



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 61 Byram Ridge Road Armonk NY 10504

Section III- DESCRIPTION OF WORK:

Reconstruct and Expansion of rear deck.

Section III- CONTACT INFORMATION:

APPLICANT: Rissa and Joshua Perkiel
ADDRESS: 61 Byram Ridge Road Armonk NY 10504
PHONE: 917-838-1354 MOBILE: EMAIL: rissa.perkiel@gmail.com

PROPERTY OWNER: same as above
ADDRESS:
PHONE: MOBILE: EMAIL:

PROFESSIONAL: :
ADDRESS:
PHONE: MOBILE:
EMAIL:

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 101.03-3-20



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Rear Deck 61 Byram Ridge Road

Initial Submittal Revised Preliminary

Street Location: 61 Byram Ridge Road Armonk NY 10504

Zoning District: R-1A Property Acreage: 1.02 Tax Map Parcel ID: 101.03-3-20

Date: 12/12/2023

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage:

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.

4	Amount of lot area covered by accessory buildings	0 existing + 0 proposed =	0
7	Amount of lot area covered by decks	312 existing + 123 proposed =	435
8	Amount of lot area covered by porches	0 existing + 0 proposed =	0
9	Amount of lot area covered by driveway, parking areas and walkways	2,118 existing + 0 proposed =	2,118
10	Amount of lot area covered by lawns	372 existing + 12 proposed =	384
11	Amount of lot area covered by tennis court, pool and mechanical equipment	0 existing + 0 proposed =	0
12	Amount of lot area covered by all other structures	0 existing + 0 proposed =	0
13	Proposed gross land coverage: Total of Lines 4 - 12 =		3,957

If Line 13 is less than or equal to Line 4, your proposed coverage with the Town's maximum gross land coverage requirements and all other rules provided to the Board of Planning and Zoning for review. If Line 13 is greater than Line 4 your proposed coverage exceeds the Town's requirements.

[Signature] 12/12/2023



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PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 61 Byram Ridge Road Armonk Date: 12/12/2023

Tax Map Designation or Proposed Lot No.: 101.03-3-20

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 44,213
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(a)): 9,409
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
18.5 x 10 = 185
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 9,594
5. Amount of lot area covered by **principal building**:
2,483 existing + 0 proposed = 2,483
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:
312 existing + 193 proposed = 505
8. Amount of lot area covered by **porches**:
0 existing + 0 proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:
2,118 existing + 0 proposed = 2,118
10. Amount of lot area covered by **terraces**:
572 existing + 13 proposed = 585
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 0 proposed = 0
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 - 12 = 5,691

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

John M. Scavella
 Signature and Seal of Professional Preparing Worksheet

12/12/2023
 Date



REFER TO SHEET SP-101 FOR GROSS LAND COVERAGE DIAGRAM



TOWN OF NORTH CASTLE
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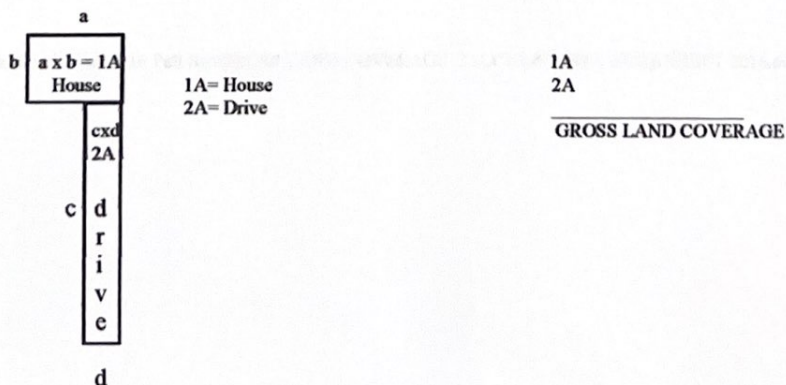
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GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below (or a schematic illustration with areas computed by CAD)



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 340 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 355, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.

