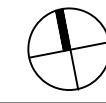


LOT COVERAGE CALCULATIONS			
AREA	EXISTING	PROPOSED	INCREASE
LOT AREA	68,302.08 sq.ft. +/-	68,302.08 sq.ft. +/-	0 sq.ft.
MAIN HOUSE	2,284 sq.ft.	2,284 sq.ft.	0 sq.ft.
FRONT PORCH	301 sq.ft.	301 sq.ft.	0 sq.ft.
DRIVEWAY	1,978 sq.ft.	1,978 sq.ft.	0 sq.ft.
FRONT WALKWAYS	227 sq.ft.	227 sq.ft.	0 sq.ft.
A/C & CONC. PAD	44 sq.ft.	44 sq.ft.	0 sq.ft.
SIDE PATIO	136 sq.ft.	136 sq.ft.	0 sq.ft.
REAR PATIO	734 sq.ft.	653 sq.ft.	-81 sq.ft.
DECK	251 sq.ft.	718 sq.ft.	467 sq.ft.
SHED	142 sq.ft.	142 sq.ft.	0 sq.ft.
STONE WALL & STEP	283 sq.ft.	274 sq.ft.	-9 sq.ft.
TOTAL	6,380 sq.ft. +/-	6,757 sq.ft. +/-	377 sq.ft.

SITE PLAN 
 1/16" = 1'-0"
 NOTES:
 SITE PLAN, TOPO & TREES BASED ON SURVEY, AS PREPARED
 BY STEPHEN T. JOHNSON LAND SURVEYING COMPANY
 DATED 12/03/2021
 SECTION - BLOCK - LOT = 102.01 - 1 - 32
 LOT AREA = 68,302.08 SQ. FT. +/-
 or = 1.568 ACRES +/-
 ZONE = R-1.5A



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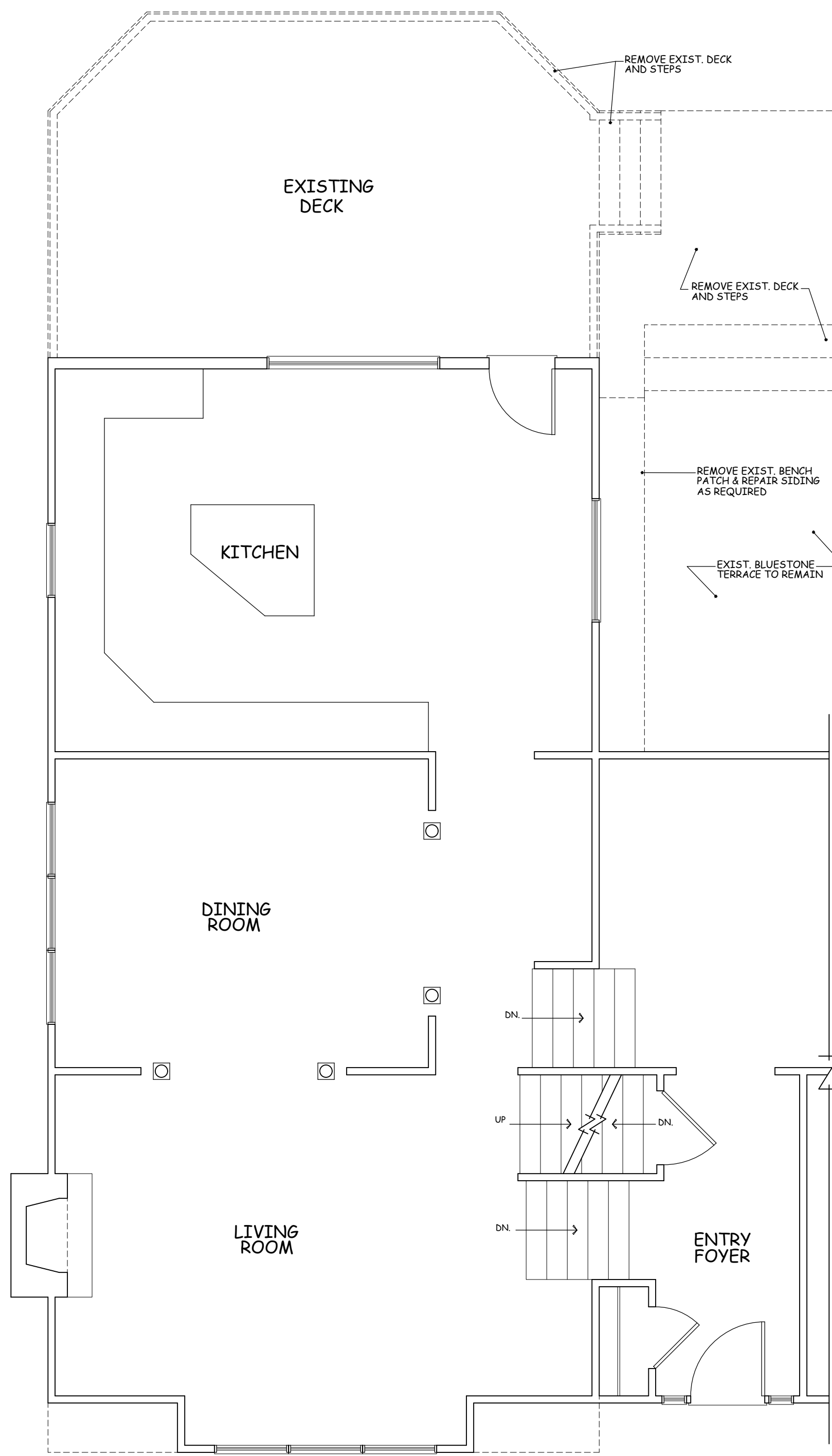
Project Title
 INTERIOR ALTERATIONS
WHELLEY RESIDENCE
 63 WINDMILL RD.
 ARMONK, NY

