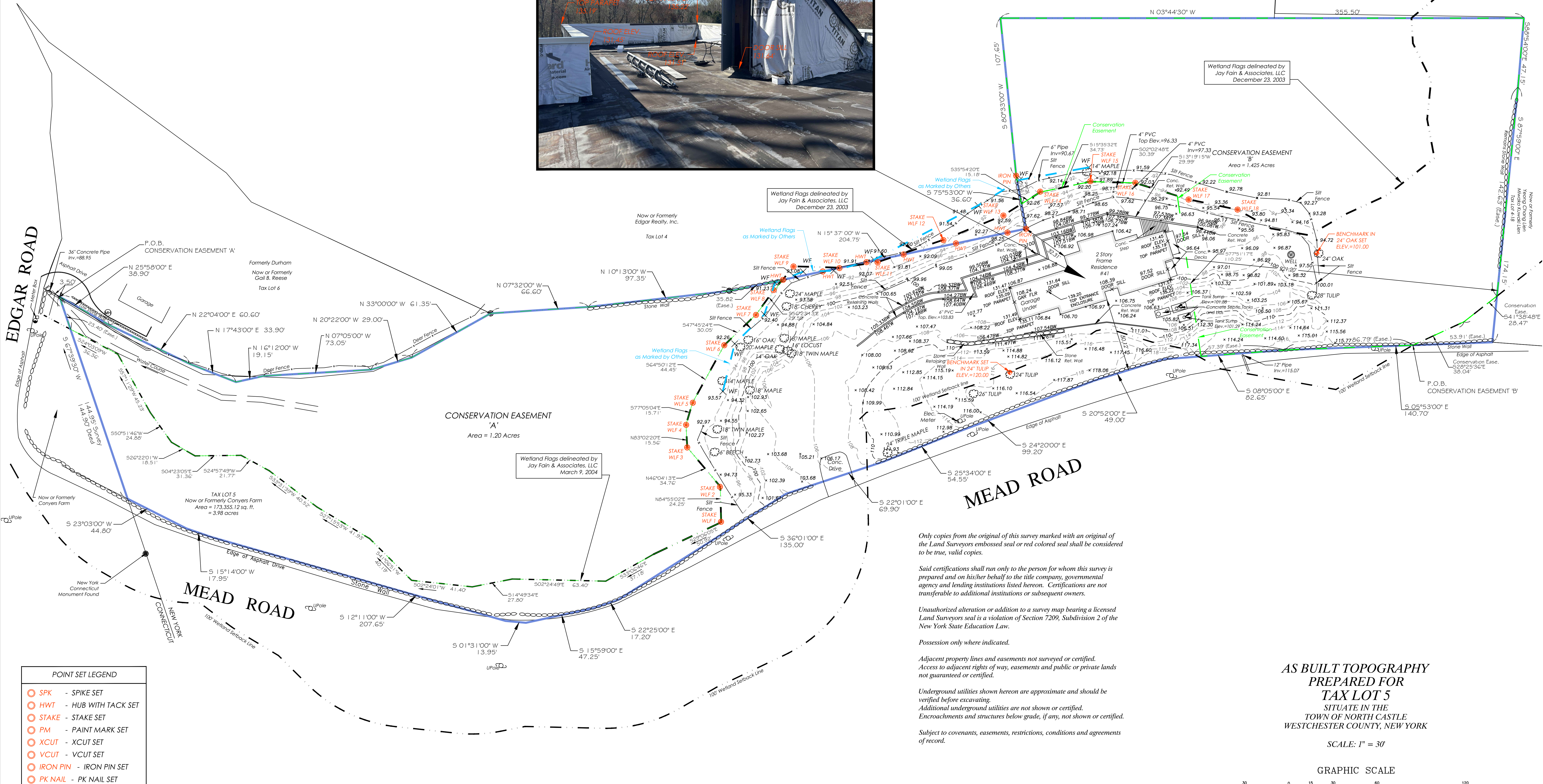
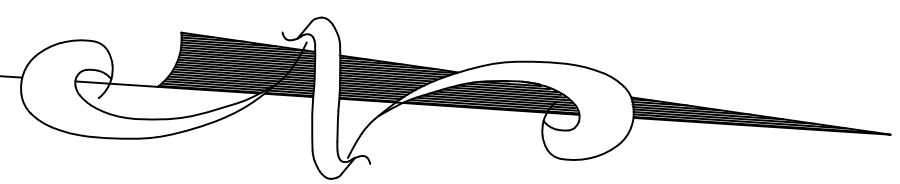
FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings <sup>1</sup> (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

\*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

5



**POINT SET LEGEND**

- SPK - SPIKE SET
- HWT - HUB WITH TACK SET
- STAKE - STAKE SET
- PM - PAINT MARK SET
- XCUT - XCUT SET
- V CUT - VCUT SET
- IRON PIN - IRON PIN SET
- PK NAIL - PK NAIL SET

Only copies from the original of this survey marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed herein. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

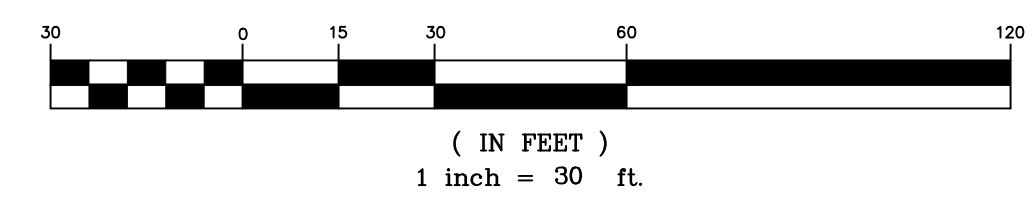
Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

**AS BUILT TOPOGRAPHY  
PREPARED FOR  
TAX LOT 5  
SITUATE IN THE  
TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY, NEW YORK**

SCALE: 1" = 30'

GRAPHIC SCALE



Surveyed: December 31, 2003  
Map Prepared: January 12, 2004  
Map Revised: March 17, 2004 to show additional wetland flags  
Map Revised: March 26, 2004 to show NYSDEC note  
Map Revised: December 17, 2021 to show asbuilt foundation  
Map Revised: February 2, 2024 to show as built topography  
Map Revised: April 22, 2024 to show roof peaks and elevations

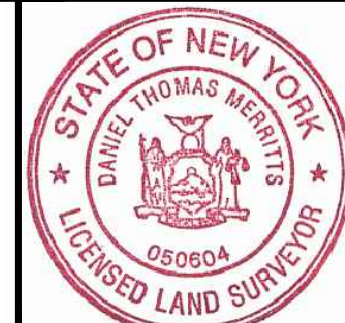
Premises hereon being designated on the Town of North Castle Tax Maps as:  
Section 1, Block 10, Lot 5 - OLD  
Section 109.01 Block 1, Lot 12 - NEW

Surveyed in accordance with Liber 7684, Page 606-607.  
Elevations shown hereon generally in accordance with North American Vertical Datum 88.

COPYRIGHT © 2024  
TC MERRITTS LAND SURVEYORS  
ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR  
ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION  
IS A VIOLATION OF APPLICABLE LAWS.



**TC MERRITTS LAND SURVEYORS**  
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570  
(914) 769-8003 • survey@tcmerritts.com



By: *Daniel T. Merritt*  
New York State Licensed Land Surveyor No. 050604

Project: 03-160	Field Survey By: BFC
Drawn By: DA/BFC	Checked By: DM

6



# TOWN OF NORTH CASTLE

17 Bedford Road

Armonk, N.Y. 10504

914-273-3000 ext. 44 Fax 914-273-3554

Building@northcastleny.com

## BUILDING PERMIT

**Permit No.:** 2020-3191  
**SBL:** 109.01-1-12  
**Zoned:** R-2A  
**Location:** 41 MEAD RD

**Date:** 09/28/2020  
**Expiration Date:** 09/29/2024  
**Cost of Construction:** \$800,000.00  
**Total Fees:** \$11,400.00

**Owner:**  
REAL ESTATE NY LLC  
GUADALUPE  
445 HAMILTON AVE STE 605  
WHITE PLAINS, NY 10601

**Contractor:**  
  
Tapia Home Improvement LLC  
159 Highland St #1  
Port Chester NY 10573

A permit is hereby given by the Building Department, TOWN OF NORTH CASTLE, COUNTY OF WESTCHESTER, for the structure or work described herein.

### Project Description:

ONE FAMILY RESIDENCE INCLUDING RETAINING WALLS, PAVING, DRIVEWAY

Permit Amended 8/26/2022 - Add additional level to approved footprint, add sqft to overall home. Remove roof pop-out, reduce roof height and below zoning to comply. No variance request.

Permit Renewed for 2 Years - 9/29/2022

Permit Amended to include new owner and contractor 6/30/2023

### Required Inspections:

MEETING WITH BLDG. INSPECTOR STOP WORK ORDER STOP WORK ORDER  
FOOTING DRAINS FOUNDATION FOOTING FOOTING FOOTING

### Conditions:

1. The Building permit shall be visibly displayed at the work site and shall remain visible until the authorized work has been inspected and plans must be on site at all times for inspections.
2. All work shall be performed in accordance with the Town of North Castle code, the NYS Uniform code and the construction documents which have been submitted with and accepted as part of the application for the building permit.
3. The permit holder shall immediately notify the Building Inspector of any change occurring during the course of the work. If the Building Inspector determines that such change warrants a new or amended building permit, such change shall not be made until and unless a new or amended building permit reflecting such change is issued.
3. Building permits shall become invalid unless the authorized work is commenced within 12 months following the date of issuance. Building permits shall expire 24 months after the date of issuance and the Town approved plans must be on site at all times.





**Town of North Castle Building Department**

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

**Application for Revision to Approved Plans**

Note: Two (2) sets of construction documents must be submitted with application w/ \$75.00 fee.

Permit #: 2020-3191

Date: 6/30/2023

Project Address: \_\_\_\_\_

41 Mead Road

I understand that this application does not permit the revised work without express consent and approval from the Town of North Castle Building Department.

Applicants Name: FCS Consultants

Applicants Signature: \_\_\_\_\_

Phone #: 914-924-9985

Mobile #: \_\_\_\_\_

E-mail: Peter Miley <fcsconsultants2011@gmail.com>

Architect/ Engineer Name: \_\_\_\_\_

Phone #: \_\_\_\_\_

Mobile #: \_\_\_\_\_

E-mail: \_\_\_\_\_

Description of Revision (In detail):

Change in contractor and owner information:

GUADALUPE REAL ESTATE NY LLC

445 HAMILTON AVE STE 605

WHITE PLAINS, NY 10601

*Tapia Home Improvements LLC  
159 Highland street  
Parchester, NY 10573  
914-882-6202  
info@tapiahomeimprovementsllc.com*

**Office use only**

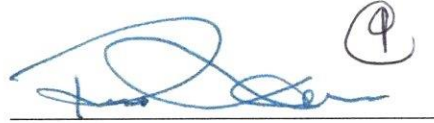
Fee Collected: 75

2 Sets of Plans: \_\_\_\_\_

Reviewed By: Robert M

Bldg. Inspector signoff: \_\_\_\_\_

4. It is the responsibility of the owner or agent to call for all of the required inspections listed on this permit at least one day in advance.
5. Occupancy of these premises is prohibited until after a final inspection has been conducted, all fees have been paid and a Certificate of Occupancy or Compliance has been issued.



---

Rob Melillo  
Building/ Fire Inspector

NEW YORK STATE DEPARTMENT OF STATE  
DIVISION OF CORPORATIONS, STATE RECORDS AND UNIFORM COMMERCIAL CODE  
FILING RECEIPT

ENTITY NAME : GUADALUPE REAL ESTATE NY LLC  
DOCUMENT TYPE : ARTICLES OF ORGANIZATION  
ENTITY TYPE : DOMESTIC LIMITED LIABILITY COMPANY

DOS ID : 6623719  
FILE DATE : 10/25/2022  
FILE NUMBER : 221025003003  
TRANSACTION NUMBER : 202210250003060-1382337  
EXISTENCE DATE : 10/25/2022  
DURATION/DISSOLUTION : PERPETUAL  
COUNTY : WESTCHESTER



SERVICE OF PROCESS ADDRESS : MARCELA YEPES  
445 HAMILTON AVE, SUITE 605,  
WHITE PLAINS, NY, 10601, USA  
FILER : USACORP INC  
325 DIVISION AVE, STE 201  
BROOKLYN, NY, 11211, USA  
SERVICE COMPANY : USACORP  
SERVICE COMPANY ACCOUNT : RW  
CUSTOMER REFERENCE : GURE

You may verify this document online at : <http://ecorp.dos.ny.gov>  
AUTHENTICATION NUMBER : 100002395149

TOTAL FEES:	\$205.00	TOTAL PAYMENTS RECEIVED:	\$205.00
FILING FEE:	\$200.00	CASH:	\$0.00
CERTIFICATE OF STATUS:	\$0.00	CHECK/MONEY ORDER:	\$0.00
CERTIFIED COPY:	\$0.00	CREDIT CARD:	\$0.00
COPY REQUEST:	\$5.00	DRAWDOWN ACCOUNT:	\$205.00
EXPEDITED HANDLING:	\$0.00	REFUND DUE:	\$0.00

**ARTICLES OF ORGANIZATION  
OF  
GUADALUPE REAL ESTATE NY LLC  
Under Section 203 of the Limited Liability Company Law**

- FIRST:** The Name of the limited liability company is: **GUADALUPE REAL ESTATE NY LLC**
- SECOND:** The county, within this state, in which the office of the limited liability company is to be located is **WESTCHESTER**
- THIRD:** The Secretary of State is designated as agent of the limited liability company upon whom process against it may be served. The address within or without this state to which the Secretary of State shall mail a copy of any process against the limited liability company served upon him or her is:  
**MARCELA YEPES  
445 HAMILTON AVE, SUITE 605  
WHITE PLAINS, NY 10601**

I certify that I have read the above statements, I am authorized to sign these Articles of Organization, that the above statements are true and correct to the best of my knowledge and belief and that my signature typed below constitutes my signature.

**MARCELA YEPES (Signature)**

---

**MARCELA YEPES, ORGANIZER**

Filed by:

**USACORP INC  
325 DIVISION AVE  
STE 201  
BROOKLYN, NY 11211**

Filed with the NYS Department of State on 10/25/2022  
Filing Number: 221025003003 DOS ID: 6623719

George Latimer  
Westchester County Executive



James Mahano  
Director, Consumer Protection

## Department of Consumer Protection Home Improvement License

TAPIA HOME IMPROVEMENT LLC  
159 HIGHLAND STREET - #1  
PORT CHESTER, NY-10573

This license is issued in accordance with Article XVI of the Westchester County Consumer Protection Code and is valid only upon presence of the official department seal. Proof of citizenship or immigration status is not required for issuance of this license.  
NOT FOR FEDERAL PURPOSES

License Number

WC-30262-H18



Date of Expiration

01/31/2024



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
04/21/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must have **ADDITIONAL INSURED** provisions or be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Hiscox Inc. 520 Madison Avenue 32nd Floor New York, New York 10022	<b>CONTACT NAME:</b> PHONE (A/C No. Ext): (888) 202-3007      FAX (A/C, No): E-MAIL ADDRESS: contact@hiscox.com	
	<b>INSURER(S) AFFORDING COVERAGE</b> NAIC # INSURER A: Hiscox Insurance Company Inc      10200 INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:	
<b>INSURED</b> TAPIA HOME IMPROVEMENT LLC 159 HIGHLAND ST. 1 Port Chester, NY 10573		

**COVERAGES**      **CERTIFICATE NUMBER:**      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD   WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		P100.023.273.4	01/02/2023	01/02/2024	EACH OCCURRENCE \$ 1,000,000
		DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000				
		MED EXP (Any one person) \$ 5,000				
		PERSONAL & ADV INJURY \$ 1,000,000				
						GENERAL AGGREGATE \$ 2,000,000
						PRODUCTS - COMP/OP AGG \$ 2,000,000
						\$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS					COMBINED SINGLE LIMIT (Ea accident) \$
						BODILY INJURY (Per person) \$
						BODILY INJURY (Per accident) \$
						PROPERTY DAMAGE (Per accident) \$
						\$
	<input type="checkbox"/> <b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED    RETENTION \$					EACH OCCURRENCE \$
						AGGREGATE \$
						\$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N <input type="checkbox"/> N/A				<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

<b>CERTIFICATE HOLDER</b> TOWN OF NORTH CASTLE 17 BEDFORS RD ARMONK, NY 10504	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE
--	--



CERTIFICATE OF INSURANCE COVERAGE
DISABILITY AND PAID FAMILY LEAVE BENEFITS LAW

PART 1. To be completed by Disability and Paid Family Leave Benefits Carrier or Licensed Insurance Agent of that Carrier

1a. Legal Name & Address of Insured (use street address only)
TAPIA HOME IMPROVEMENT LLC
159 HIGHLAND ST APT 1
PORT CHESTER, NY 10573
1b. Business Telephone Number of Insured
(914) 882-6202
1c. Federal Employer Identification Number of Insured or Social Security Number
352610426
2. Name and Address of Entity Requesting Proof of Coverage
TOWN OF NORTH CASTLE
17 BEDFORD RD
ARMONK, NY 10504
3a. Name of Insurance Carrier
New York State Insurance Fund (NYSIF)
3b. Policy Number of Entity Listed in Box "1a"
DBL 7046 06 - 4
3c. Policy effective period
03/22/2023 to 03/22/2024

4. Policy provides the following benefits:
[X] A. Both disability and paid family leave benefits
[ ] B. Disability benefits only
[ ] C. Paid family leave benefits only
5. Policy covers:
[X] A. All of the employer's employees eligible under the NYS Disability and Paid Family Leave Benefits Law
[ ] B. Only the following class or classes of employer's employees:

Under penalty of perjury, I certify that I am an authorized representative or licensed agent of the insurance carrier referenced above and that the named insured has NYS Disability and/or Paid Family Leave Benefits insurance coverage as described above.