DECK PERMIT PLANS FOR: 61 BYRAM RIDGE ROAD ARMONK, NY 10504

BUILDING CODE AND REFERENCE STANDARDS:
THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AS ADOPTED AND MODIFIED BY THE LOCAL JURISDICTION SHALL GOVERN THE DESIGN AND CONSTRUCTION OF THIS PROJECT. REFERENCE TO A SPECIFIC SECTION IN THE CODE DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE ENTIRE MATERIALS REFERENCE STANDARDS. THE LATEST EDITION OF THE MATERIALS REFERENCE STANDARDS SHALL BE USED. EXISTING BUILDING SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

DETAILS SCOPE OF WORK DESCRIPTION
EXISTING SINGLE FAMILY RESIDENCE -LEVEL 2 ALTERATION PERMIT PLANS
SCOPE:
- DECK RENOVATION

CLASSIFICATION OF WORK- ALTERATION LEVEL 2
- THE WORK PERFORMED ON THE EXISTING SINGLE FAMILY RESIDENTIAL DWELLING SHALL BE CLASSIFIED AS AN ALTERATION - LEVEL 2 (A)301.5), WHICH INCLUDES THE RECONFIGURATION OF SPACES AS DEFINED IN THE WORK DESCRIPTION. THE USE CLASSIFICATION SHALL BE RESIDENTIAL GROUP R3 WITH CONSTRUCTION TYPE V. EXISTING BUILDINGS SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

GENERAL NOTES:
1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE BUILDING SITE BEFORE COMMENCEMENT OF WORK
2. ALL DIMENSIONS ARE TO ROUGH FRAMING
3. CONTRACTOR SHALL RECEIVE, STORE AND PROTECT ALL MATERIALS DELIVERED TO THIS SITE FROM WEATHER AND DAMAGE.
4. CONTRACTOR SHALL INSTALL ALL MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE CLEAN UP ON A DAILY BASIS.
6. THE CONTRACTOR SHALL MAINTAIN A SET OF APPROVED PLANS AT THE CONSTRUCTION SITE IN A SAFE PLACE FOR REVIEW BY THE MUNICIPALITY BUILDING INSPECTOR DURING CONSTRUCTION.
7. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
8. CONTRACTOR SHALL NOT SCALE DRAWINGS.
9. USE GIVEN DIMENSIONS, CHECK DETAILS FOR APPROPRIATE LOCATION OF ALL ITEMS NOT DIMENSIONED.
10. ALL CONSTRUCTIONS IS SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTION WITH BUILDING OFFICIAL AND DOCUMENT FOR REVIEW AN INSPECTION REPORT.
11. DISCREPANCIES FOUND BY THE CONTRACTOR BETWEEN FIELD CONDITIONS, NOTES, CONTRACT DRAWINGS, SPECIFICATIONS, AND/OR REFERENCE STANDARDS, THE ENGINEER SHALL DETERMINE WHICH SHALL GOVERN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

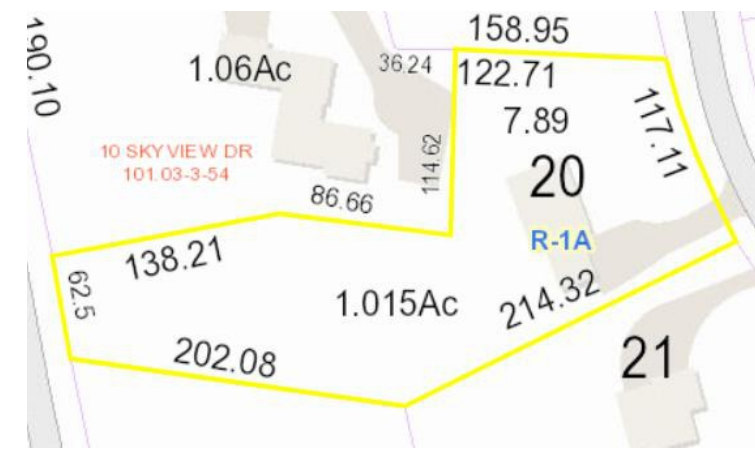
ENERGY CONSERVATION CODE
1. 2020 RESIDENTIAL CODE CHAPTER 11 SECTION N1101 GENERAL AND [NY] SECTION AJ104 ENERGY EFFICIENCY.
a. STATE CLIMATE ZONES BY COUNTY (TABLE N.1 101.4)
b. CLIMATE ZONE INSULATION AND FENESTRATION BY COMPONENT (TABLE N 1102.1(i))

ENERGY STATEMENT:
I, JOHN M. SCAVELLI, CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THIS DRAWING PACKAGE IS PREPARED IN CONFORMANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE. CODE REQUIREMENTS FOR THE CLIMATE ZONE AND BUILDING TYPE LISTED BELOW.
CLIMATE ZONE: ZONE (4) WESTCHESTER
BUILDING TYPE: 1- FAMILY RESIDENTIAL.