Drawing Title
**PROPOSED
 SITE PLAN**

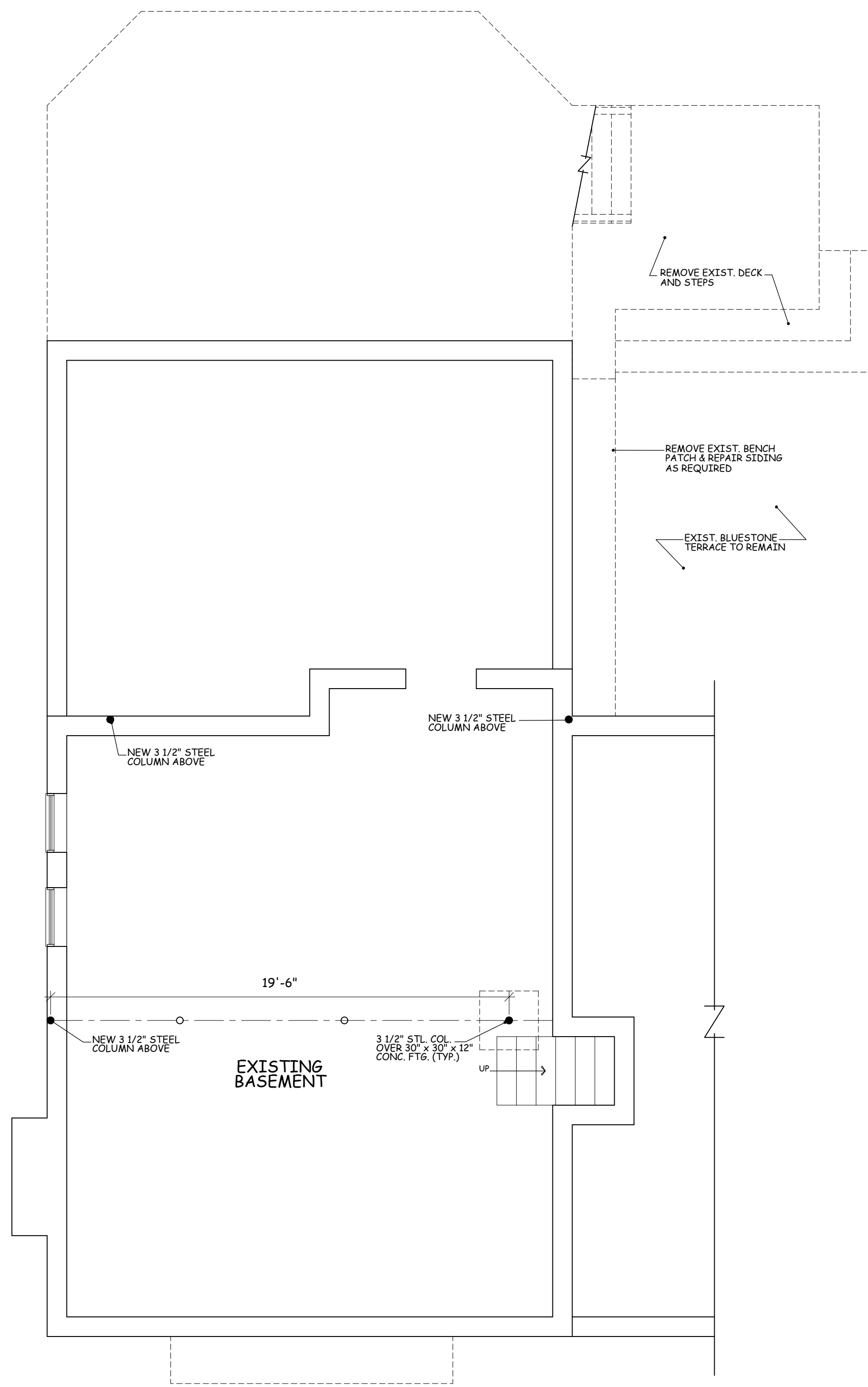
Scale AS NOTED

Date 01/03/22
 Drawing By A.O.