Date Signed 4/26/2023 By Kristin Markwica
(Signature of insurance carrier's authorized representative or NYS Licensed Insurance Agent of that insurance carrier)
Telephone Number (866) 697-4332 Name and Title Kristin Markwica, Head of Disability Insurance Unit

IMPORTANT: If Box 4A and 5A are checked, and this form is signed by the insurance carrier's authorized representative or NYS Licensed Insurance Agent of that carrier, this certificate is COMPLETE. Mail it directly to the certificate holder.
If Box 4B, 4C or 5B is checked, this certificate is NOT COMPLETE for purposes of Section 220, Subd. 8 of the NYS Disability and Paid Family Leave Benefits Law. It must be mailed for completion to the Workers' Compensation Board, DB Plans Acceptance Unit, PO Box 5200, Binghamton, NY 13902-5200

PART 2. To be completed by the NYS Workers' Compensation Board (Only if Box 4C or 5B of Part 1 has been checked)

State of New York
Workers' Compensation Board
According to information maintained by the NYS Workers' Compensation Board, the above-named employer has complied with the NYS Disability and Paid Family Leave Benefits Law with respect to all of his/her employees.
Date Signed \_\_\_\_\_ By \_\_\_\_\_
(Signature of Authorized NYS Workers' Compensation Board Employee)
Telephone Number \_\_\_\_\_ Name and Title \_\_\_\_\_

Please Note: Only insurance carriers licensed to write NYS disability and paid family leave benefits insurance policies and NYS licensed insurance agents of those insurance carriers are authorized to issue Form DB-120.1. Insurance brokers are NOT authorized to issue this form.



New York State Insurance Fund

PO Box 66699, Albany, NY 12206

| nysif.com

### CERTIFICATE OF WORKERS' COMPENSATION INSURANCE



SCAN TO VALIDATE AND SUBSCRIBE

\*\*\*\*\* 352610426  
TAPIA HOME IMPROVEMENT LLC  
159 HIGHLAND ST APT 1  
PORT CHESTER NY 10573

**POLICYHOLDER**  
TAPIA HOME IMPROVEMENT LLC  
159 HIGHLAND ST APT 1  
PORT CHESTER NY 10573

**CERTIFICATE HOLDER**  
TOWN OF NORTH CASTLE  
17 BEDFORD RD  
ARMONK NY 10504

<b>POLICY NUMBER</b> W2438 582-5	<b>CERTIFICATE NUMBER</b> 250639	<b>POLICY PERIOD</b> 03/01/2023 TO 03/01/2024	<b>DATE</b> 4/21/2023
-------------------------------------	-------------------------------------	--	--------------------------

THIS IS TO CERTIFY THAT THE POLICYHOLDER NAMED ABOVE IS INSURED WITH THE NEW YORK STATE INSURANCE FUND UNDER POLICY NO. 2438 582-5, COVERING THE ENTIRE OBLIGATION OF THIS POLICYHOLDER FOR WORKERS' COMPENSATION UNDER THE NEW YORK WORKERS' COMPENSATION LAW WITH RESPECT TO ALL OPERATIONS IN THE STATE OF NEW YORK, EXCEPT AS INDICATED BELOW, AND, WITH RESPECT TO OPERATIONS OUTSIDE OF NEW YORK, TO THE POLICYHOLDER'S REGULAR NEW YORK STATE EMPLOYEES ONLY.

**IF YOU WISH TO RECEIVE NOTIFICATIONS REGARDING SAID POLICY, INCLUDING ANY NOTIFICATION OF CANCELLATIONS, OR TO VALIDATE THIS CERTIFICATE, VISIT OUR WEBSITE AT [HTTPS://WWW.NYSIF.COM/CERT/CERTVAL.ASP](https://www.nysif.com/cert/certval.asp). THE NEW YORK STATE INSURANCE FUND IS NOT LIABLE IN THE EVENT OF FAILURE TO GIVE SUCH NOTIFICATIONS.**

THIS POLICY DOES NOT COVER THE SOLE PROPRIETOR, PARTNERS AND/OR MEMBERS OF A LIMITED LIABILITY COMPANY.

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS NOR INSURANCE COVERAGE UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICY.

NEW YORK STATE INSURANCE FUND

DIRECTOR,INSURANCE FUND UNDERWRITING

VALIDATION NUMBER: 765470169





**Town of North Castle**  
**17 Bedford Road**  
**Armonk, N.Y. 10504**  
914-273-3000 ext. 44 Fax 914-273-3554  
Building@northcastleny.com

## **ADMINISTRATIVE WETLAND PERMIT**

**Permit No.:** 2020-3192

**SBL:** 109.01-1-12

**Zoned:** R-2A

**Location:** 41 MEAD RD

**Date:** 09/28/2020

**Expiration Date:** 09/28/2022

**Total Fees:** \$

**Owner:**

GREENWICH HOLDINGS LLC JP  
15 EAST PUTNAM AVE STE. 143  
GREENWICH, CT 06830

A permit is hereby given by the Building Department, TOWN OF NORTH CASTLE, COUNTY OF WESTCHESTER, for the structure or work described herein.

**Project Description:**

ONE FAMILY RESIDENCE INCLUDING RETAINING WALLS, PAVING, DRIVEWAY

**Additional Conditions:**

**Conditions:**

1. No activity shall be permitted within wetlands or within the regulated wetland buffer area, except as approved herein.
2. Five days, advance notice must be given to the Town Wetland Consultant (914-273-2323) and Building Inspector (914-273-3000 ext. 44) prior to commencement of work.
3. Prior to any land disturbance activities, all sediment and erosion controls shall be installed in the work area to the satisfaction of the Town Building Inspector.
4. All work shall be performed in accordance with the "Erosion Control Standards", as set forth in Chapter 340 "Wetlands and Watercourse Protection" and Chapter 267 "Stormwater Management" of the Town Code. The Westchester County Best Management Practices Manual on Construction Related Activities shall be used to provide guidelines for design and implementation of all erosion and sediment control devices.
5. Periodic site inspections will be conducted by the Town Wetland Consultant to confirm continued compliance with the conditions of this Wetland Permit Approval.

Rob Melillo  
Building/ Fire Inspector



**Town of North Castle**  
**17 Bedford Road**  
**Armonk, N.Y. 10504**  
914-273-3000 ext. 44 Fax 914-273-3554  
Building@northcastleny.com

## **TREE PERMIT**

**Permit No.:** 2020-3193  
**SBL:** 109.01-1-12  
**Zoned:** R-2A  
**Location:** 41 MEAD RD

**Date:** 09/28/2020  
**Expiration Date:** 12/27/2020  
**Total Fees:** \$  
**Total Trees:**

**Owner:**  
JP GREENWICH HOLDINGS LLC  
41 MEAD RD  
ARMONK, NY 10504

A permit is hereby given by the Building Department, TOWN OF NORTH CASTLE, COUNTY OF WESTCHESTER, for the structure or work described herein.

### **Project Description:**

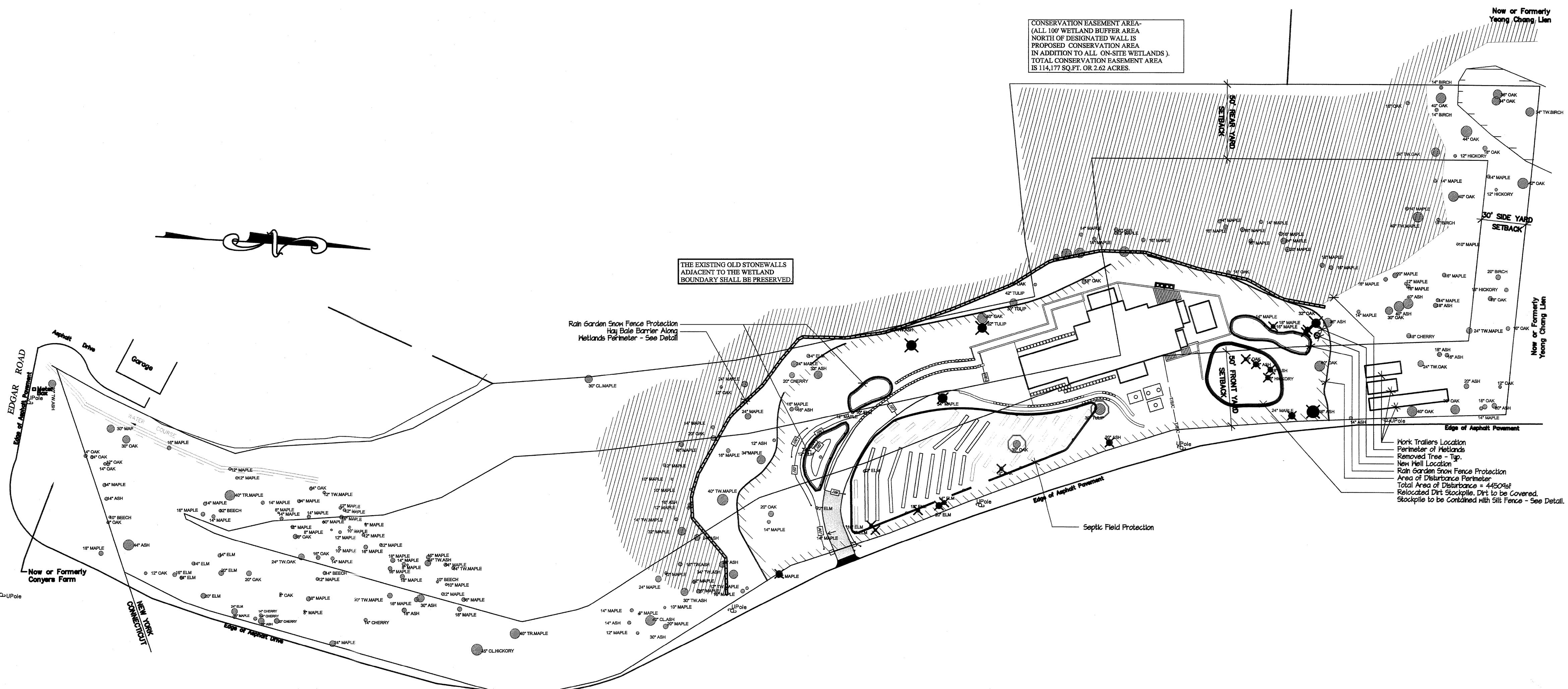
Tree Removal for One Family House

### **Required Inspections:**

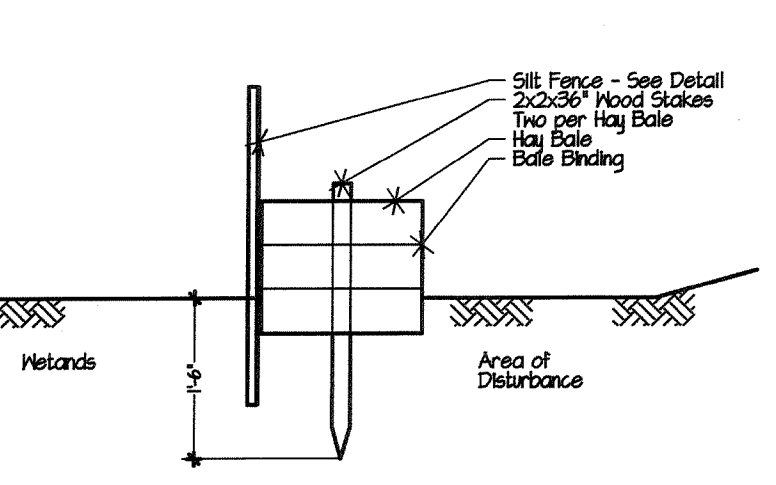
### **Conditions:**

1. All work shall be performed in accordance with the Town of North Castle code, the NYS Uniform code and the construction documents which have been submitted with and accepted as part of the application for the building permit.
2. The permit holder shall immediately notify the Building Inspector of any change occurring during the course of the work. If the Building Inspector determines that such change warrants a new or amended building permit, such change shall not be made until and unless a new or amended building permit reflecting such change is issued.
3. Building permits shall become invalid unless the authorized work is commenced within 12 months following the date of issuance. Building permits shall expire 24 months after the date of issuance.
4. It is the responsibility of the owner or agent to call for all of the required inspections listed on this permit at least one day in advance.

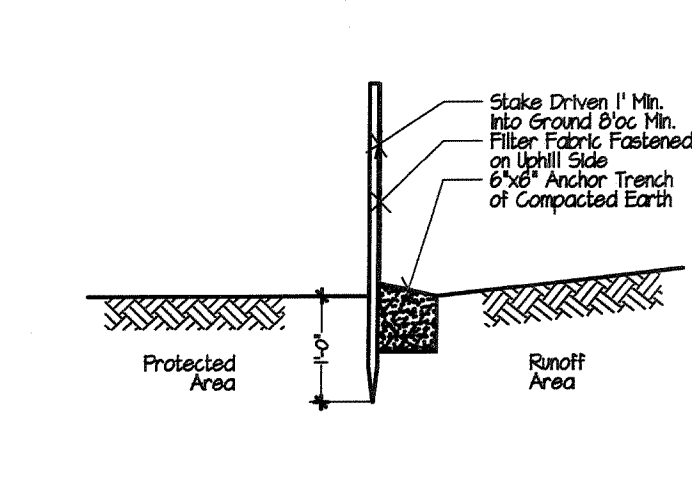
Rob Melillo  
Building/ Fire Inspector



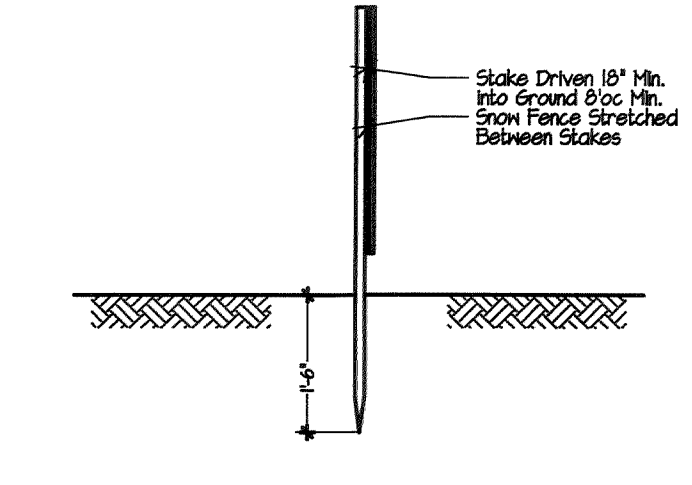
**Site Plan**  
Scale: 1" = 20'



**Hay Bale Barrier Detail**  
Not To Scale



**Silt Fence Detail**  
Not To Scale



**Snow Fence Detail**  
Not To Scale

CONSERVATION EASEMENT AREA (ALL 100' WETLAND BUFFER AREA NORTH OF DESIGNATED WALL IS PROPOSED CONSERVATION AREA IN ADDITION TO ALL ON-SITE WETLANDS). TOTAL CONSERVATION EASEMENT AREA IS 114,177 SQ. FT. OR 2.62 ACRES.

THE EXISTING OLD STONE WALLS ADJACENT TO THE WETLAND BOUNDARY SHALL BE PRESERVED.

Mark Trailers Location  
Perimeter of Wetlands  
Removed Tree - Top  
New Well Location  
Rain Garden Snow Fence Protection  
Area of Disturbance Perimeter  
Total Area of Disturbance = 4400sqft  
Relocated DIT Stakepile DPT to be Covered.  
Stakepile to be Contained with 5ft Fence - See Detail.