R-VALUE CHART	
DESCRIPTION	PROPOSED
CEILING	49
WALL	21
FLOOR	19
BASEMENT WALL	13

ENERGY CONSERVATION CODE:
DESIGN DATA: TABLE 301.1
CLIMATE ZONE: 4
CODE DESIGN APPROACH: CHAPTER 4 (TABLE 402.1.1)
FENESTRATION U FACTOR: MAXIMUM 0.32
GLAZED FENESTRATION SHGC: MAXIMUM 0.40
WINDOW SKYLIGHT: < 0.3 CFM PER SF
SLIDING GLASS DOOR INFILTRATION: < 0.3 CFM PER SF
SWINGING DOORS AIR INFILTRATION: <0.5 CFM PER SF
PROPOSED ANDERSEN LOW-E TYPE GLASS

ANY EXPOSED EXTERIOR WALLS, FLOORS ADJACENT TO UNCONDITIONED SPACES, AND CEILINGS ADJACENT TO UNCONDITIONED SPACES SHALL BE UPDATED WITH NEW INSULATION.



G GIS VIEW
SCALE: NTS



A AERIAL VIEW
SCALE: NTS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXIST INTERIOR WALL		EXHAUST FAN
	EXST EXTERIOR WALL		EXHAUST FAN AND LIGHT
	NEW EXTERIOR WALL		LIGHT FIXTURE
	NEW INTERIOR WALL		WALL MOUNTED LIGHT FIXTURE
	CONCRETE WALL		REFRIGERATOR OR FLET
	BLOCK WALL		GFCI OUTLET
	BRICK EXST WALL		OUTLET
	2 LAYERED INT WALL		DISHWASHER OUTLET
	BASEMENT INSULATED WALL		LAUNDRY HOOKUP
	BASEBOARD HEATER		SMOKE DETECTOR
	DOOR TAG		ELECTRICAL PANEL
	WINDOW TAG		SHUT OFF VALVE
	CEILING FAN		WATER METER/ SHUTOFF
	STRUCTURAL ELEMENT		GAS METER
	WATER FILTER		MECHANICAL
	OIL TANK		WATER HEATER
	CONCRETE ELEMENT		ETHERNET/ CABLE

NOTE: NOT ALL SYMBOLS LISTED MAY BE USED UNDER THIS DRAWING PACKAGE.