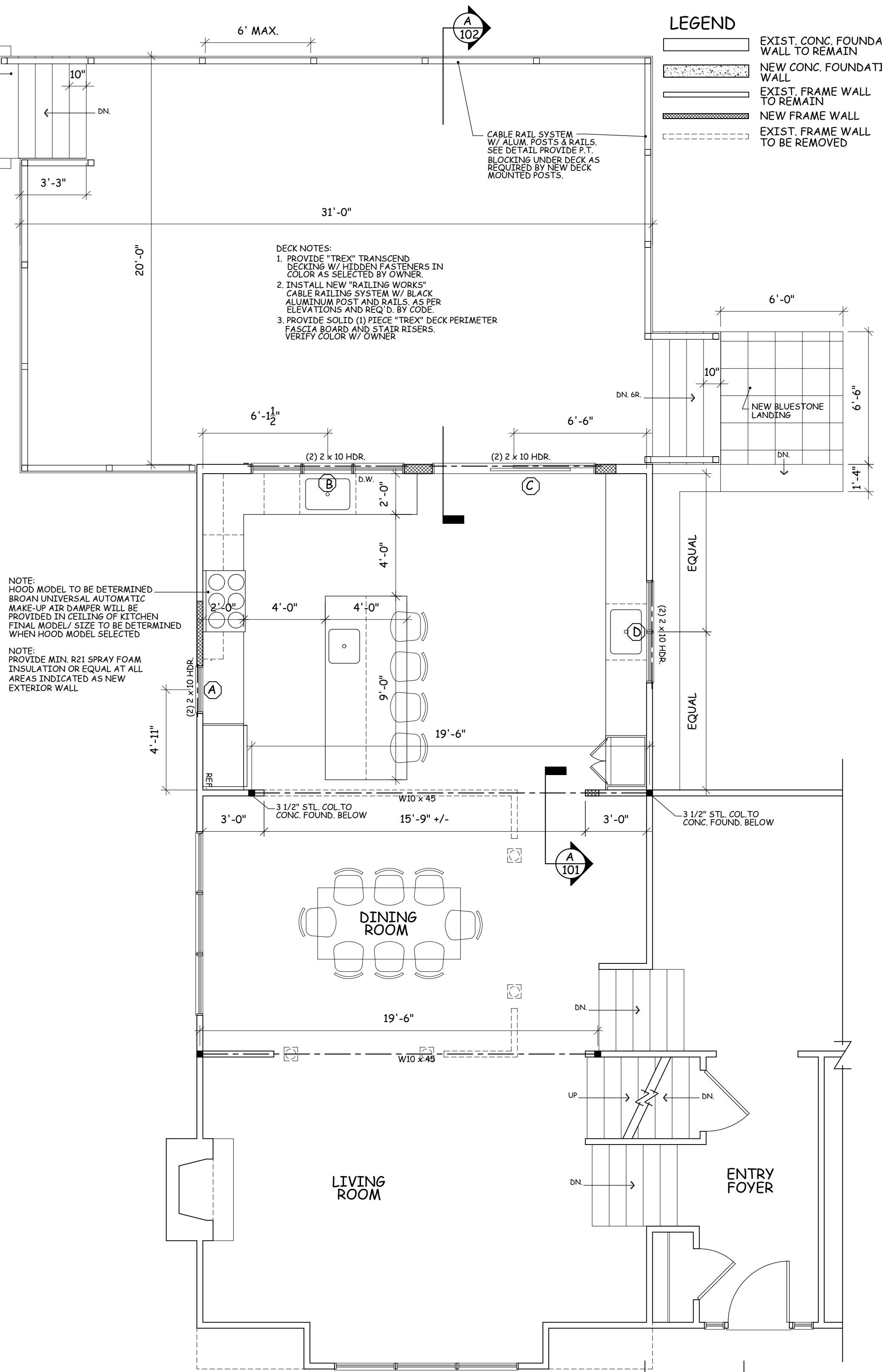
Drawing No.
A-100



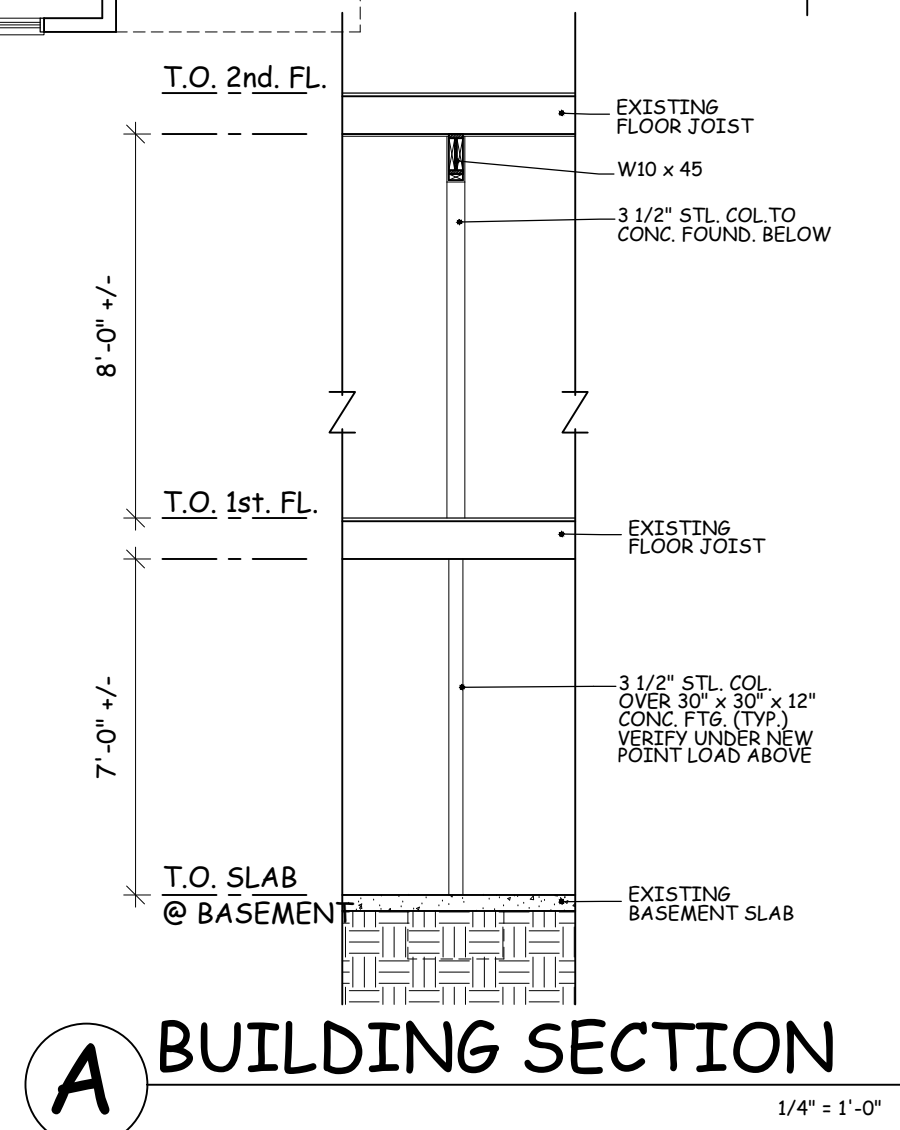
FIRST FLOOR PLAN
EXISTING 1/4"=1'-0"



BASEM PLAN
EXISTING 1/4"=1'-0"



FIRST FLOOR PLAN
PROPOSED 1/4"=1'-0"



A BUILDING SECTION
1/4"=1'-0"

FRAMING NOTES:

- ALL FRAMING SHOWN TO PLATE LINE BELOW
- ALL HEADERS TO BE (2) 2 x 10's UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL DRAWINGS ARE FOR SCHEMATIC LAYOUT PURPOSES ONLY. ALL STRUCTURAL COMPONENTS ARE TO BE SIZED BY LICENSED ENGINEER.
- PROVIDE SOLID STUDDING @ ALL BEAMS, HEADERS, AND POINT LOADS TO FOUND.
- SEE BUILDING SECTIONS AND DETAILS FOR SUPPLEMENTAL FRAMING REQUIRED.
- CONTRACTOR RESPONSIBLE FOR VERIFYING FIELD CONDITIONS BEFORE START OF WORK AND NOTIFY ARCHITECT IN CASE OF DISCREPANCIES.

WINDOW AND EXTERIOR DOOR SCHEDULE

WIN.	QNTY.	MFR.	TYPE	MODEL	U VALUE	ROUGH OPENING	DIVIDED LIGHTS	LOCATION	REMARKS
A	1	ANDERSEN	CASE	CW135	.32	2'-4 7/8" x 3'-5 7/8"	SEE ELEVATIONS	SEE PLANS	
B	1		CASE	CW335	.32	7'-1 1/8" x 3'-5 7/8"			
C	1		SLD. DOOR	FW680611	.31	8'-0" x 6'-11"			
D	1		CASE	CXW235	.32	6'-0 1/8" x 3'-5 3/8"			

WINDOW & EXTERIOR DOOR NOTES:

- ALL NEW WINDOWS & EXTERIOR FRENCH DOORS TO BE AS MFR'D. BY "T.B.D." (WOOD UNITS) SUPPLY AND INSTALL SCREENS (WHITE) ON ALL NEW OPERABLE UNITS. 7/8" SIM. DIVIDED LITES AS PER ELEVATIONS
- ANY NEW WINDOW OR DOOR EXTENDING LESS THAN 18" ABOVE FINISHED FLOOR MUST BE TEMPERED.
- ALL NEW WINDOWS TO BE SUPPLIED W/ HARDWARE AS REQUIRED. VERIFY TYPE & FINISH W/ OWNER PRIOR TO ORDERING.
- ALL NEW EXTERIOR FRENCH DOORS TO BE SUPPLIED W/ OIL RUBBED BRONZE HARDWARE OR AS SELECTED BY OWNER.
- ALL EXTERIOR GLASS DOORS SHALL BE TEMPERED GLASS. VERIFY WEATHER ADDITIONAL UNITS SHOULD BE TEMPERED.
- VERIFY ALL WINDOW AND EXTERIOR DOOR OPTIONS W/ OWNER PRIOR TO ORDERING. (COLOR, GRILLS, SCREENS, AND HARDWARE TYPE & COLOR)

LEGEND

	EXIST. CONC. FOUNDATION WALL TO REMAIN
	NEW CONC. FOUNDATION WALL
	EXIST. FRAME WALL TO REMAIN
	NEW FRAME WALL
	EXIST. FRAME WALL TO BE REMOVED

DECK NOTES:

- PROVIDE "TREX" TRANSCEND DECKING W/ HIDDEN FASTENERS IN COLOR AS SELECTED BY OWNER.
- INSTALL NEW "RAILING WORKS" CABLE RAILING SYSTEM W/ BLACK ALUMINUM POST AND RAILS. AS PER ELEVATIONS AND REQ'D. BY CODE.
- PROVIDE SOLID (1) PIECE "TREX" DECK PERIMETER FASCIA BOARD AND STAIR RISERS. VERIFY COLOR W/ OWNER

NOTE: HOOD MODEL TO BE DETERMINED. BROAN UNIVERSAL AUTOMATIC MAKE-UP AIR DAMPER WILL BE PROVIDED IN CEILING OF KITCHEN. FINAL MODEL/ SIZE TO BE DETERMINED WHEN HOOD MODEL SELECTED.

NOTE: PROVIDE MIN. R21 SPRAY FOAM INSULATION OR EQUAL AT ALL AREAS INDICATED AS NEW EXTERIOR WALL.