TOWN OF NORTH CASTLE  
BUILDING DEPARTMENT  
REVISED PLANS  
BY: [Signature]  
DATE: 8/26/21  
PERMIT #: 2020-3191

**Zoning Conformance Table**

R-2A ZONING DISTRICT	REQUIRED/PERMITTED	EXISTING/PROVIDED	COMPLIANCE
MINIMUM LOT SIZE	2 Acres	3.48 Acres	YES
FRONTAGE	MIN 150 FT	475 FT +/-	YES
LOT WIDTH	MIN 150 FT	475 FT +/-	YES
LOT DEPTH	MIN 150 FT	225 FT +/-	YES
FRONT YARD	50 FT	50 FT	YES
SIDE YARD	30 FT	200 FT	YES
REAR YARD	30 FT	31 FT	NO**
BUILDING HEIGHT	30 FT	28.42 FT	YES
MAX PERMITTED FLOOR AREA	13574.5 SF	12324.5 SF	YES
TOTAL MAX GROSS LAND COVER <sup>1,2</sup>	14136.1 SF	4406.25 SF	YES

**Building Mean Height Calculations**

EAST (FRONT) BUILDING ELEVATION HEIGHTS:  
LEFT SIDE - 29'-5"  
RIGHT SIDE - 33'-5"  
MEAN BUILDING ELEVATION HEIGHTS:  
LEFT SIDE - 31'-5"  
RIGHT SIDE - 29'-5"  
SOUTH (LEFT) BUILDING ELEVATION HEIGHT:  
BUILDING HEIGHT - 29'-5"  
NORTH (RIGHT) BUILDING ELEVATION HEIGHT:  
BUILDING HEIGHT - 33'-5"  
SUMMARY:  
MEAN BUILDING HEIGHT:  
(29'-5" + 33'-5")/2 = 29'-5"  
MEAN BUILDING HEIGHT = 28.42'

**Drawing Index**

- 1 of 17 SITE PLAN
- 2 of 17 GROSS LAND COVER<sup>1,2</sup>
- 3 of 17 FLOOR AREA RATIO
- 4 of 17 BASEMENT FLOOR PLAN
- 5 of 17 FIRST FLOOR PLAN
- 6 of 17 SECOND FLOOR PLAN
- 7 of 17 ROOF PLAN
- 8 of 17 ELEVATIONS
- 9 of 17 ELEVATIONS
- 10 of 17 SECTION
- 11 of 17 BASEMENT FRAMING PLAN
- 12 of 17 FIRST FLOOR FRAMING PLAN
- 13 of 17 SECOND FLOOR FRAMING PLAN
- 14 of 17 BASEMENT ELECTRICAL PLAN
- 15 of 17 FIRST FLOOR ELECTRICAL PLAN
- 16 of 17 SECOND FLOOR ELECTRICAL PLAN
- 17 of 17 DETAILS

**2020 Residential Code of New York State**

Climatic & Geographic Design Criteria Table R802.01												
Ground Snow Load	Wind Design Speed (mph)	Topographic Effects	Special Wind Regions	Wind-Borne Debris Zone	Seismic Design Category	Subject to Damage From Hailstorms	Terminale	Winter Design Snow	Ice Shed Potential	Flood Hazard	Air Freezing Index	Mean Annual Temperature
30 psf	15 mph	No	Yes	Zone 1	B	Square	12"	Very Heavy	100%	Yes	5000 or Less	50 F

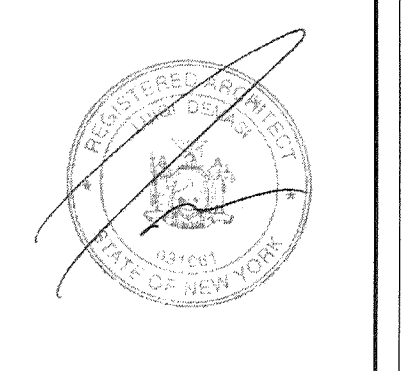
  

Manual J Design Criteria						
Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Difference
210	42° 11'	None	None	12	72	60

Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Convective Heat Loss	Daily Range	Winter Humidity	Summer Humidity
12	-	-	12	H	-	-

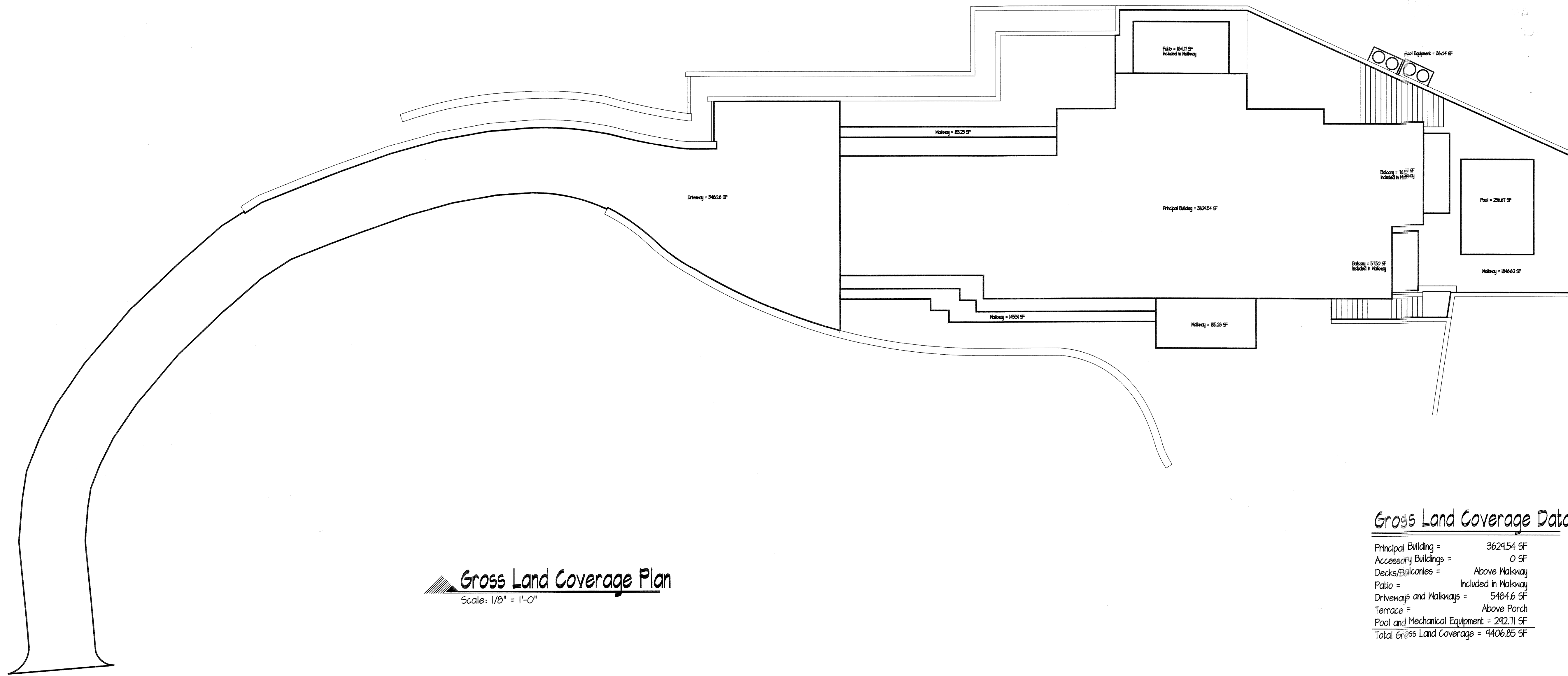
Do Not Scale/Prints  
DeMasi Architects P.C.  
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
PHONE: (914) 666-3858  
EMAIL: Lou@DemasiArchitects.com



These plans are the property of the Architect. Any use or reproduction of these plans without proper attribution will be responsible to the Architect.  
These plans are not valid for a building permit unless a copy of these plans and sealed by the Architect and a fee for the construction of any structure using the plans above shows appears on the plans.

Residence For  
41 Mead Road  
North Castle, NY

No Observatory 1/13/21  
Revision Date  
Date May 20, 2022  
Job No 222-062  
Drawing 1 of 17



**Gross Land Coverage Plan**  
Scale: 1/8" = 1'-0"

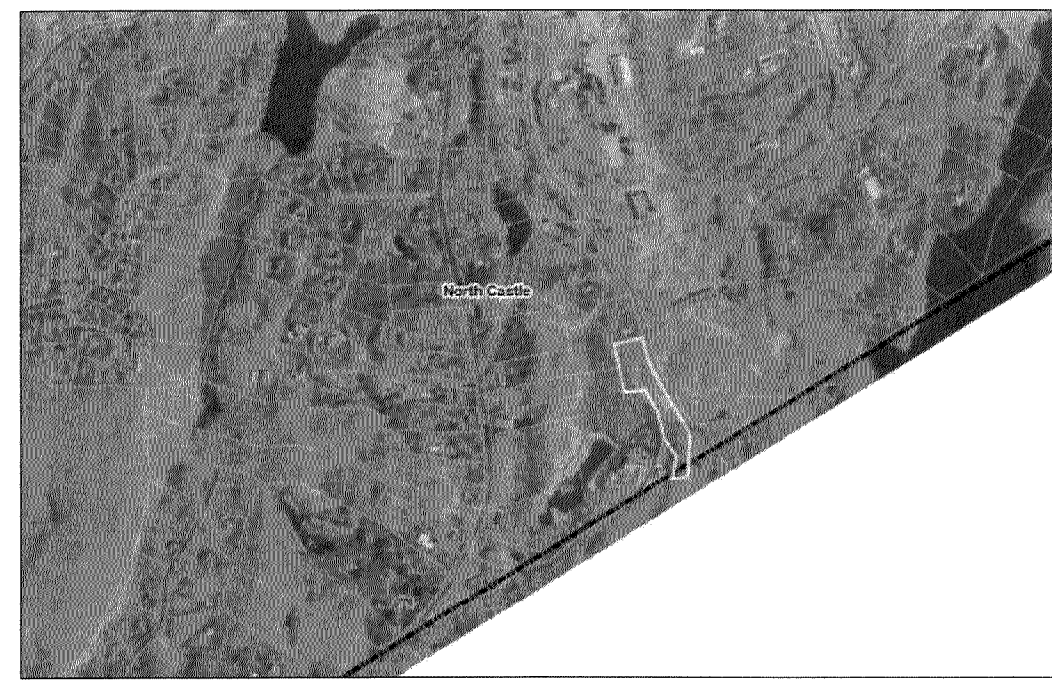
**Gross Land Coverage Data**

Principal Building =	362954 SF
Accessory Buildings =	0 SF
Decks/Balconies =	Above Walkway
Patio =	Included in Walkway
Driveways and Walkways =	5484.6 SF
Terrace =	Above Porch
Pool and Mechanical Equipment =	292.11 SF
<b>Total Gross Land Coverage =</b>	<b>4406.65 SF</b>

These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. Any person or corporation using these plans for any purpose other than that intended by the Architect without the written consent of the Architect is liable for any and all damages and costs incurred by the Architect and its agents. These plans are not valid for construction without the approval of the local authorities. The Architect and its agents are not responsible for any errors or omissions on the plans.

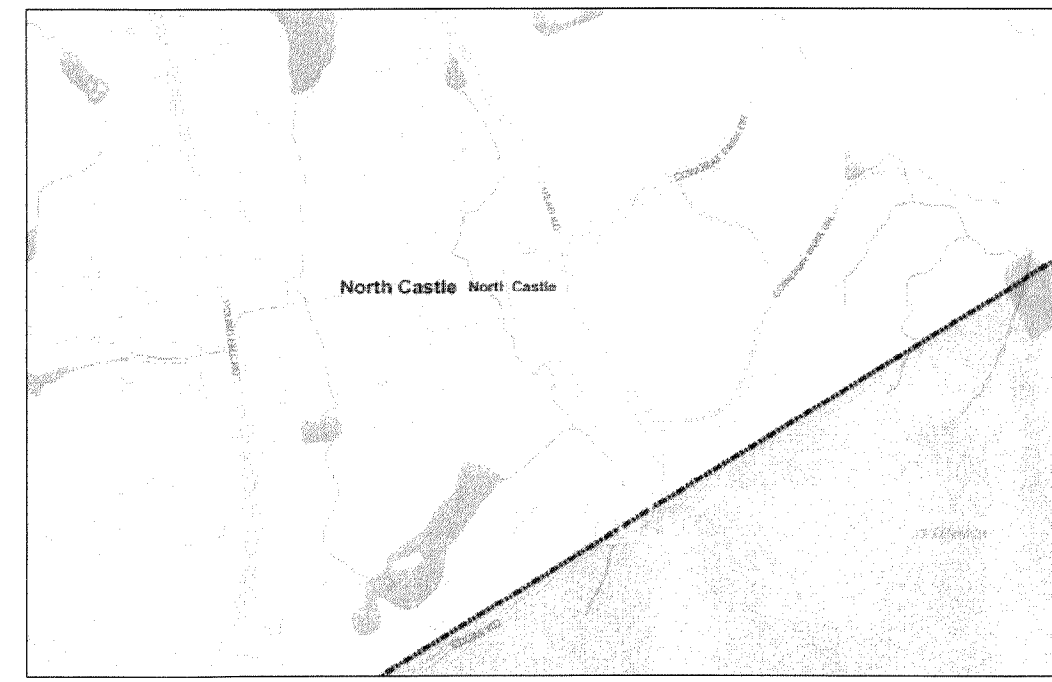
**Aerial Photo**

Not to Scale



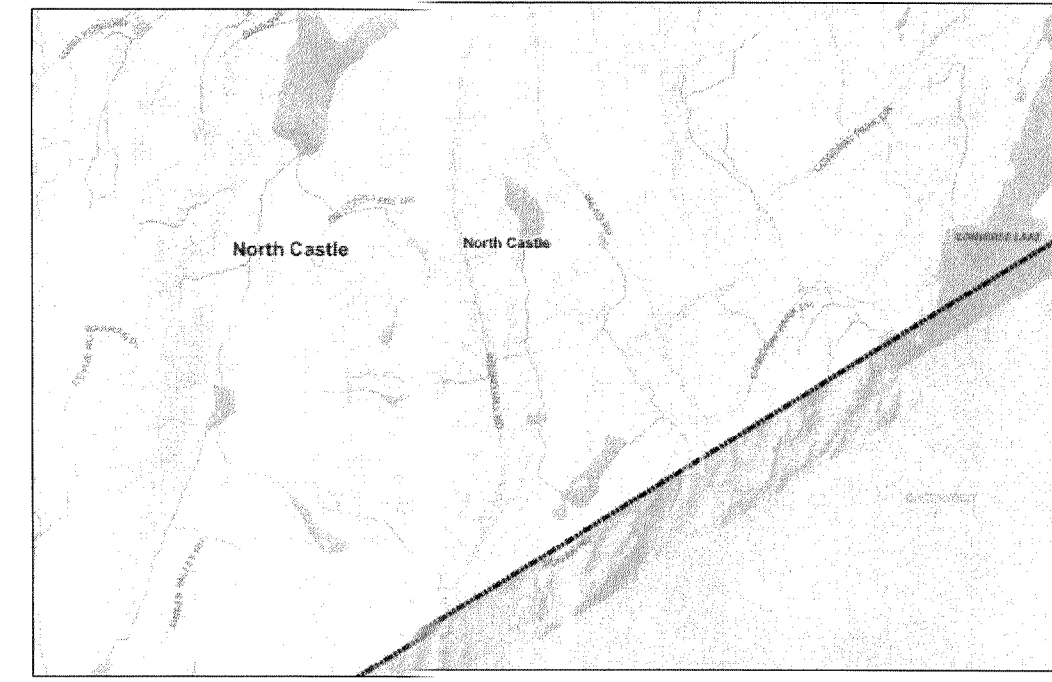
**Property Map**

Not to Scale



**Locator Map**

Not to Scale



Residence For

**41 Mead Road  
North Castle, NY**

No Observatory	7/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062

Drawing

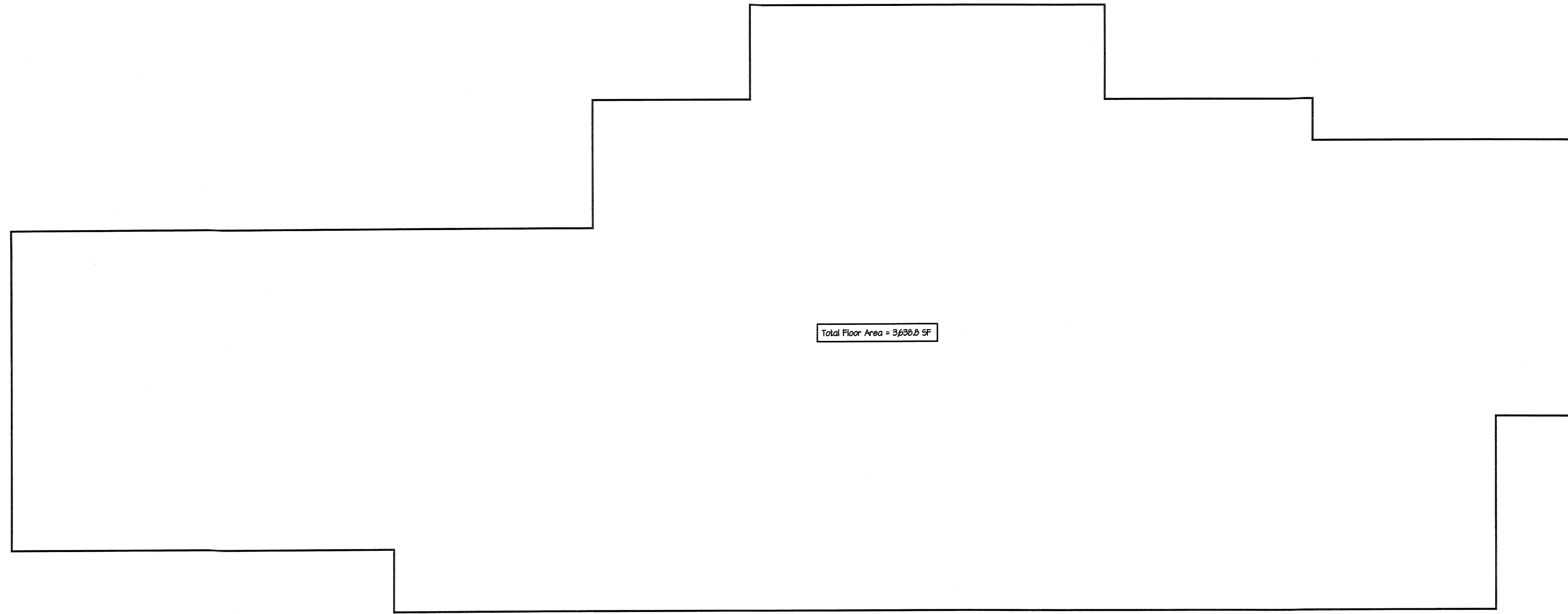
**2** OF **17**

**DeMasi Architects P.C.**  
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549

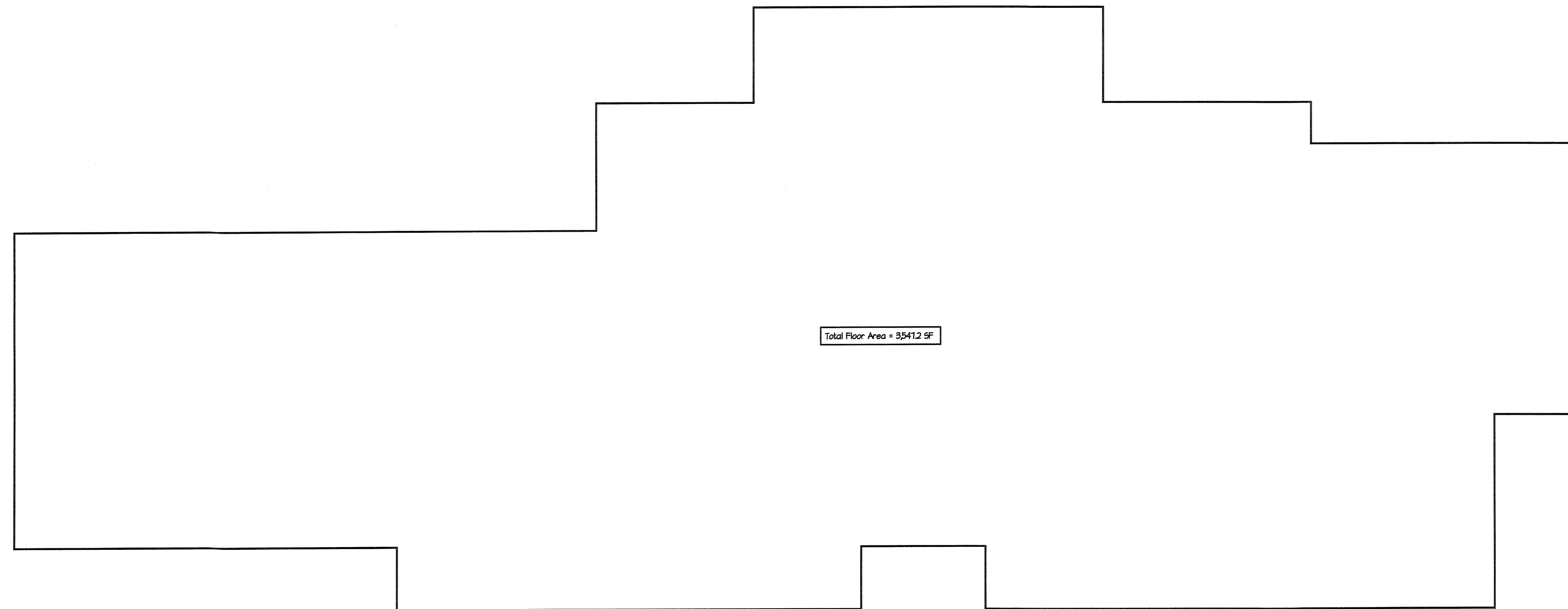
PHONE: (914) 666-3858  
EMAIL: [Lov@DemasiArchitects.com](mailto:Lov@DemasiArchitects.com)