CONSTRUCTION NOTES:
1. INFORMATION SHOWN ON THESE DRAWINGS IS FOR DESIGN INTENT ONLY. VERIFY EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. COORDINATE DISCREPANCIES WITH DESIGN PROFESSIONAL.
2. PROVIDE PROOF OF WORKMAN'S COMPENSATION INSURANCE AND DISABILITY INSURANCE COVERAGE AS REQUIRED BY THE LOCAL LAW.
3. ALL WORK SHALL BE CONSTRUCTED AND INSTALLED IN A PLUMB, LEVEL, SQUARE, TRUE AND PROPER ALIGNMENT.
4. ALL MATERIALS AND ASSEMBLIES TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH NFBC "FIRE RESISTANCE RATINGS" AND HAVE BEEN TESTED IN ACCORDANCE WITH ASTM "STANDARDS METHODS OF FIRE TESTS"
5. WHERE PIPES OR CABLES PENETRATE WALL OR FLOOR OPENINGS PROVIDE FIRE STOP MATERIAL AS REQUIRED TO ENSURE CONTINUITY OF RATING PER LOCAL LAW.
6. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 2000 PSF.
7. ALL CONCRETE WORK SHALL CONFORM TO THE ACI BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
8. ALL REINFORCEMENT BAR SHALL BE MADE OF STEEL CONFORMING TO ASTM A615, GRADE 60.
9. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A82 AND A185.
10. INSTALL ALL WINDOWS, DOORS AND ALL OTHER EQUIPMENT AS PER MANUFACTURERS' SPECIFICATIONS.
11. PAINTING OR INTERIOR FINISH SHALL BE DONE UNDER CONDITIONS ACCEPTABLE TO THE MANUFACTURERS SPECIFICATIONS.
12. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
13. THE CONTRACTOR SHALL PROTECT ALL ITEMS TO BE RELOCATED. ANY ITEMS REQUIRED TO BE RELOCATED WHICH ARE DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THEIR EXPENSE.
14. ALL EXISTING FLOORS REVEALED FROM DEMOLITION OF EXISTING PARTITIONS SHALL BE PATCHED TO PROVIDE ADEQUATE SURFACE FOR NEW FLOORING.
15. ALL PARTITIONS PARTIALLY DEMOLISHED SHALL BE PATCHED AND REFURBISHED TO MATCH EXISTING.
16. ALL PLUMBING, ELECTRICAL OR OTHER EXISTING UTILITIES SERVICE ITEMS TO BE RELOCATED SHALL HAVE CAPS, FACE PLATES, ETC. TO MATCH EXISTING.
17. "AREA OF NO WORK" DELINEATES ARCHITECTURAL WORK. IT DOES NOT EXCLUDE WORK THAT MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING OR OTHER TRADES.
18. PARTITIONS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FLUSH AND SMOOTH WITH BASE BUILDING UNLESS OTHERWISE NOTED.
19. ALL DOORS SHALL AVE AN UNDERCUT TO CLEAR FINISH FLOOR BY 1/2". UNLESS OTHERWISE NOTED.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AND JOB RELATED SAFETY STANDARDS. CONTRACTOR SHALL BE AWARE AND RESPONSIBLE FOR STABILITY OF STRUCTURE AT ALL TIMES DURING CONSTRUCTION.
21. TEMPORARY SHORING SHALL BE PROVIDE PRIOR TO THE DEMOLITION OF LOAD BEARING WALLS.
22. EXISTING STRUCTURAL ELEMENTS SHALL REMAIN IN PLACE UNTIL ALL TEMPORARY SHORING HAS BEEN PROPERLY INSTALLED.

FRAMING NOTES:
1. ALL STRUCTURAL PRODUCTS SHALL BE IDENTIFIED BY GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY CERTIFYING AGENCY.
2. FOR ALL OPENINGS NOT OTHERWISE NOTED, SCHEDULED OR DETAIL ON THE PLANS, HEADER SIZING SHALL FOLLOW THE SIZES LISTED ON HEADER TABLE.
3. WOOD FRAMING SHALL MAINTAIN 8" CLEARANCE ABOVE GRADE.
4. UNLESS OTHERWISE NOTED 2x4 COLLAR TIES SHALL BE INSTALLED AT THE TOP THIRD POINT OF EVERY OTHER ROOF RAFTER. CUT ENDS TO FIT SLOPE AND NAIL TO ADJACENT RAFTERS.
5. NOTCH RAFTERS TO FIT EXTERIOR WALL PLATES AND TOE NAIL OR USE METAL FRAMING ANCHORS.
6. ANY OPENINGS IN ROOF FRAMING SHALL HAVE 2-PLY RAFTERS TO FORM HEADERS AND TRIMMERS AROUND ROOF OPENING AND SUPPORT WITH METAL HANGERS WHERE REQUIRED.
7. WHERE RAFTERS ABUT AT RIDGE, PLACE DIRECTLY OPPOSITE EACH OTHER AND NAIL TO RIDGE MEMBER.
8. HIP AND VALLEY RAFTERS SHALL BE 2-PLY AND MINIMUM 2" DEEPER THAN ADJACENT RAFTERS UNLESS SIZE NOTED OTHERWISE. BEVEL ENDS OF JACK RAFTERS FOR FULL BEARING AGAINST VALLEY RAFTER.