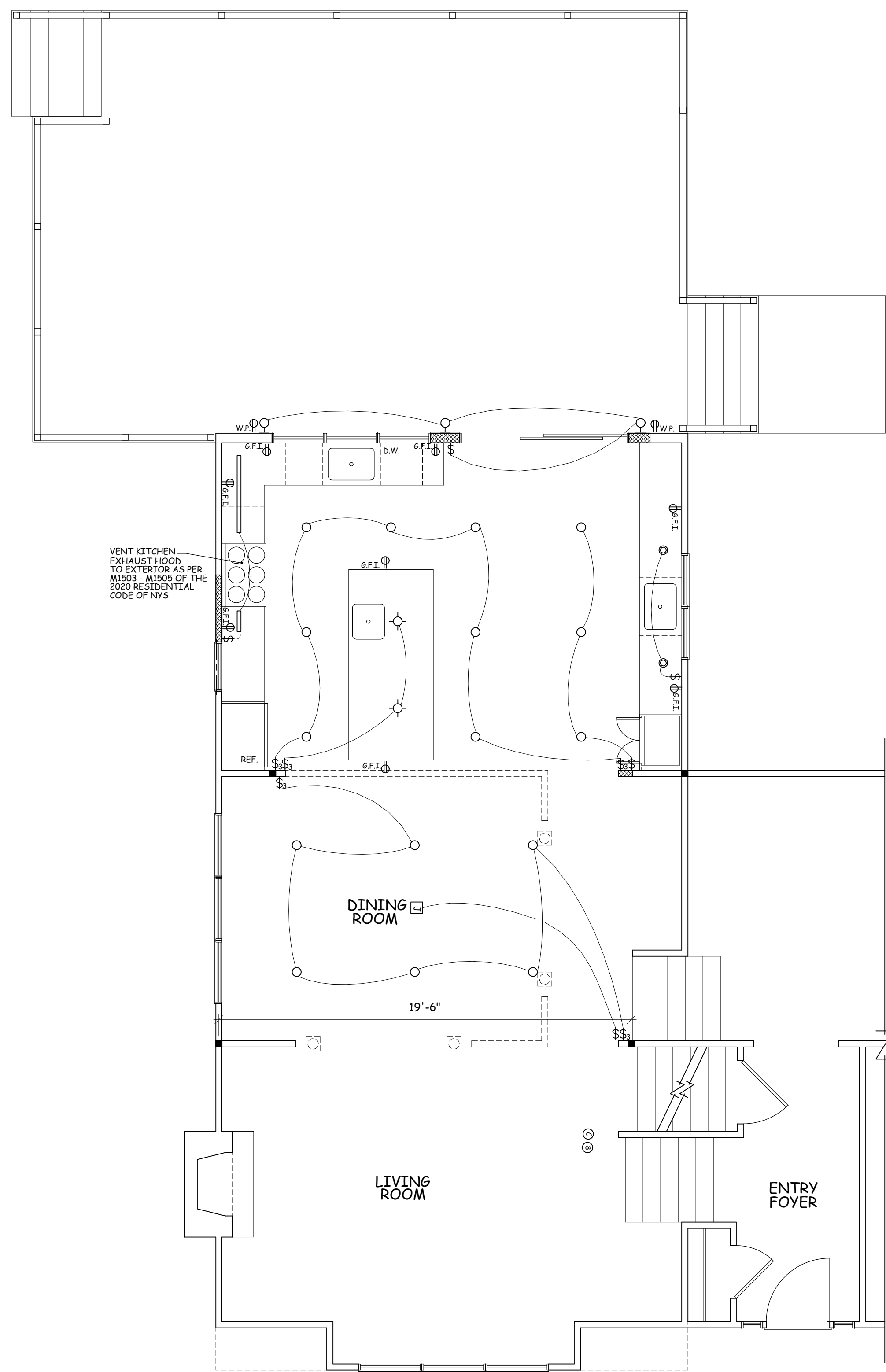
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INTERIOR ALTERATIONS
WHELLEY RESIDENCE
63 WINDMILL RD.
ARMONK, NY

EXISTING & PROPOSED FLOOR PLANS

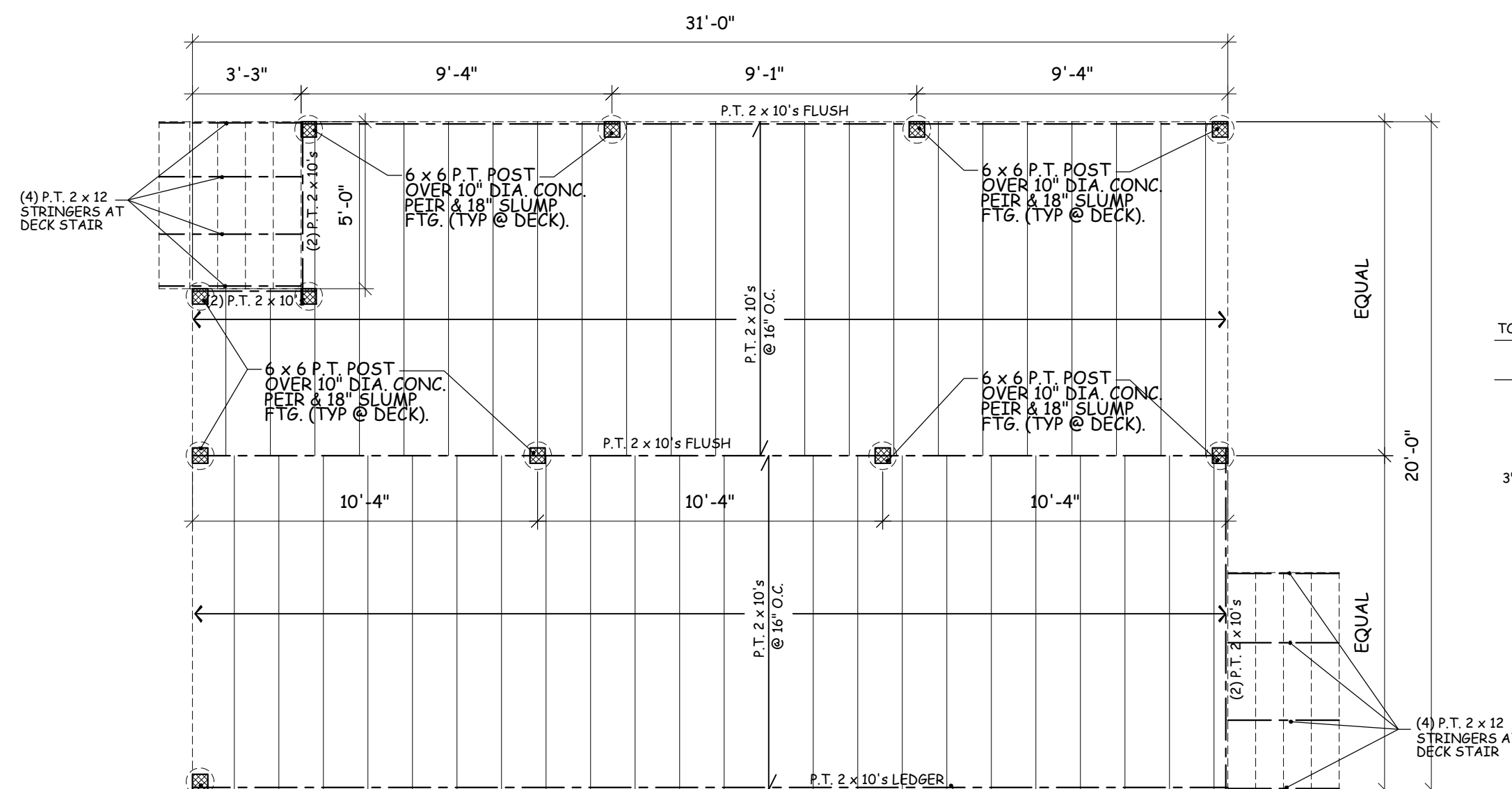
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Date 08/06/21
Drawing By A.O.