Do Not Scale Prints

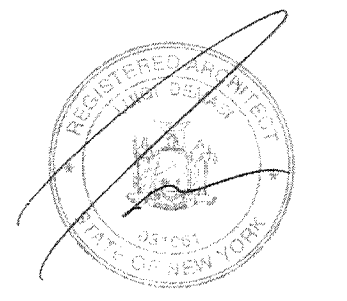


**Floor Area Plan - First Floor & Second Floor**  
 Scale: 1/4" = 1'-0"



**Floor Area Plan - Lower Level**  
 Scale: 3/16" = 1'-0"

**DeMasi Architects P.C.**  
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
 PHONE: (914) 666-3050 EMAIL: [Low@DemasiArchitects.com](mailto:Low@DemasiArchitects.com)






These plans are the property of the Architect. Any use or reproduction of these plans without the written consent of the Architect is prohibited. Any person or corporation using these plans without proper authorization will be responsible to compensate the Architect.  
 These plans are not valid for an additional permit unless originally stamped and issued by the Architect, and are for the construction of one structure only by the person whose name appears on the plans.

**Residence For**  
**41 Mead Road**  
**North Castle, NY**

No Observatory	7/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062

Drawing  
 3 of 7

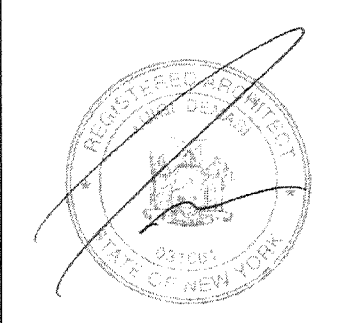
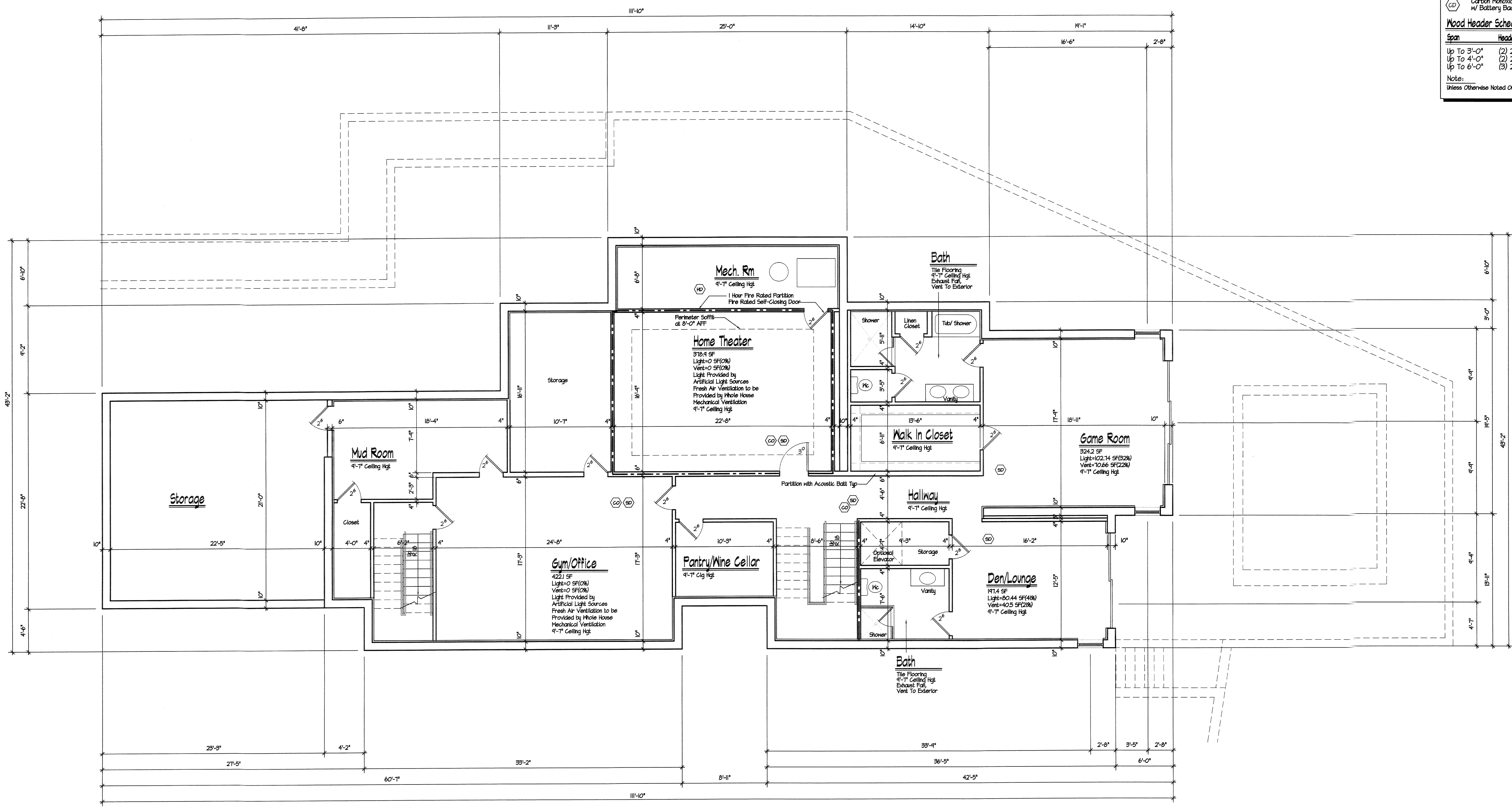
**Notes:**  
 All Footings To Bear On Solid Undisturbed Earth  
 All Framing Members To Be # 2 Douglas Fir - Larch Or Better  
 Double Frame Under All Partitions Parallel To Framing  
 Double All Box Joist At Ceiling Type Windows

**Legend:**  
 (4) 2 x Wood Column or As Noted  
 Smoke Detector w/ Battery Back-Up  
 Carbon Monoxide Detector w/ Battery Back-Up

**Wood Header Schedule**

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

Note:  
 Unless Otherwise Noted On Plans

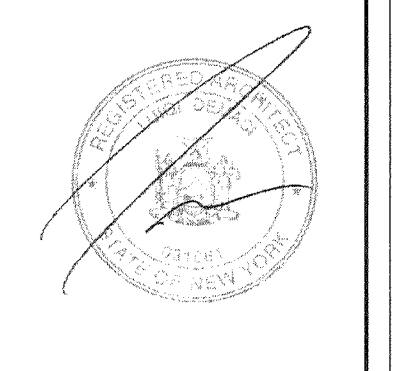


These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. The Architect assumes no responsibility for any errors or omissions on these plans. The Architect is not responsible for any conditions that may arise from the use of these plans.

Residence For  
**41 Mead Road**  
**North Castle, NY**

No Observatory	7/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062

**Basement Plan**  
 Scale: 3/16" = 1'-0"



These plans are the property of DeMasi Architects P.C. Any use of these plans without the written authorization of DeMasi Architects P.C. is prohibited. Any person or organization using these plans without proper authorization will be responsible to compensate DeMasi Architects P.C.

These plans are not valid for a building permit unless originally signed and sealed by the Architect and/or for the construction of any structure only by the person whose name appears on the plans.

<b>Residence For</b>	
<b>41 Mead Road</b>	
<b>North Castle, NY</b>	
No Observatory	7/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062
Drawing	5 of 17

- Window Note:**
- All Glazing To Be Low "E" Insulated Glass w/ Minimum R-3.1 (U=0.32).
  - All Windows Within 18" Of Floor To Have Tempered Glass (Double Hang's-Bottom Sash Only, All Others Full Unit).
  - All Glazing In Doors & Windows Enclosing Hot Tubs, whirlpools, Saunas, Steam Rooms, Bathtubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
  - All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 SF Total w/ 24" min. Clear Opening Height & 20" min. Clear Width. Refer To Manufacturers Specifications For All Other Information.
  - All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.

- Fireplace Note:**
- Pre-Fab Direct Vent Fireplace w/ 36" Opening. The Surround To Wood Header w/ Flush Tile Needs Provide Temp. Glass Dr's & Provide Clos. Outside Air Intake Duct Provide Gas Insert.  
Contractor To Maintain 2" Min. Clearance To Combustible Members From All Masonry Masons As Per Building Code.

**Notes:**

All Framing Members To Be # 2 Douglas Fir-Larch Or Better. Double Frame Under All Partitions Parallel To Framing.

If The Floor Is To Be HDJ Job Consult Architect For Additional Framing Required.

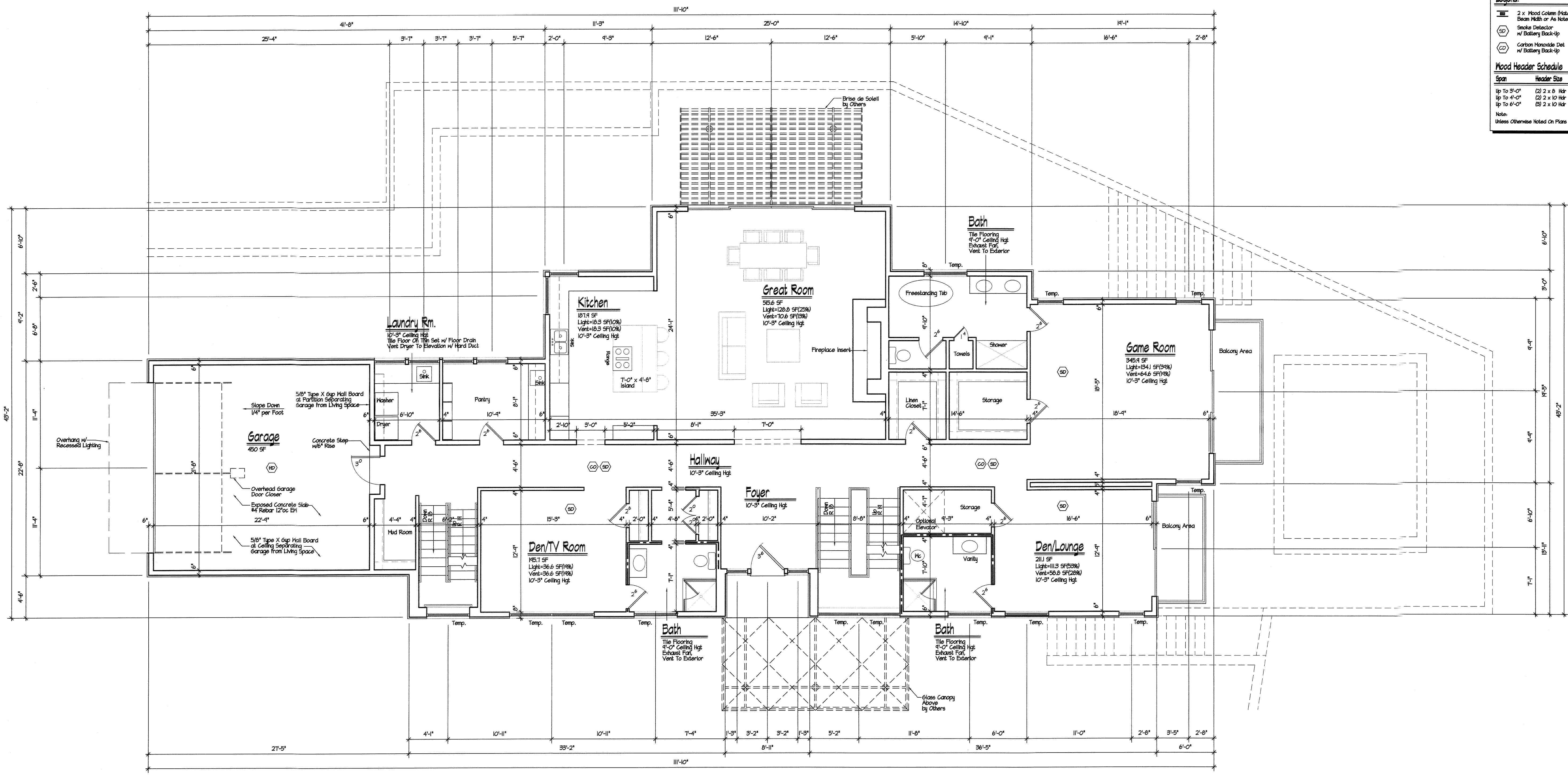
**Legend:**

- 2 x Wood Column (Match Beam Width or As Noted)
- Shoals Detector w/ Battery Back-up
- Carbon Monoxide Det w/ Battery Back-up

**Wood Header Schedule**

Span	Header Size
Up To 3'-0"	(2) 2 x 6 Hor
Up To 4'-0"	(2) 2 x 10 Hor
Up To 6'-0"	(3) 2 x 10 Hor

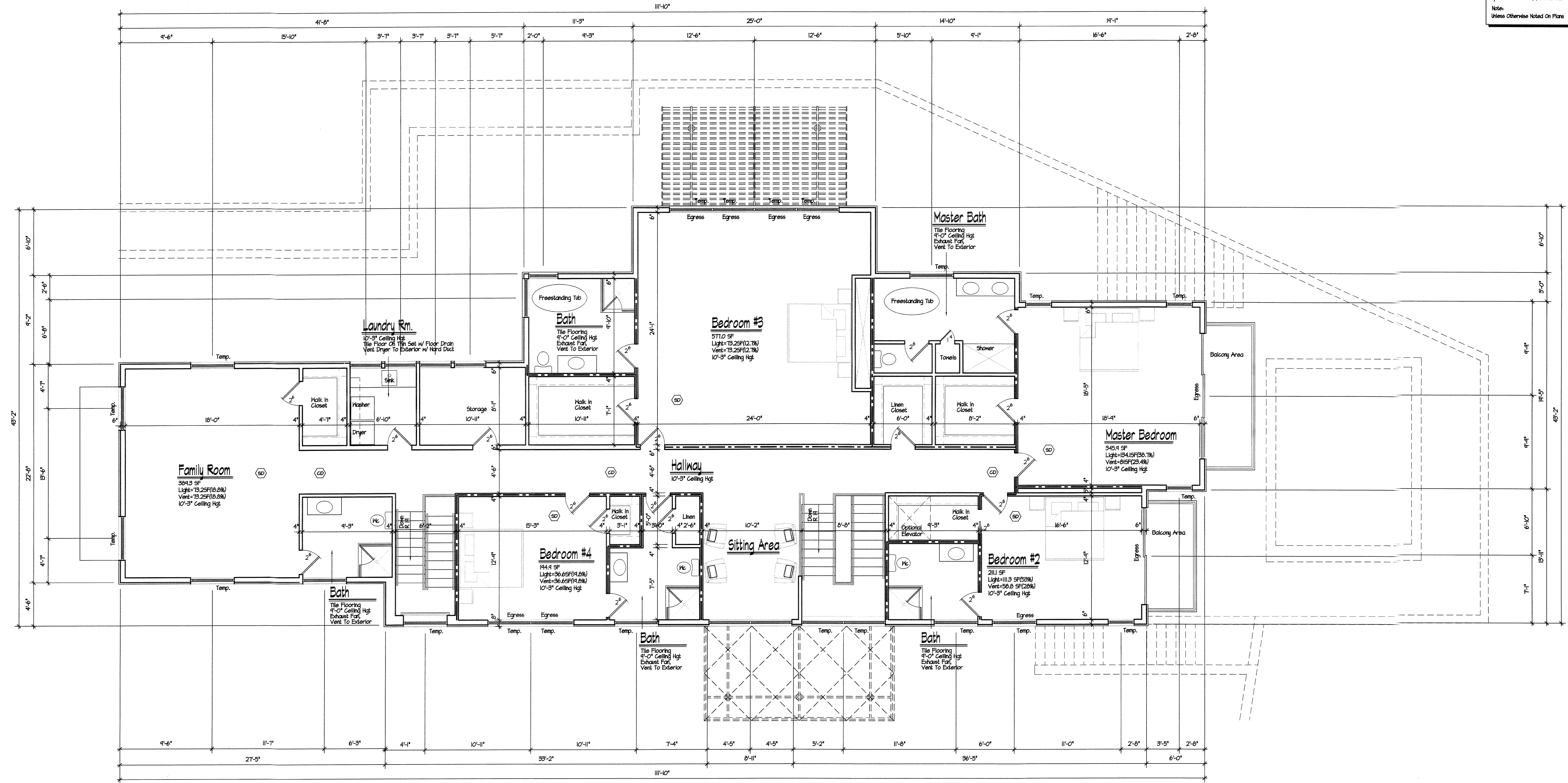
Note: Unless Otherwise Noted On Plans



**First Floor Plan**  
Scale: 3/16" = 1'-0"

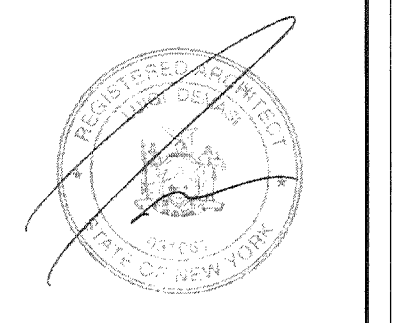
- Window Note:**
- All Glazing To Be Low E<sup>3</sup> Insulated Glass w/ Minimum R-3 (U=0.32).
  - All Windows Within 18" Of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
  - All Glazing In Doors & Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
  - All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 SF Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
  - All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.