Drawing No. **A-101**



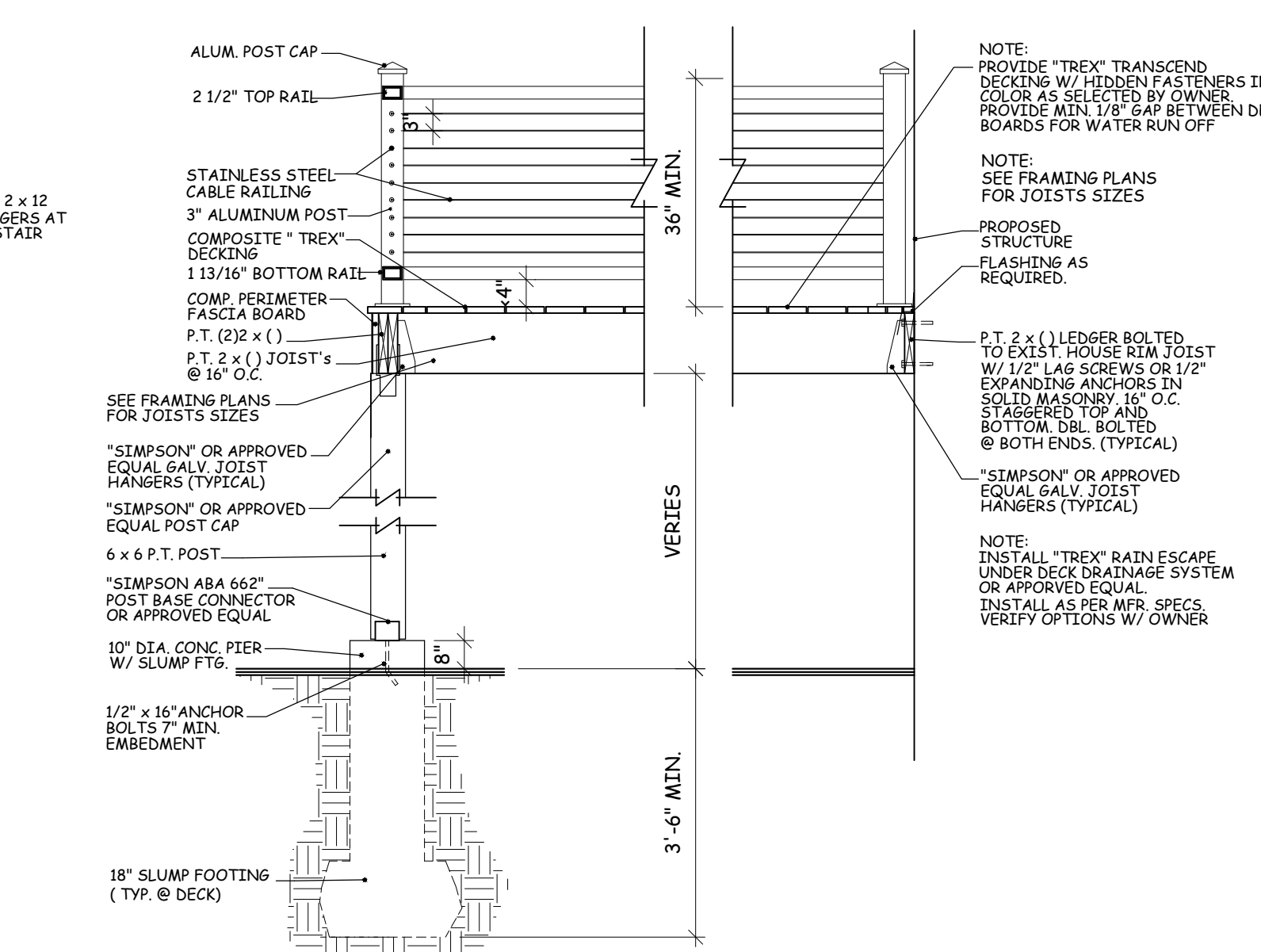
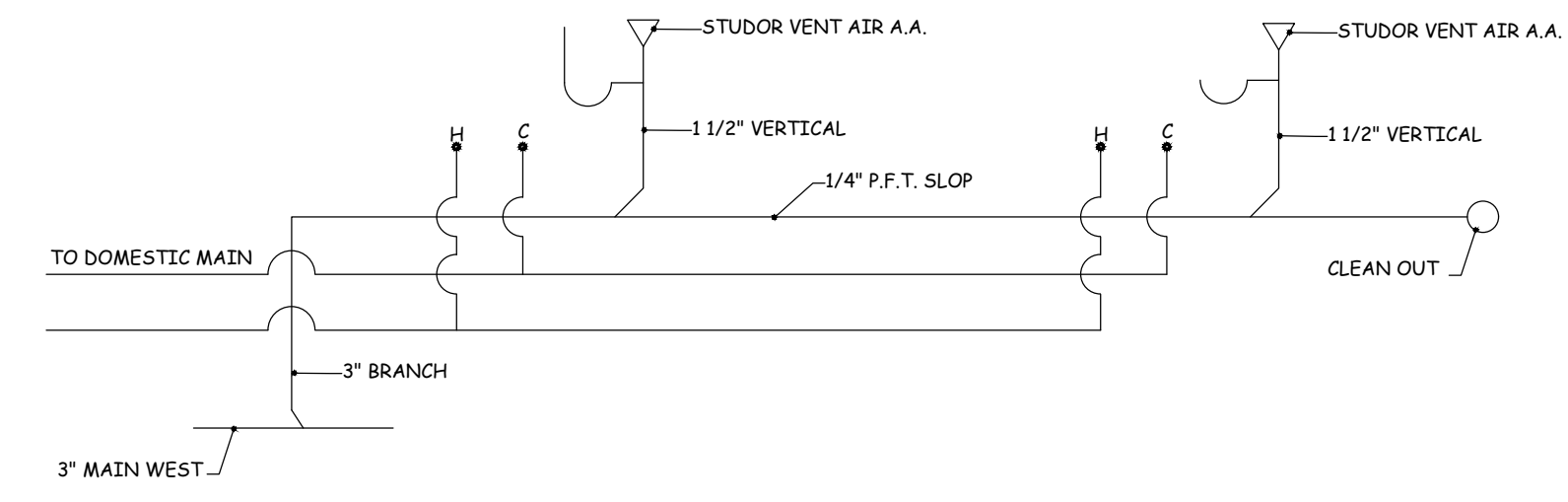
FIRST FLOOR PLAN

1/4"=1'-0"



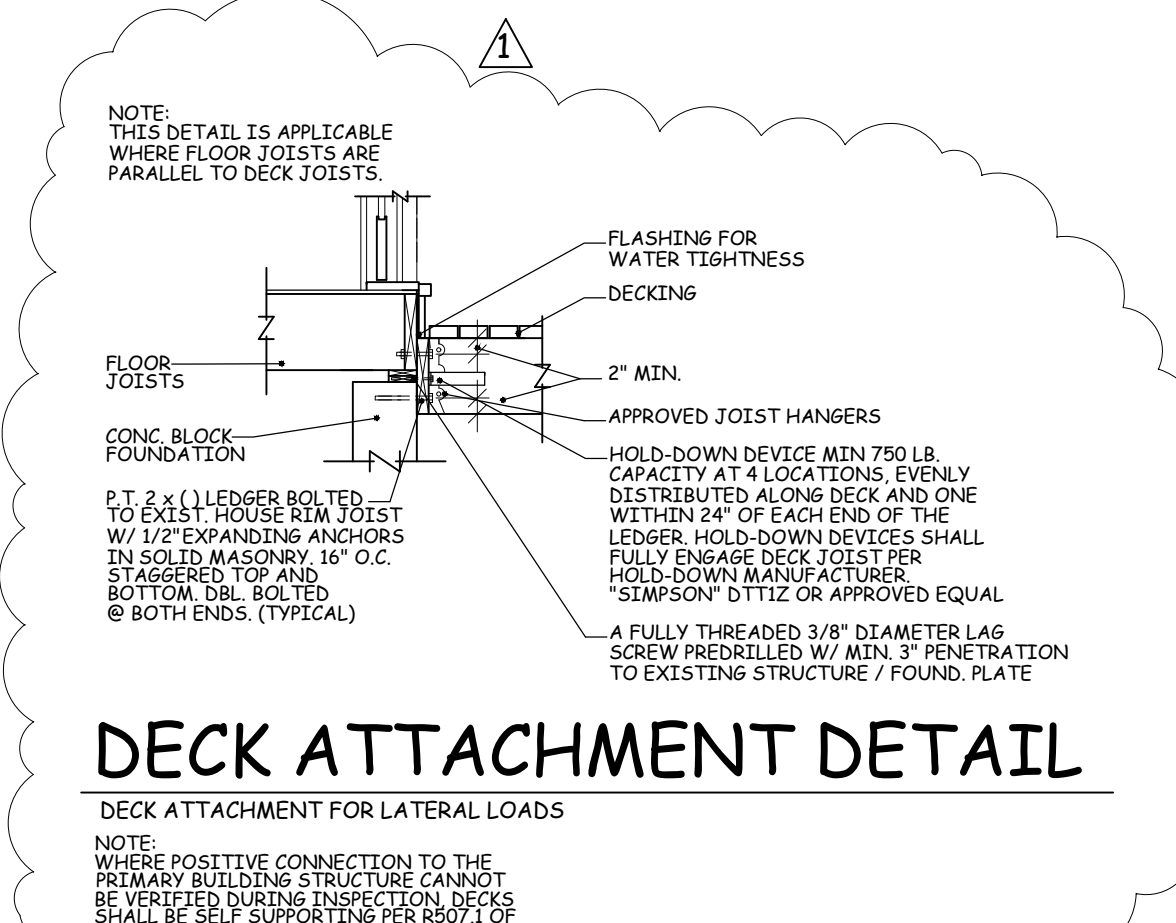
BASE PLAN

EXISTING 1/4"=1'-0"



DECK DETAIL

NOTE: CABLE RAILINGS SHALL BE TENSIONED AS REQUIRED TO PREVENT A 4" SPHERE FROM PASSING THROUGH ANY OPENING IN RAIL SYSTEM. INTERMEDIATE PICKETS SHALL BE INSTALLED AS PER MANUFACTURER SPECIFICATIONS TO LIMIT CABLE DEFLECTION.



DECK ATTACHMENT DETAIL

NOTE: WHERE POSITIVE CONNECTION TO THE PRIMARY BUILDING STRUCTURE CANNOT BE VERIFIED DURING INSPECTION, DECKS SHALL BE SUPPORTING PER SECTION 5.0 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.

ELECTRIC SYMBOLS			
⊕	DUPLEX OUTLET	⊕	SINGLE POLE SWITCH
⊕ _{WP}	WATER PROOF RECEPTICAL	⊕ ₃	THREE POLE SWITCH
⊕ _{G.F.I.}	G.F.I. RECEPTICAL	⊕ _D	DIMMER SWITCH
⊕ ₂₂₀	220 VOLT RECEPTICAL	⊕	SMOKE ALARM (INTERCONNECTED)
⊕	CABLE TV. OUTLET (R66 QUAD) HOME RUN	⊕	CEILING FAN JUNCTION BOX
⊕	SURFACE MOUNTED LIGHT FIXTURE	⊕	EXTER. SPOT LIGHT
○	5" RECESSED LIGHT W/ LED BULB & TRIM	⊕	UNDERCOUNTER LIGHTING
○	3" RECESSED LIGHT W/ LED BULB & TRIM	⊕	WALL MOUNTED LIGHT FIXTURE
⊕	CARBON MONOXIDE DET. (INSTALL AS REQ'D.)	⊕	HEAT DETECTOR (INSTALL AS REQ'D. BY CODE)
⊕	EXHAUST FAN		

- ELECTRICAL NOTES:**
- WALL OUTLETS AT AREA'S OF NEW WORK BY ELECTRICIAN AS REQUIRED BY CODE. UNLESS OTHERWISE NOTED ON DRAWING.
 - INSTALL HARDWIRED SMOKE DETECTORS TO ALL AREA'S OF RESIDENCE AS REQ'D. CURRENT VERSION OF APPLICABLE CODE.
 - PROVIDE CARBON MONOXIDE DETECTORS LOCATE AS REQ'D. BY CURRENT CODE.
 - VERIFY APPLIANCE & NEW MECHANICAL EQUIPMENT ELECTRICAL REQUIREMENT W/ OWNER PRIOR TO ROUGH IN.
 - PROVIDE OWNER W/ \$500 ALLOWANCE FOR THE SELECTION & INSTALLATION OF DIMMER SWITCHES. VERIFY LOCATIONS.

- KITCHEN ELECTRICAL NOTES:**
- KITCHEN REQUIREMENTS:
 - * RANGE
 - * DISHWASHER
 - * WALL OVEN
 - * EXHAUST HOOD
 - * REFRIG.
 - * MICROWAVE OVEN
 - * UNDER CAB. LIGHTS
 - * G.F.C.I. WALL OUTLETS
 - * GARBAGE DISPOSAL
 - VERIFY CENTER OF KITCHEN ISLAND PRIOR TO ROUGHING IN CLG. FIXTURES.
 - SEE FINAL KITCHEN PLAN BY OTHERS AND VERIFY APPLIANCE REQUIREMENTS PRIOR TO ROUGH.
 - VERIFY KITCHEN COUNTER ELECTRICAL OUTLET LOCATIONS W/ KITCHEN SUPPLIER

- FRAMING NOTES:**
- ALL FRAMING SHOWN TO PLATE LINE BELOW
 - ALL HEADERS TO BE (2) 2 x 10'S UNLESS NOTED OTHERWISE.
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LEGEND

	EXIST. CONC. FOUNDATION WALL TO REMAIN
	NEW CONC. FOUNDATION WALL
	EXIST. FRAME WALL TO REMAIN
	NEW FRAME WALL
	EXIST. FRAME WALL TO BE REMOVED

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INTERIOR ALTERATIONS
WHELLEY RESIDENCE
 63 WINDMILL RD.
 ARMONK, NY

Project Title

Drawing Title

Scale AS NOTED

REVISED 08/16/21

Date 08/06/21
 Drawing By A.O.

Drawing No.
A-102



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ARCHITECT**

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Project Title
INTERIOR ALTERATIONS
WHELLEY RESIDENCE