- Notes:**
- All Framing Members To Be # 2 Douglas Fir-Larch Or Better Double Frame Under All Partitions Parallel To Framing  
If The Floor Is To Be HD Job Consult Architect For Additional Framing Required
- Legend:**
- 2 x Hood Column Match Beam Wall or As Noted
  - Smoke Detector w/ Battery Back-up
  - Carbon Monoxide Det w/ Battery Back-up
- Mood Header Schedule**
- | Spzn        | Header Size    |
|-------------|----------------|
| Up To 5'-0" | (2) 2 x 8 Hat  |
| Up To 4'-0" | (2) 2 x 10 Hat |
| Up To 6'-0" | (3) 2 x 10 Hat |
- Note: Unless Otherwise Noted On Plans



**Second Floor Plan**  
Scale: 3/16" = 1'-0"

**DeMasi Architects P.C.**  
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
PHONE: (914) 666-3858  
EMAIL: [Love@DemasiArchitects.com](mailto:Love@DemasiArchitects.com)



These plans are the property of the architect. Any reproduction or use of these plans without the written consent of the architect is prohibited. Any person or corporation using these plans without proper authorization will be responsible to compensate the architect.

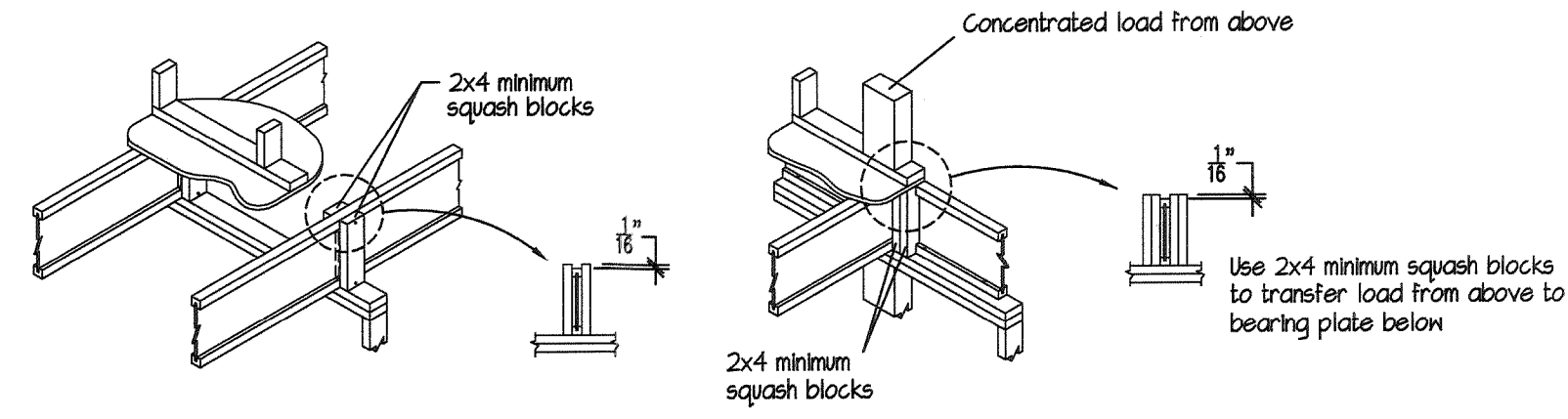
These plans are not valid for a building permit unless the original design and construction of the building and the construction of any structure shall be the person whose name appears on the plans.

Residence For  
**41 Mead Road  
North Castle, NY**

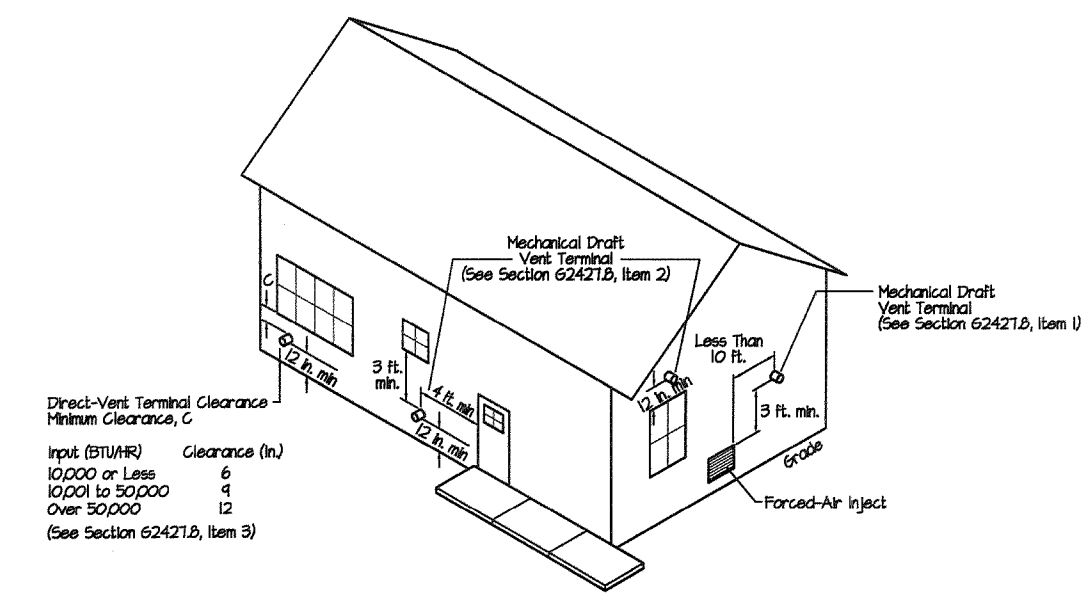
No Observatory	7/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062
Drawing	6 of 17

Do Not Scale Prints

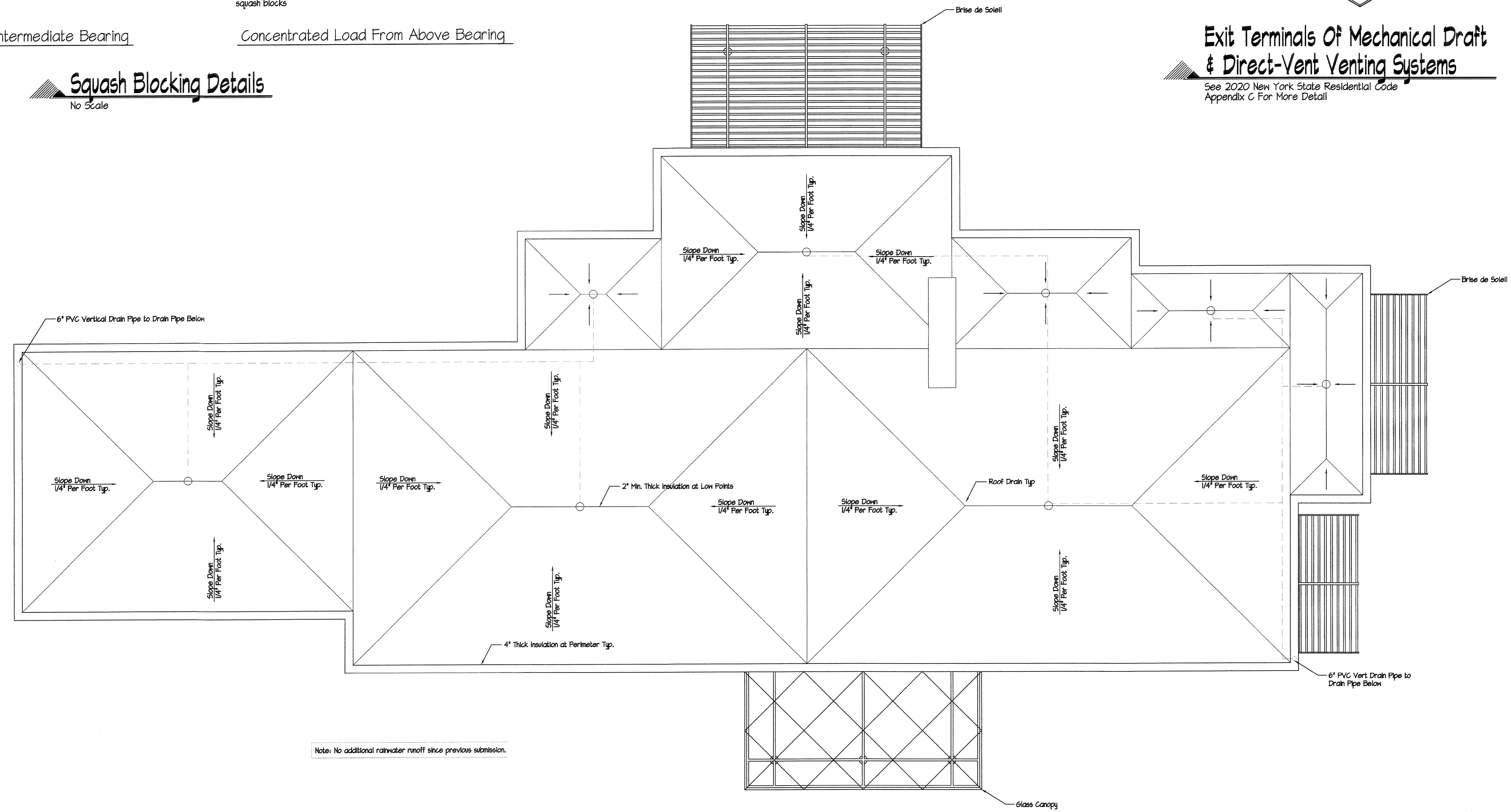




**Squash Blocking Details**  
No Scale



**Exit Terminals of Mechanical Draft & Direct-Vent Venting Systems**  
See 2020 New York State Residential Code Appendix C For More Detail



Note: No additional rainwater runoff since previous submission.

**Root Plan**  
Scale: 3/16" = 1'-0"

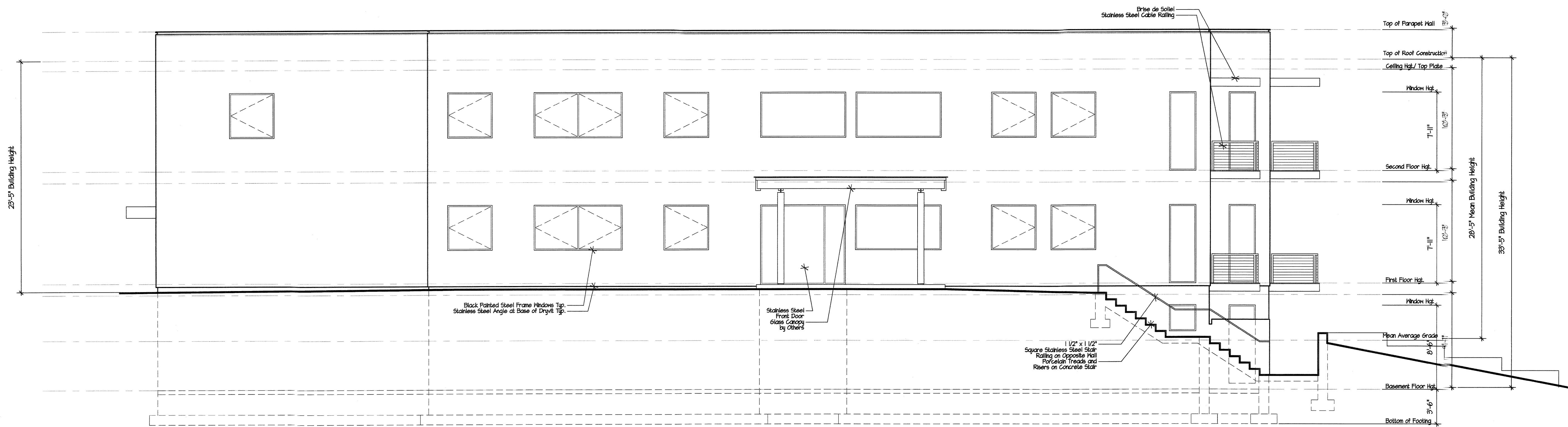
- Roofing Note:**
1. Tapered Insulation to be Fomular XPS Tapered Insulation by Owens Corning. Tapered Insulation to be 1/4" per Ft. Min Insulation. Contractor to Verify Average Minimum R30 R Value.
  2. Roofing Aggregate to 1" Roofing Ballast ASTM D 448 by Schofield Stone.
  3. Suggested Roof Slopes and Drain Locations are to be Verified and Coordinated by Roofing Contractor See 2/A501 for Typical Roof Drain Detail.
  4. Drain Pipes are to be Run Between Joist and/or in Dropped Ceiling Cavity. Any Holes Required in Joist to Comply with Joist Manufacturer Requirements.
  5. Run 4" PVC Drain Pipe in Ceiling Cavity to Drain Leader Locations Indicated on SLOI.



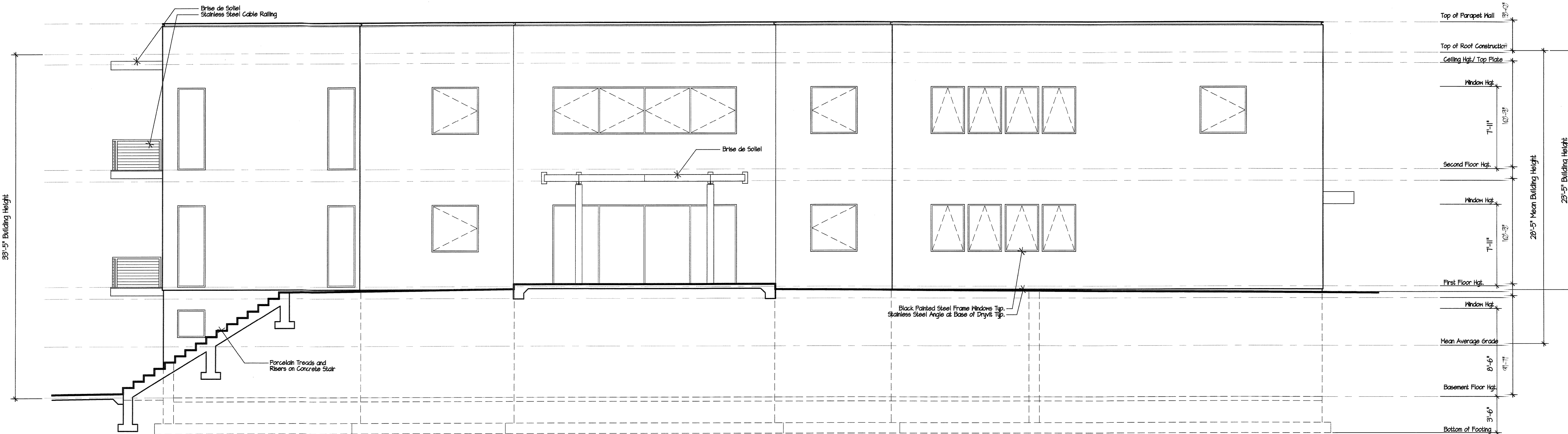
These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. The Architect and/or contractor shall be responsible for compliance with all applicable codes and regulations. The Architect makes no representation or warranty as to the accuracy of the information provided on these plans. The contractor shall be responsible for the construction of any structure only by the person whose name appears on the plans.