63 WINDMILL RD.
ARMONK, NY

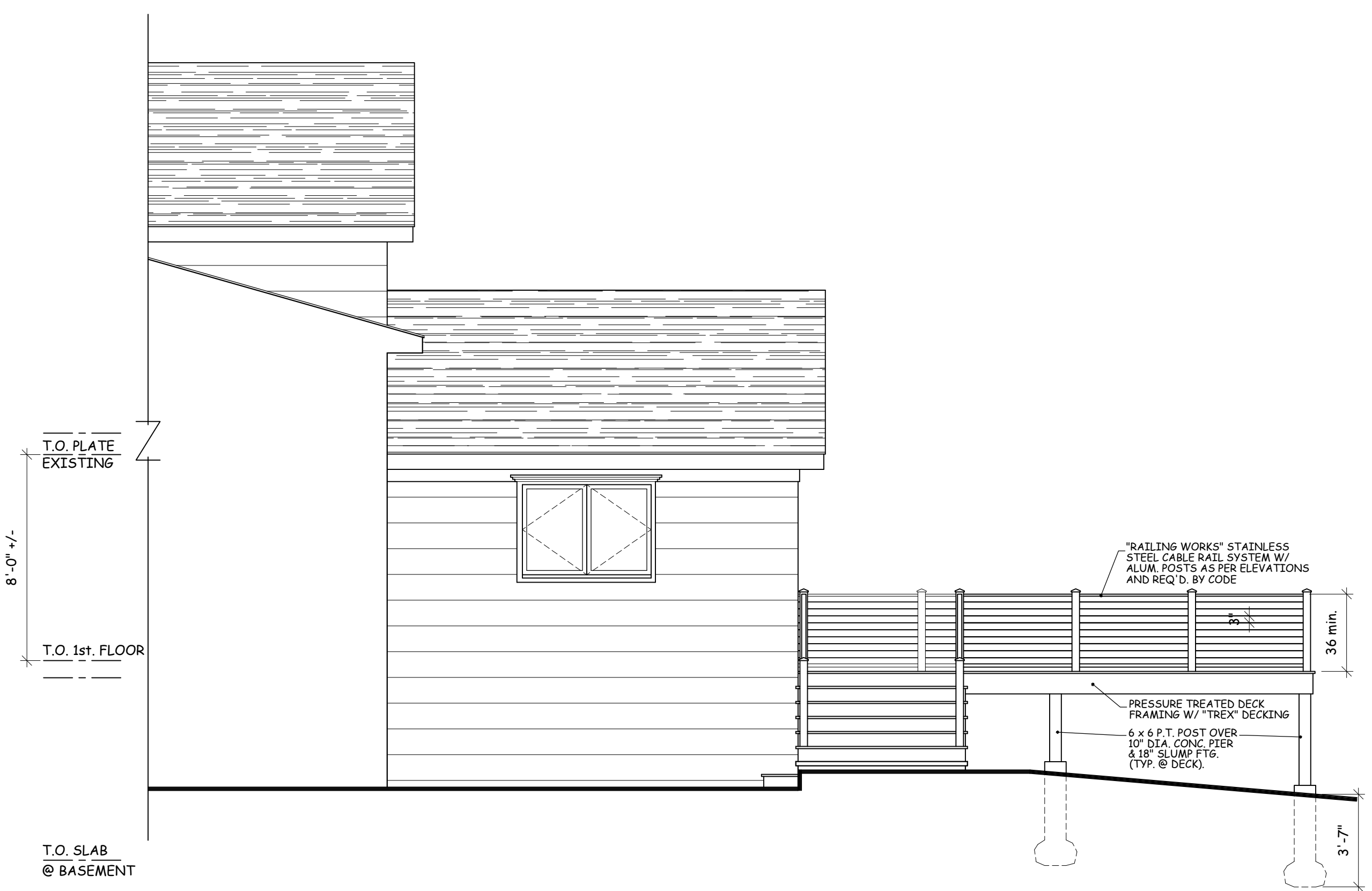
Drawing Title
**PROPOSED
ELEVATIONS**

Scale 1/4" = 1'-0"

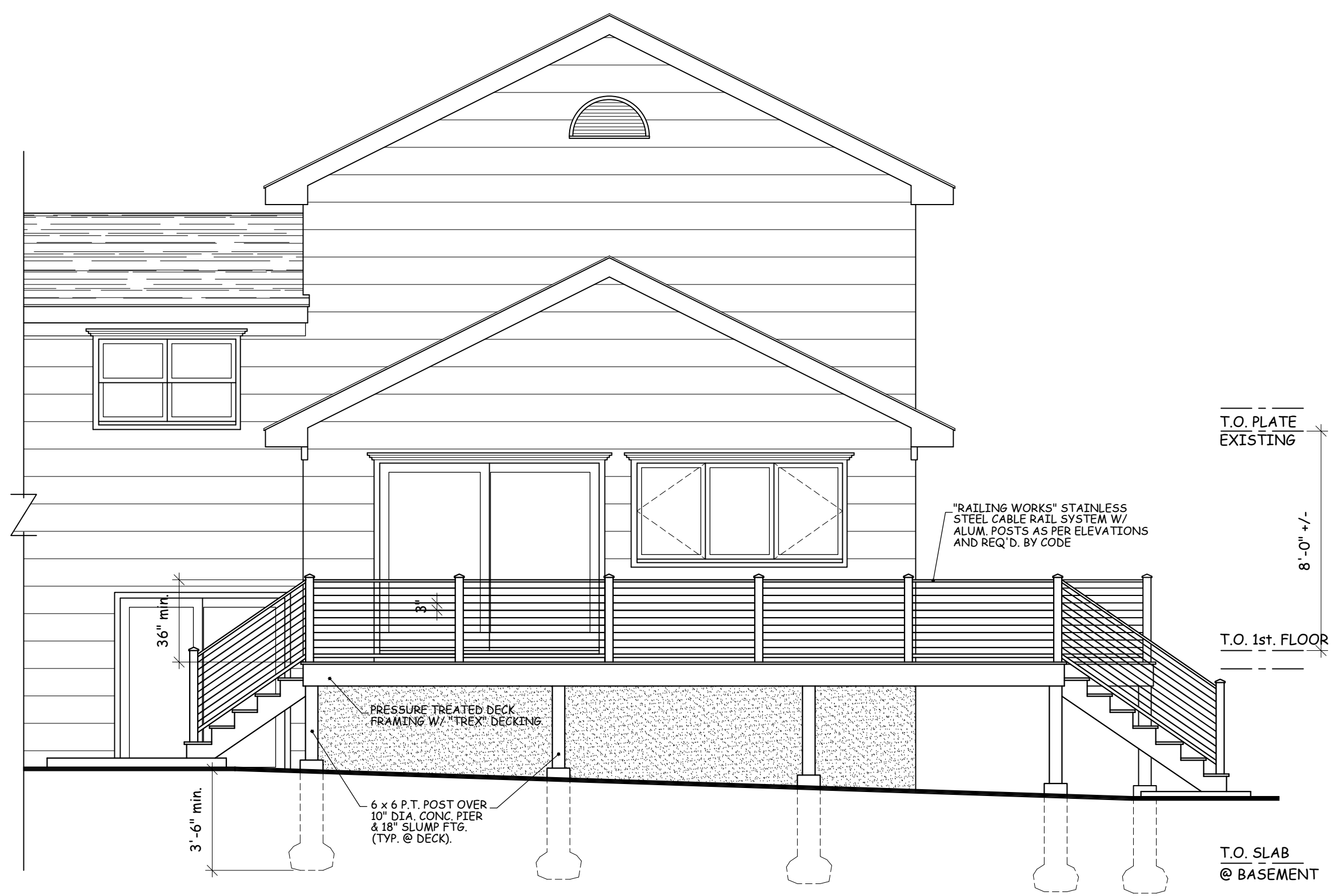
REVISED 08/16/21

Date 08/06/21
Drawing By A.O.