Residence For  
**41 Mead Road  
North Castle, NY**

No Observatory	7/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062
Drawing	7 OF 17



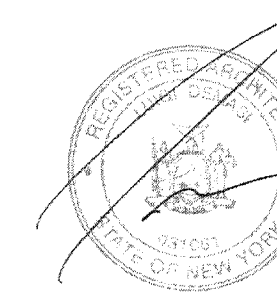
**Front Elevation**  
Scale: 3/16" = 1'-0"



**Rear Elevation**  
Scale: 3/16" = 1'-0"

**DeMasi Architects P.C.**  
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549

PHONE: (914) 666-3858 EMAIL: Low@DemasiArchitects.com



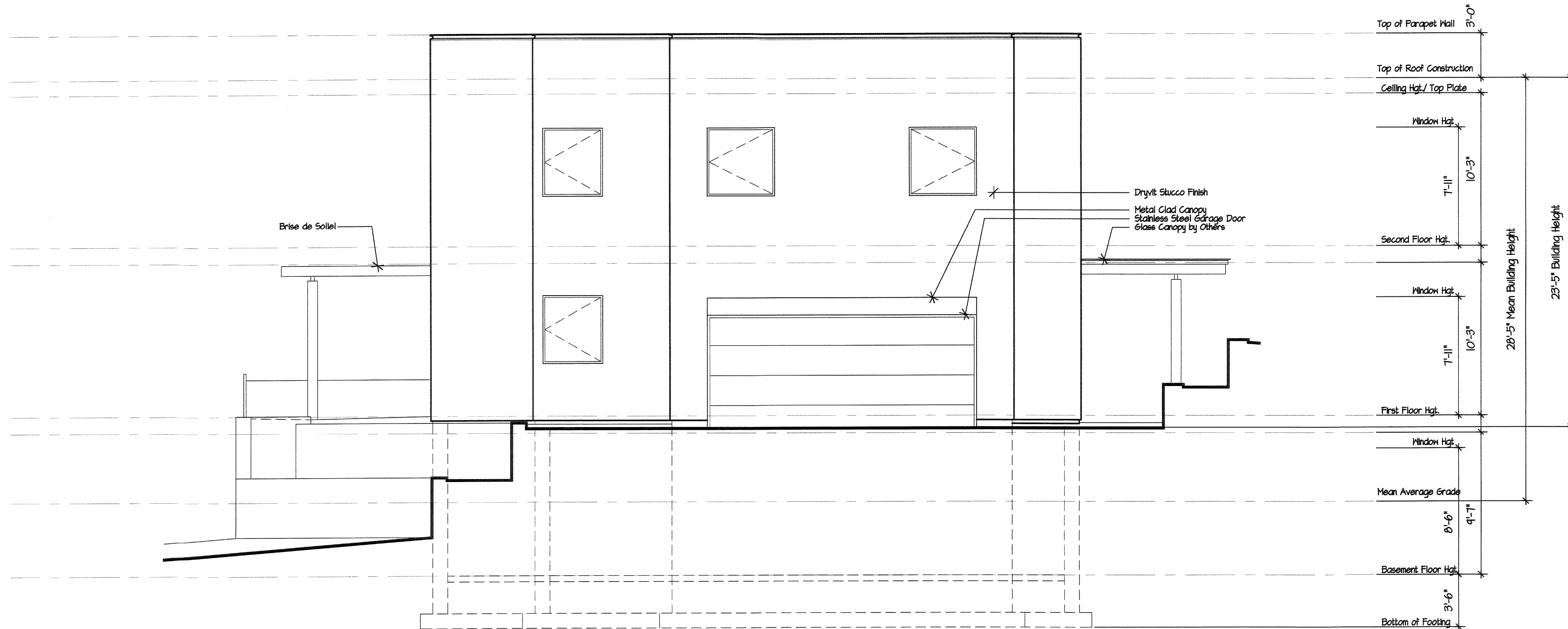
These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization using names without proper attribution will be responsible to compensate the Architect.  
These plans are not valid for a building permit unless originally signed and sealed by the Architect and part for the construction of any structure, only the person whose name appears on the plans.

Residence For  
**41 Mead Road  
North Castle, NY**

No Observatory	7/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062

Drawing  
8 OF 17

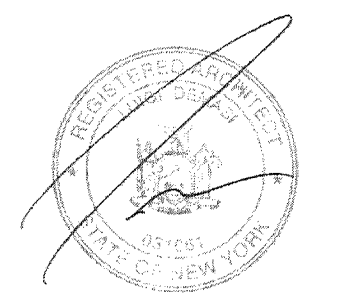
Do Not Scale Prints



**Left Elevation**  
Scale: 3/16" = 1'-0"



**Right Elevation**  
Scale: 3/16" = 1'-0"



These plans are the property of the Architect. Any use or reproduction of these plans without the written consent of the Architect is prohibited. Any person or corporation using these plans without proper authorization will be responsible to compensate the Architect.  
These plans are not valid for a building permit unless originally signed and sealed by the Architect and are for the construction of one structure only by the person whose name appears on the plans.

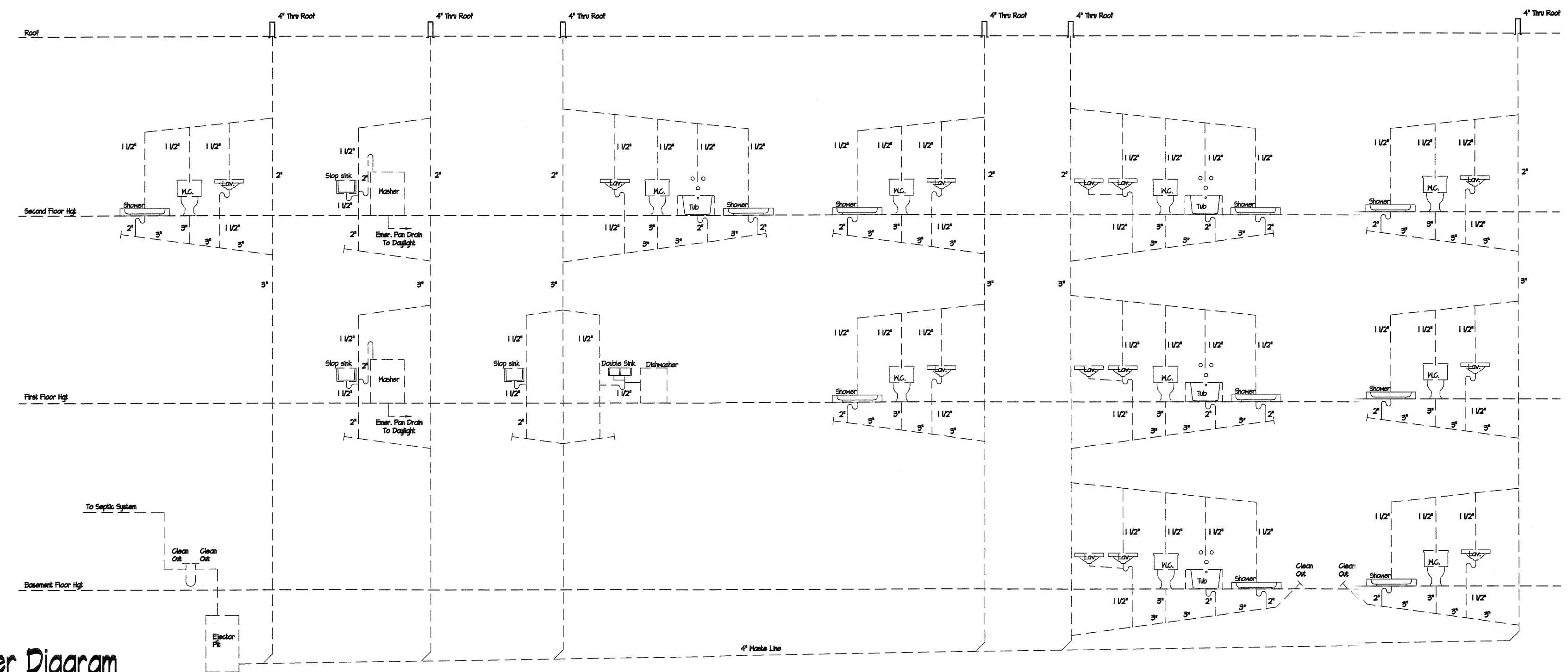
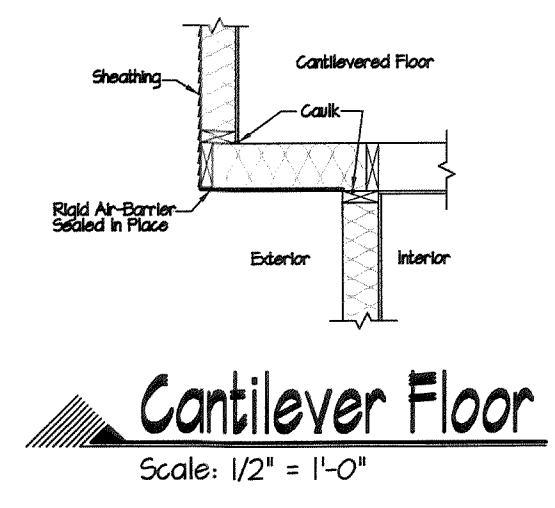
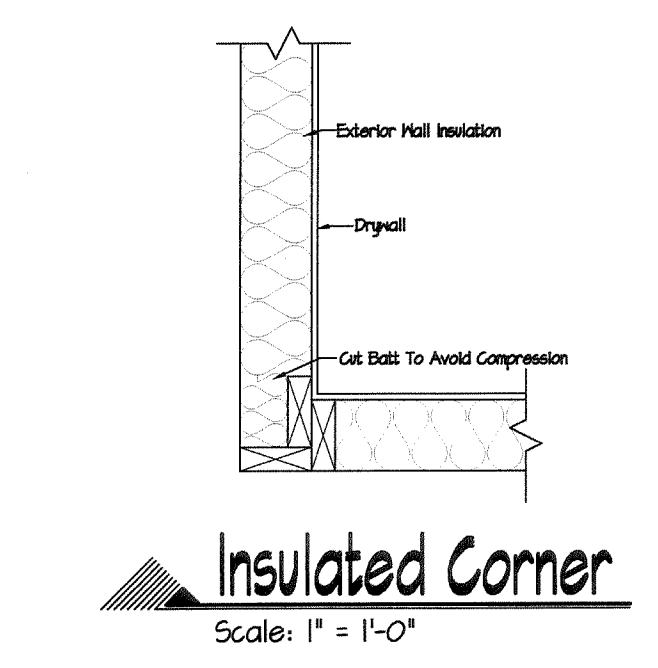
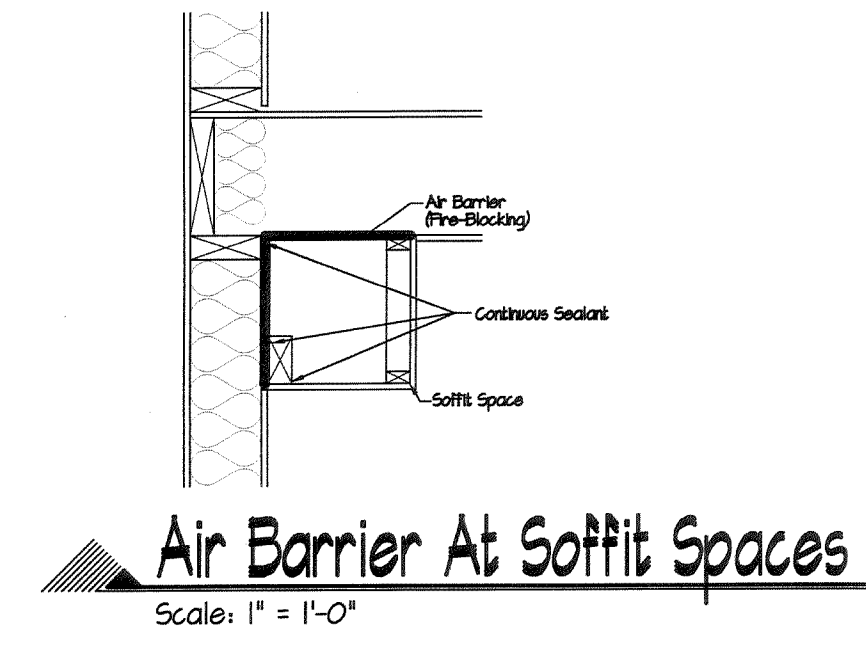
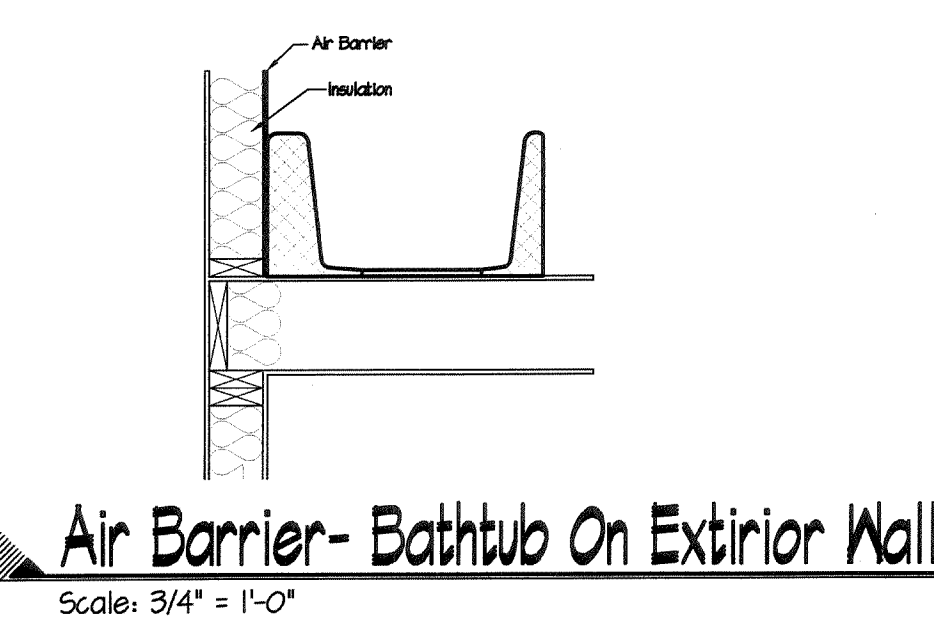
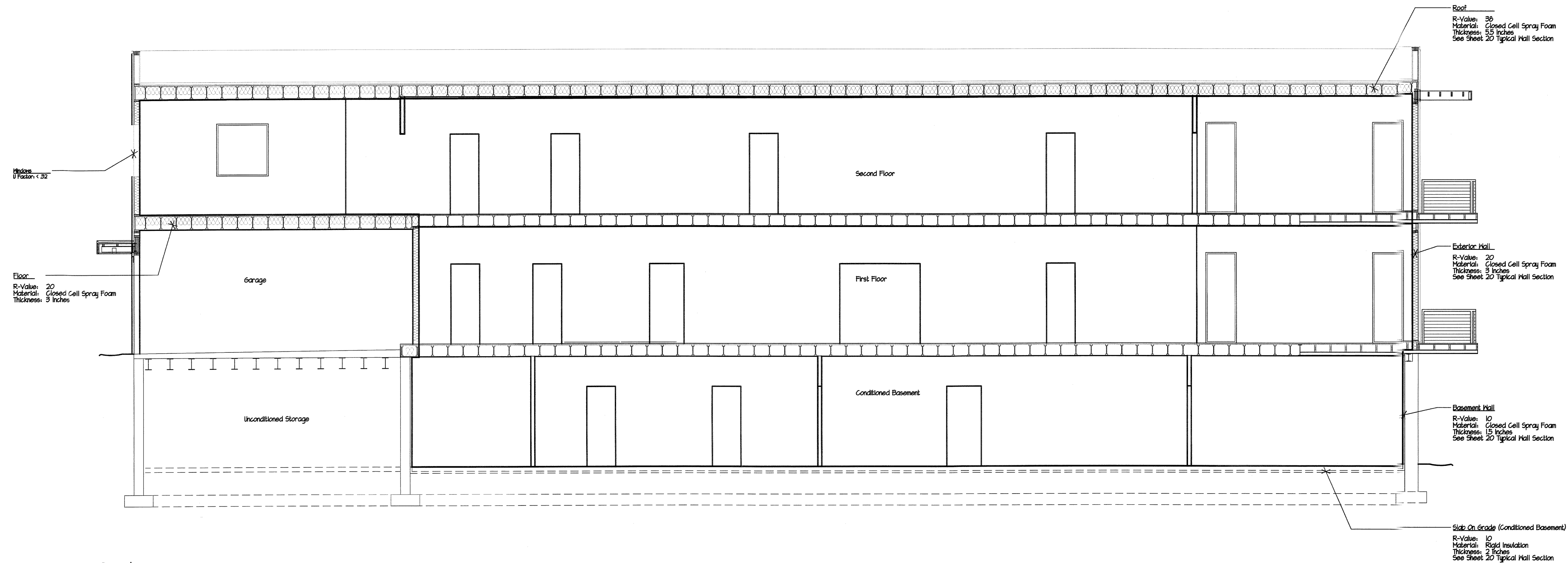
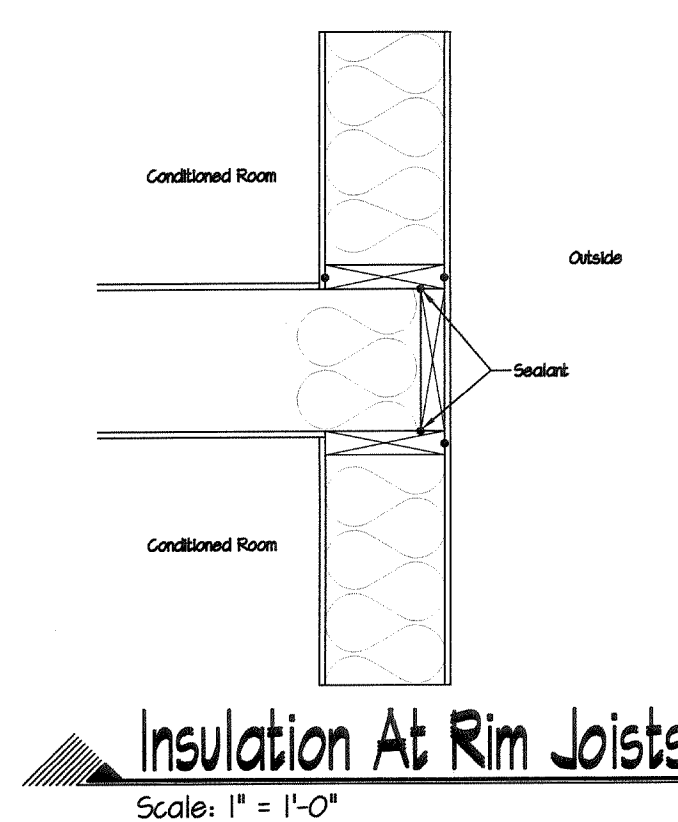
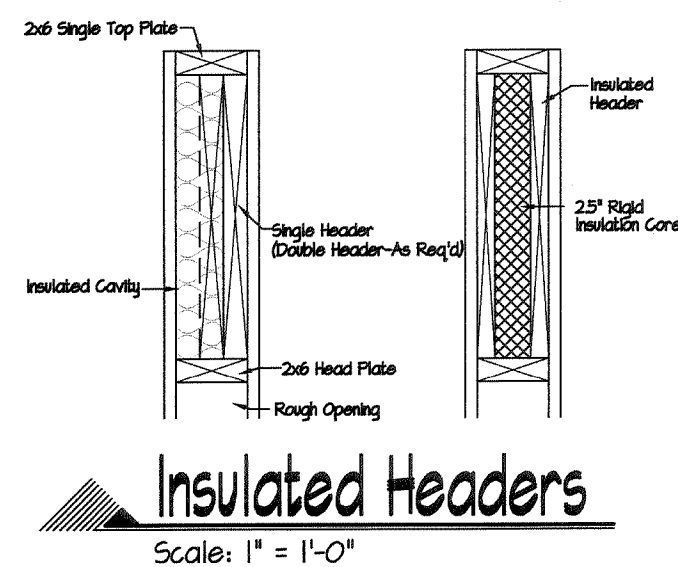
**Residence For**  
**41 Mead Road**  
**North Castle, NY**