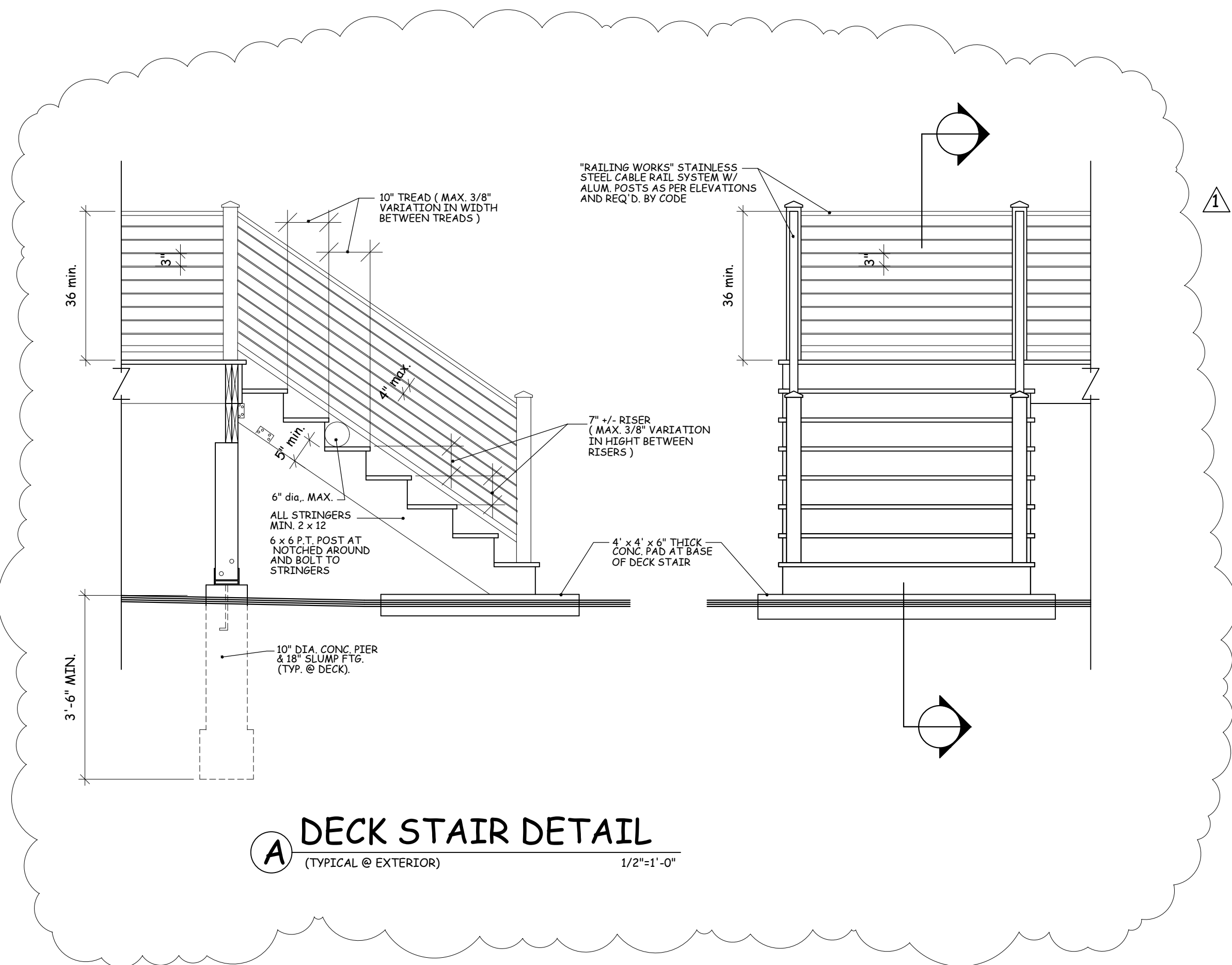
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A-201



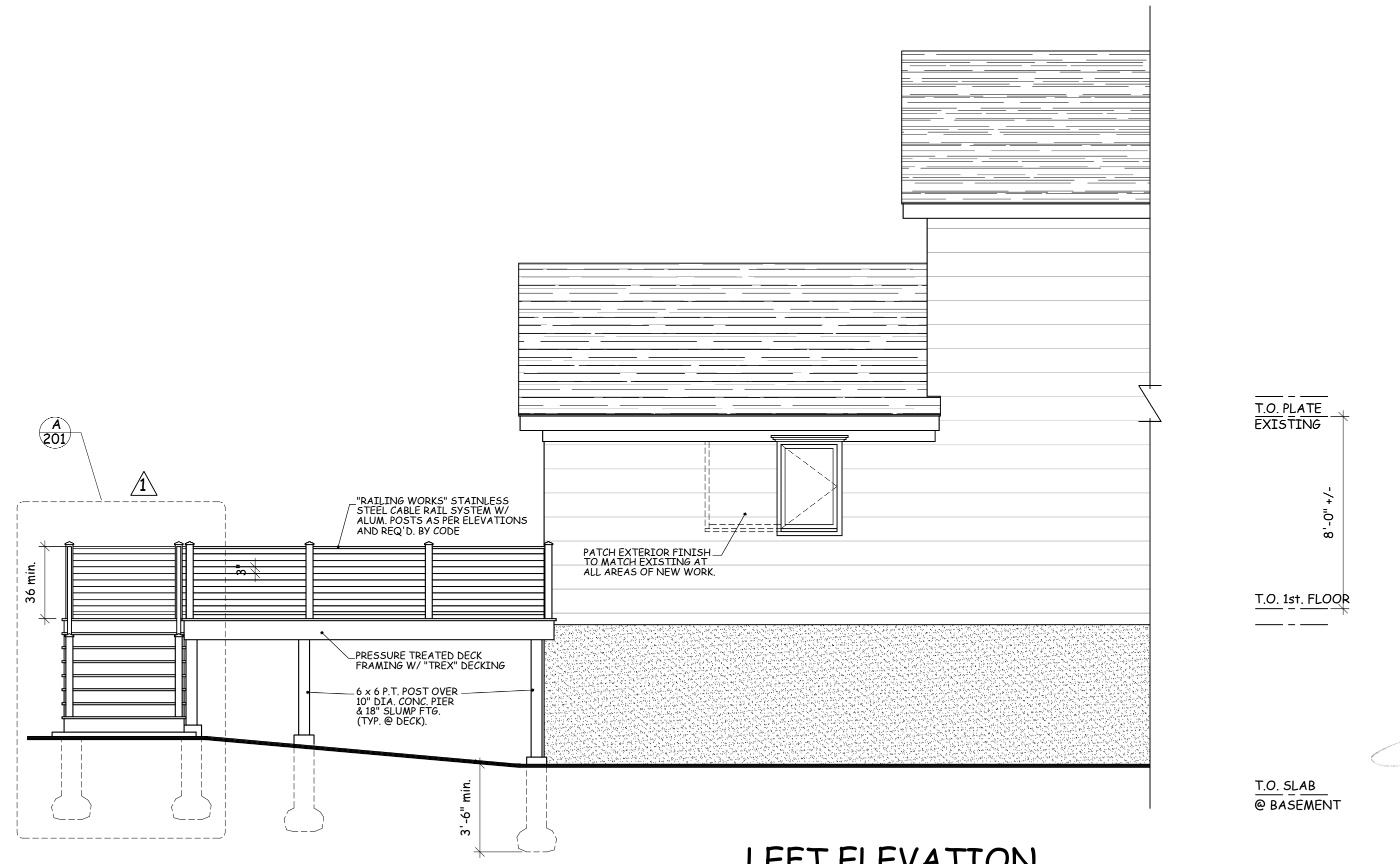
RIGHT ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"



DECK STAIR DETAIL
(TYPICAL @ EXTERIOR)
1/2"=1'-0"



LEFT ELEVATION
1/4"=1'-0"



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: _____ Date: _____

Tax Map Designation or Proposed Lot No.: _____

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 1,568 acres
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 9,350
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
 _____ x 10 = _____
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 9,350
5. Amount of lot area covered by **principal building**:
235,215 existing + 0 proposed = 2,112,284
6. Amount of lot area covered by **accessory buildings**:
142 existing + 0 proposed = 142
7. Amount of lot area covered by **decks**:
251 existing + 467 proposed = 718
8. Amount of lot area covered by **porches**:
301 existing + 301 proposed = 301
9. Amount of lot area covered by **driveway, parking areas and walkways**:
 _____ existing + _____ proposed = 2,205
10. Amount of lot area covered by **terraces**:
870 existing + -81 proposed = 789
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
44 existing + 0 proposed = 44
12. Amount of lot area covered by **all other structures**:
283 existing + -9 proposed = 274
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 6,757

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

Date

[Handwritten Signature]
2/2/12

← Preview

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63 Windmill Rd


Information provided by Google

To add your own description, images, and videos, this information must be replaced.

Replace

Placemark

Default size ▾



Show advanced options

Set view manually ▾

Heading °

Tilt °

Range m

Latitude °

Longitude °

Altitude m

Reset to defaults