No Observatory	1/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062
Drawing	9 OF 17

**DeMasi Architects P.C.**  
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
PHONE: (914) 666-3858  
EMAIL: [Lova@DemasiArchitects.com](mailto:Lova@DemasiArchitects.com)

Do Not Scale Prints

<p><b>Box 1: Compliance Options</b> Select The Compliance Option:</p> <ul style="list-style-type: none"> <li>Prescriptive R-Value Method (NY Table R602.1.2)</li> <li>Prescriptive U-Value Alternative (NY Table R602.1.4)</li> <li>Total In Alternative Methods Or Equivalent Report Attached</li> <li>Standard Performance Alternative Energy Code Reported Attached</li> </ul> <p>All Projects Shall Meet Sections Designated As "Mandatory" In The EBCOMTS</p>	<p><b>Box 2: Duct Leakage Testing</b> Select One Of Duct Leakage Testing Options Below:</p> <ul style="list-style-type: none"> <li>Exempt From Test- HVAC System Is Completely Within The Thermal Envelope</li> <li>Rough-In Test With Air Handler Installed</li> <li>Rough-In Test With Air Handler Installed</li> <li>Post-Construction Test</li> </ul> <p>All Duct Leakage Tests Shall Be Total Leakage Tests A Signed Testing Report Shall Be Provided To The Code Official</p>	<p><b>Box 3: Air Sealing Verification</b> Select One Of The Envelope Air Leakage Testing Options Below:</p> <ul style="list-style-type: none"> <li>Dwelling Unit Envelope Air Leakage (D.U. AQL) (See Table R602.1.1)</li> <li>Optional Testing Procedure For Buildings With Two Or More Dwelling Units</li> <li>Dwelling Unit Envelope Air Leakage (D.U. AQL) (Enclosure Surface Area Building With More Than Seven Dwelling Units Select One)</li> <li>Each Unit Will Be Tested At 1.03 CFM/ft<sup>2</sup> Enclosure Surface Area</li> <li>Sealing Per (NY) R602.1</li> </ul> <p>A Signed Testing Report Shall Be Provided To The Code Official In Addition To The Air Leakage Testing, All Applicable Air Barrier And Insulation Installation Criteria Per Table R602.1.1 Shall Be Met.</p>	<p><b>Box 4: Lighting Efficiency</b> Lighting In Dwelling Units</p> <ul style="list-style-type: none"> <li>At Least 40% Of Lamps In Permanently Installed Fixtures Will Be High-Efficiency (E.A. LED And T-8 Or Narrow Linear Fluorescent)</li> </ul>
--	---	--	---

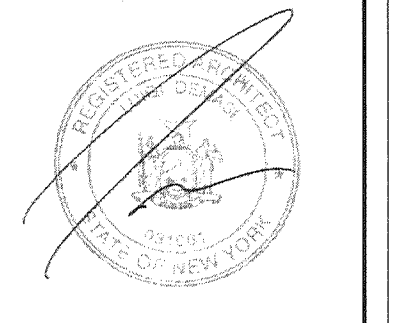


**Plumbing Riser Diagram**  
Scale: None

Riser diagram taken from "2020 Residential Code Of New York State" Figure N5, Refer to diagram for all other information.

Note:  
Plumbing riser diagram shown is generic, and should be used only for informational purposes. Plumbing contractor to install plumbing system as per state & local building codes.  
See Section P2409 For Sizing Of Supply Pipes & Additional Info.

**DeMasi Architects P.C.**  
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10541  
PHONE: (914) 666-3050  
EMAIL: Lou@DemasiArchitects.com



These plans are the property of the architect. Any use or reproduction in whole or in part without the written authorization of the architect is prohibited. Any person who reproduces or uses any plans without proper authorization will be responsible to compensate the architect.

These plans are not valid for a building permit unless the contractor of the structure has approved the plans.

Residence For

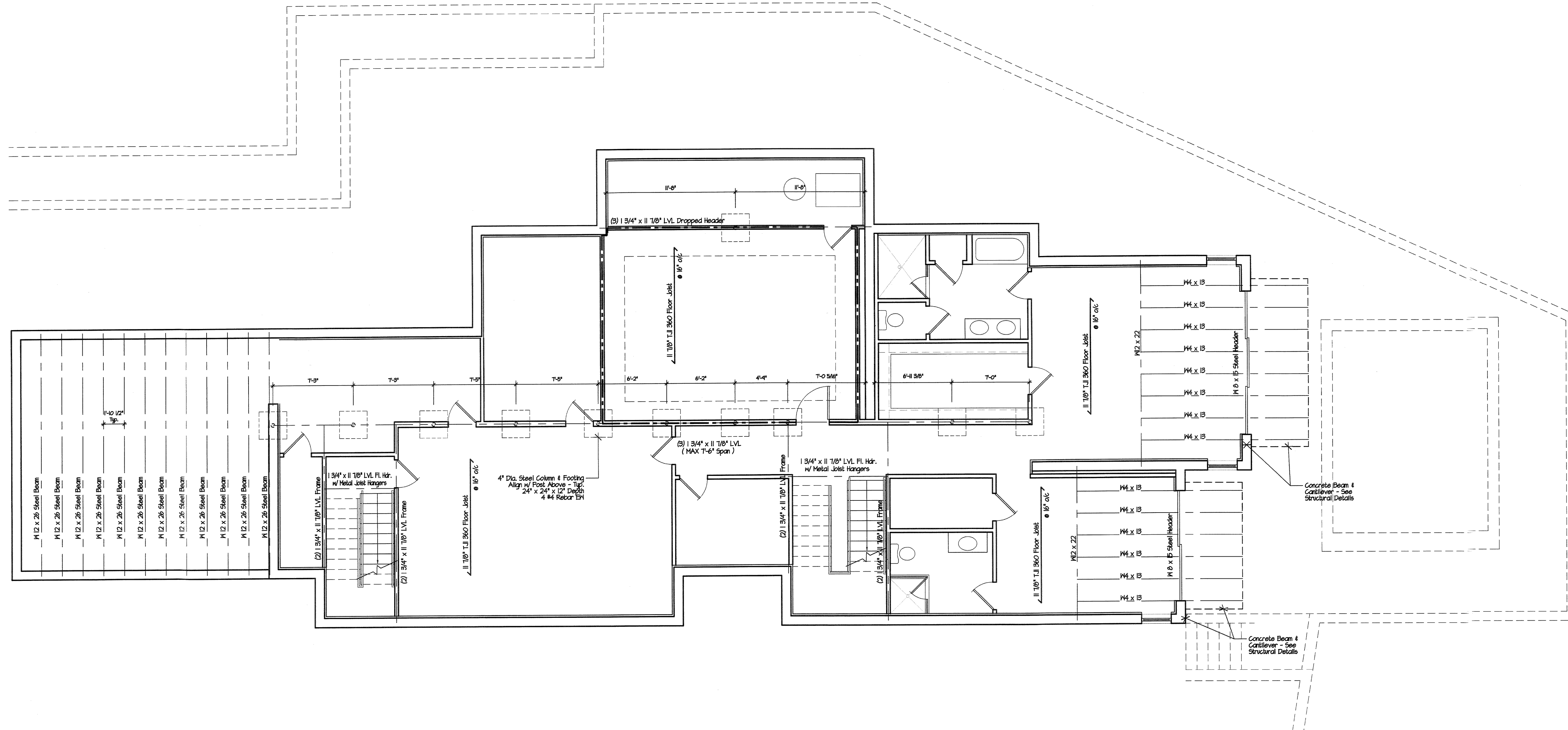
**41 Mead Road  
North Castle, NY**

No Observatory	7/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062
Drawing	10 of 17

Do Not Scale Prints

**Basement Framing Plan**

Scale: 3/16" = 1'-0"



Residence For

**41 Mead Road  
North Castle, NY**

No Observatory 7/13/21

Revision Date

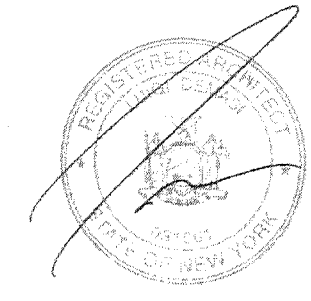
Date May 20, 2022

Job No 222-062

Drawing

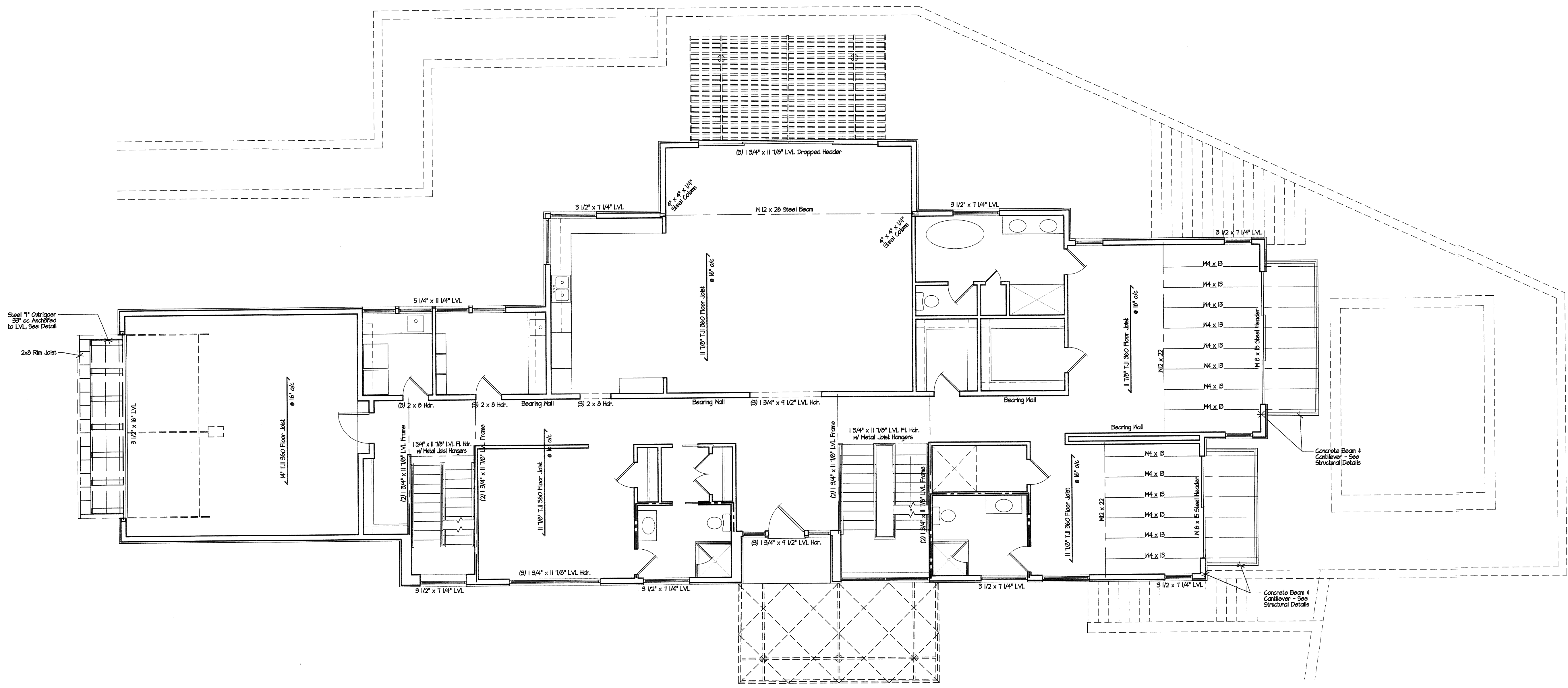
11 OF 17

These plans are the property of the Architect. Any use or reproduction of these plans without the prior written consent of the Architect is prohibited. Any person or corporation who copies, reproduces, or distributes these plans without the prior written consent of the Architect shall be held responsible for any and all damages, including reasonable attorney's fees, that may be incurred by the Architect. These plans are not to be used for any other project without the prior written consent of the Architect. The Architect and the Engineer are not responsible for the construction of the structure shown on these plans.



**DeMasi Architects P.C.**  
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10541  
PHONE: (914) 666-3956  
EMAIL: [Love@DemasiArchitects.com](mailto:Love@DemasiArchitects.com)

Do Not Scale Prints



Steel I<sup>o</sup> Ostriger  
33' oc, Anchored  
to LVL, See Detail

2x8 Rim Joist

**First Floor Framing Plan**  
Scale: 3/16" = 1'-0"

Do Not Scale Prints

**DeMasi Architects P.C.**  
105 59TH AVENUE, MOUNT KISCO, NEW YORK 10544  
PHONE: (914) 666-3858  
EMAIL: [Lou@DemasiArchitects.com](mailto:Lou@DemasiArchitects.com)



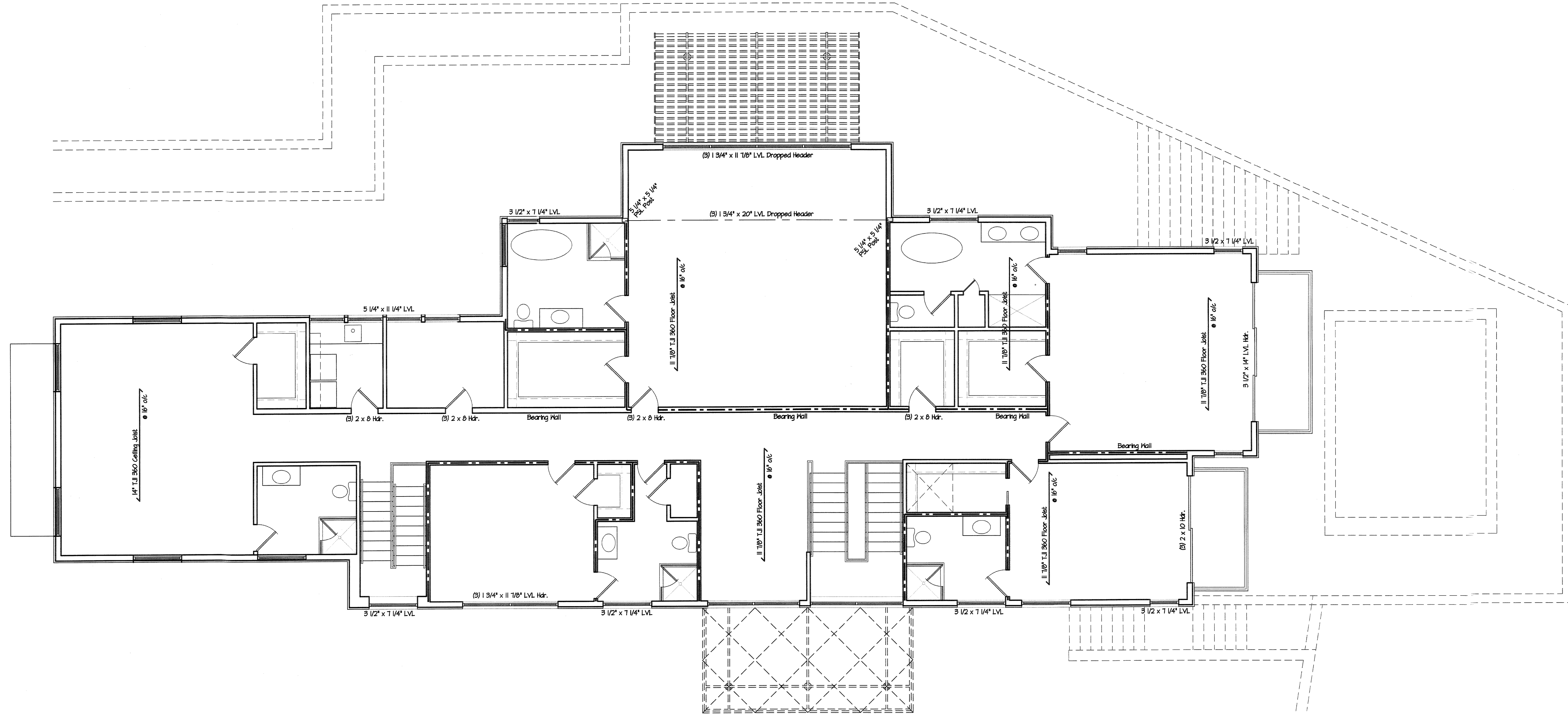
These plans are the property of the architect. Any use of the plans without the written authorization of the Architect is prohibited. Any person or corporation using these plans without proper authorization will be responsible to compensate the Architect.

These plans are not valid for a building permit unless they are stamped and sealed by the architect and are for the use of the contractor only. See the contract for the complete terms and conditions.

Residence For  
**41 Mead Road  
North Castle, NY**

No Observatory	7/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062

Drawing  
**12** OF **17**



**Second Floor Framing Plan**  
 Scale: 3/16" = 1'-0"

**DeMasi Architects P.C.**  
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
 PHONE: (914) 666-3056  
 EMAIL: Low@DemasiArchitects.com



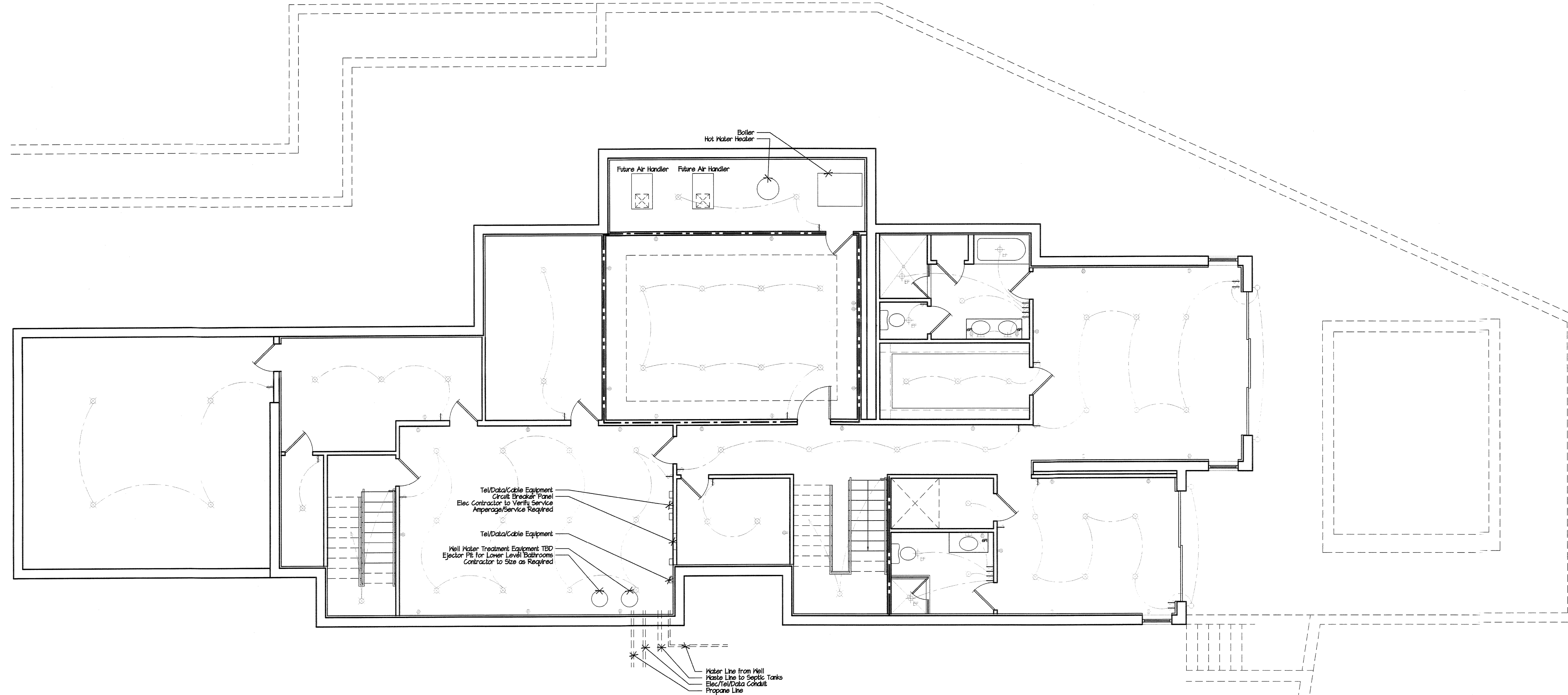
These plans are the property of the Architect. Any use or reproduction in whole or part without the written authorization of the Architect is prohibited. Any person or corporation using plans without proper written permission will be responsible to compensate the Architect.  
 These plans are not valid for a building permit unless the properly signed and sealed title of the Architect is shown for the project on the plans.

Residence For  
**41 Mead Road  
 North Castle, NY**

No Observatory	7/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062

Drawing  
**13** OF **17**

Do Not Scale Prints



**Basement Electrical Plan**  
Scale: 3/16" = 1'-0"



These plans are the property of the Architect. Approval of the Architect is required for any reproduction or use of these plans without proper written consent of the Architect. These plans are not to be used for any other project without the written consent of the Architect. These plans are not to be used for any other project without the written consent of the Architect.

Residence For  
**41 Mead Road  
North Castle, NY**

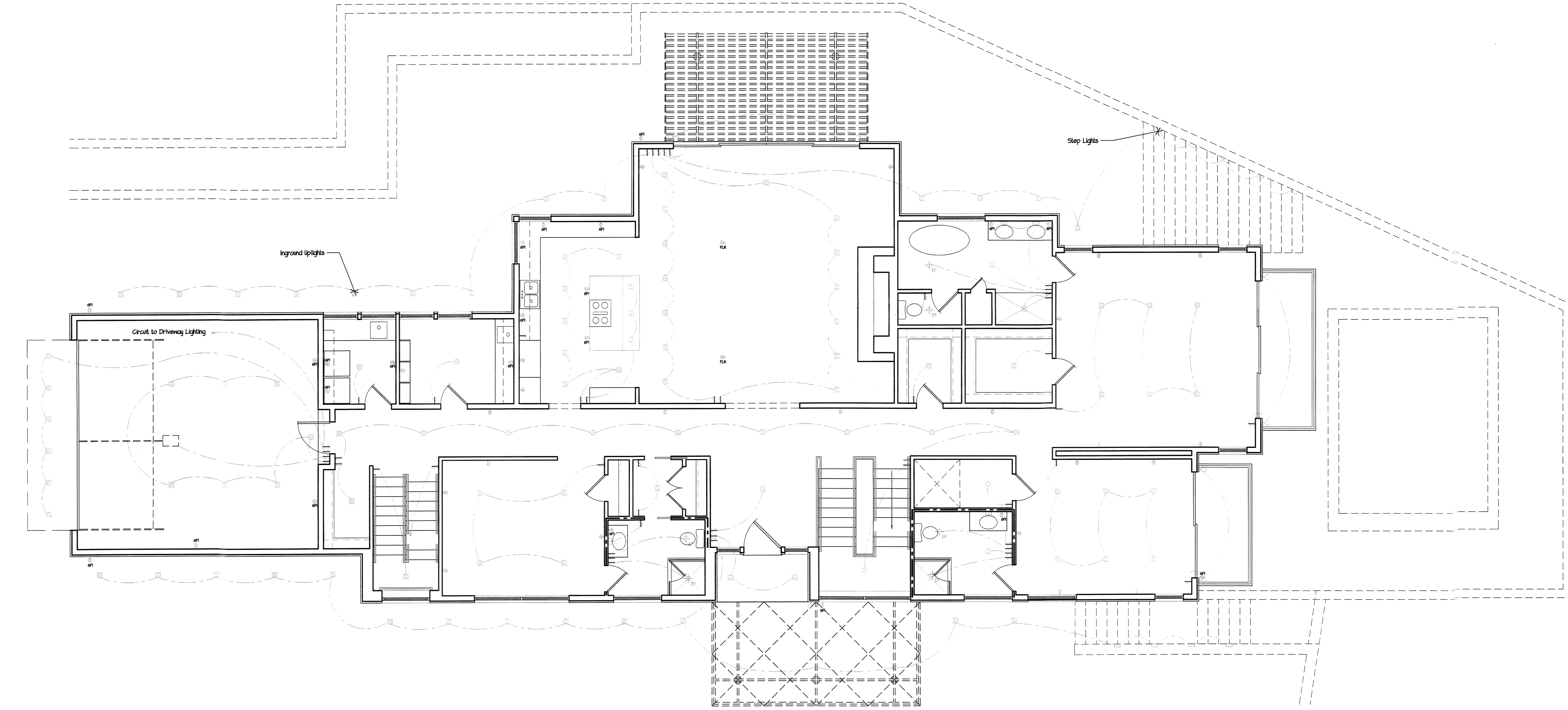
No Observatory	7/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062

Drawing  
**14** of **17**

**DeMasi Architects P.C.**  
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10541  
PHONE: (914) 666-3858  
EMAIL: [Lou@DemasiArchitects.com](mailto:Lou@DemasiArchitects.com)

Do Not Scale Prints





**First Floor Electrical Plan**  
 Scale: 3/16" = 1'-0"



These plans are the property of the Architect. Any use or reproduction in whole or in part without the written consent of the Architect is prohibited. The Architect shall not be responsible for any errors or omissions in the plans, and shall not be liable for any damages or losses resulting from the use of the plans. The Architect's liability is limited to the professional services rendered by the Architect and shall not extend to any other services or products provided by the Architect or its affiliates.

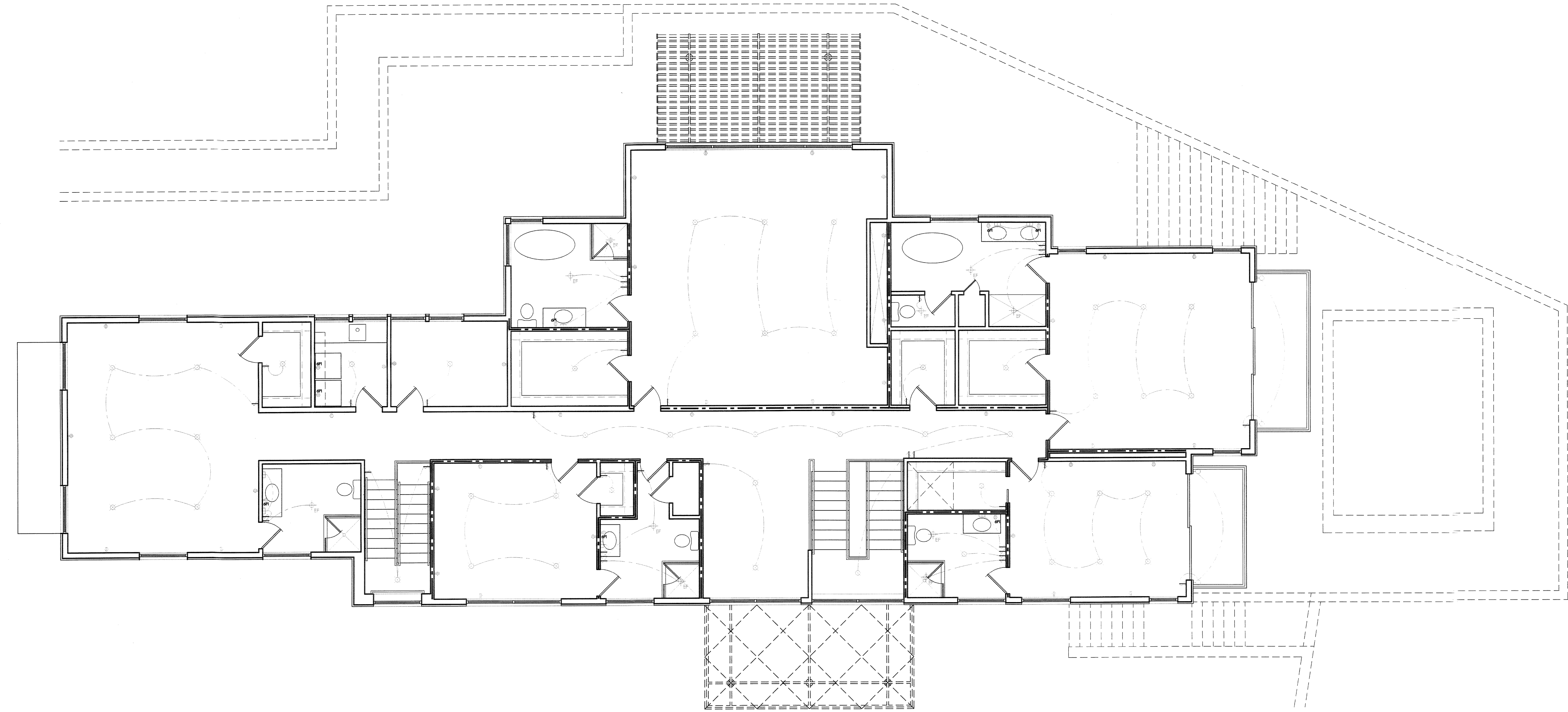
**Residence For**  
 41 Mead Road  
 North Castle, NY

No Observatory	7/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062

Drawing  
 JT OF 17

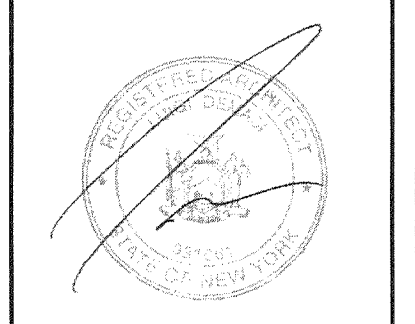
**DeMasi Architects P.C.**  
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
 PHONE: (914) 666-3858  
 EMAIL: Lou@DemasiArchitects.com

Do Not Scale Prints



**Second Floor Electrical Plan**  
 Scale: 3/16" = 1'-0"

**DeMasi Architects P.C.**  
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549  
 PHONE: (914) 666-3858  
 EMAIL: Lou@DemasiArchitects.com



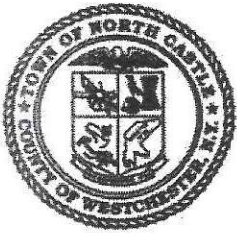
These plans are the property of the Architect. Any use or reproduction in whole or part without the written consent of the Architect is prohibited. Any person who copies or uses any portion of these plans without the prior written consent of the Architect is liable for all damages. These plans are not valid for a building permit unless they are accompanied by a signed and sealed certificate of approval from the State of New York.

Residence For  
**41 Mead Road  
 North Castle, NY**

No Observatory	T/13/21
Revision	Date
Date	May 20, 2022
Job No	222-062
Drawing	16 OF 17

Do Not Scale Prints





**Town of North Castle Building Department**

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

[www.northcastleny.com](http://www.northcastleny.com)

**Application for Revision to Approved Plans**

Note: Two (2) sets of construction documents must be submitted with application w/ \$75.00 fee.

Permit #: 2020-31911

Date: 7-13-22

Project Address: 41 Mead

*Condition of Revision*

*\* Mechanical/HVAC*

*Plan Needs to be Submitted*

*Prior to Installation.*

*\* Window Schedule*

*Needs to be Submitted*

*Prior to Installation.*

I understand that this application does not permit the revision and approval from the Town of North Castle Building Department.

Applicants Name: Peter Miley

Applicants Signature: [Signature]

Phone #: (914) 924-9985

Mobile #:

E-mail: fcsconsultants2011@gmail.com

Architect/ Engineer Name: Lou Demasi

Phone #: (914) 666 3858

Mobile #: same

E-mail: Lou@demasiarchitects.com

Description of Revision (In detail): *- Add additional level to approved footprint, add sqft to overall home. Remove Roof pop-out, reduce roof height below zoning to comply. No Variance Request.*

**Office use only**

Fee Collected: \$75 check # 157 - JTT 2 Sets of Plans: \_\_\_\_\_

Reviewed By: [Signature] 8-26-22

Bldg. Inspector signoff: [Signature] 8/26/22

7

RESOLUTION OF APPROVAL FOR AREA VARIANCE

ZONING BOARD OF APPEALS  
TOWN OF NORTH CASTLE

-----X

In the matter of the Application of

**J P GREENWICH HOLDINGS, LLC.**

-----X

WHEREAS, the applicant, **J P GREENWICH HOLDINGS, LLC., 41 Mead Road, Armonk, NY 10504** and known on the Tax Assessment Map of the Town of North Castle as Section 109.01, Block 1, Lot 12, and located an R2A Zone, has applied for the following variance from the provisions of the zoning code of the Town of North Castle.

**THE APPLICANT IS REQUESTING A VARIANCE FROM SECTION 355-21 OF THE TOWN CODE TO ALLOW THE CONSTRUCTION OF A ONE FAMILY DWELLING HAVING A 31 FT. REAR YARD SETBACK IN A R2A ZONE WHICH REQUIRES A 50 FT. REAR YARD SETBACK, A DEFICIENCY OF 19 FT., FOR WHICH A VARIANCE WAS PREVIOUSLY GRANTED AND HAS EXPIRED.**

WHEREAS, prior to the hearing, members of the Board of Appeals conducted an inspection of the premises and surrounding neighborhood; and whereas on December 5, 2019, the Board conducted a duly noticed public hearing on the application, at which time all interested parties had the opportunity to be heard;

WHEREAS, the applicant has submitted proof of proper notice to nearby property owners required to receive notice thereof:

NOW, THEREFORE, the Board of Appeals makes the following findings:

1. The requested activity is a Type 2 action under the State Environmental Quality Review Act.
2. The variance is substantial, however, other factors ameliorate this in favor of the granting of the variance.
3. That the effect of any increased population density which may thus be produced upon available services facilities is not significant.
4. There will be no substantial change to the character of the neighborhood nor a substantial detriment to adjoining properties. It fits well into this neighborhood and on this difficult lot.
5. That the difficulty cannot be alleviated by some other method feasible for the applicant to pursue.
6. That in view of the manner in which the difficulty arose and considering all of the above factors, the interests of justice will be served by allowing the variance.
7. That the variance would not cause adverse aesthetic, environmental or ecological impacts on the property or on the surrounding area.

NOW, THEREFORE, BE IT RESOLVED, that the application for relief by the grant of the variances from the requirements of the Zoning Code of the Town of North Castle is hereby granted.

**Motion by: LESTER BERKELHAMER**

**Seconded by: JOHN STIPO**

<b>JOHN L. STIPO</b>	<b>voting</b>	<b>YES</b>
<b>LESTER BERKELHAMER</b>	<b>voting</b>	<b>YES</b>
<b>JOSEPH MONTICELLI</b>	<b>voting</b>	<b>YES</b>
<b>ROBERT GREER</b>	<b>voting</b>	<b>YES</b>

**THERE BEING FOUR (4) VOTES IN FAVOR, THE RESOLUTION IS GRANTED BY ORDER OF THE BOARD OF APPEALS.**

DATED: 1/9/2020

  
Joseph Monticelli, Chairman

  
Gerald Reilly, Esq.

I HEREBY CERTIFY this to be a true copy of a resolution approved by the vote of the Zoning Board of Appeals of the Town of North Castle at a meeting held on December 5, 2019 at the Town Hall, 15 Bedford Road, Armonk, New York

  
Lori J. Zawacki, Secretary