CONCRETE NOTES:
1. STRUCTURAL CONCRETE STRENGTH SHALL BE $f_c = 4,000$ PSI WITH NORMAL WEIGHT AGGREGATE.
2. ALL CONCRETE MIXES SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE AND THE ACI 318. MIX DESIGNS FOR EACH TYPE AND STRENGTH SHALL BE PREPARED BY CONTRACTOR AND TESTED BY INDEPENDENT TESTING LABORATORY.
3. PORTLAND CEMENT SHALL CONFORM TO ASTM C150.
4. FLY ASH MAY BE USED IN CONCRETE MIXES, THE FLY ASH SHALL CONFORM TO ASTM C618.
5. NORMAL WEIGHT AGGREGATE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C33.
6. LIGHT WEIGHT AGGREGATE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C330 AD ASTM C157.
7. CONCRETE FORMS SHALL BE LAID OUT AND CONSTRUCTED TO MEET DIMENSIONS REQUIRED ON PLANS.
8. REINFORCING BARS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615, GRADE 60. REINFORCING BARS, WHICH ARE TO BE WELDED, SHALL CONFORM TO APPLICABLE ASTM AND AWS SPECIFICATIONS.
9. ALL BARS AT NON-CONTINUOUS ENDS SHALL HAVE A STANDARD HOOK.
10. ALL DOWELS SHALL BE FULLY DEVELOPED IN TENSION UNLESS OTHERWISE NOTED.
11. ALL REINFORCING STEEL SHALL BE SECURELY HELD IN ORDER TO MAINTAIN ITS POSITION WHILE CONCRETE IS POURED. CHAIRS, TIES, SPACERS, ADDITIONAL BARS AND STIRRUPS, ETC. SHALL BE PROVIDED BY THE CONTRACTOR.
12. CONTRACTOR SHALL COORDINATE AND INSTALL ALL REQUIRED EMBEDDED ITEMS, SLEEVES, POCKETS, ETC PRIOR TO CONCRETE PLACEMENT.
13. MECHANICAL, ELECTRICAL OR OTHER BUILDING SERVICE ITEMS SHALL NOT PASS THROUGH CONCRETE BEAMS.

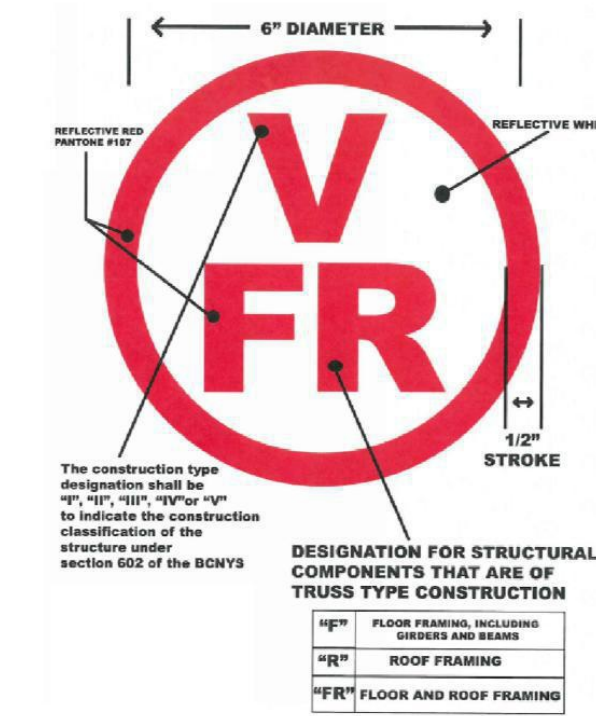
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	HEATING DEGREE DAYS	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD
30 PSF	115 MPH	B	SEVERE	42"	MODERATE HEAVY	SLIGHT MODERATE	5500 DEGREE DAYS (CLIMATE ZONE 4)	YES	NO

DESIGN LOADS:
LIVE LOAD = 40 PSF, DEAD LOAD = 20 PSF, ROOF LIVE = 20 PSF, ROOF (SNOW) = 30 PSF, ALLOWABLE DEFLECTION = L/360

DEMOLITION NOTES:
1. DEMOLITION SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER AND IS RESPONSIBILITY OF CONTRACTOR TO ENSURE SAFE WORKING CONDITIONS.
2. PRIOR TO ANY DEMOLITION THE JOBSITE SHALL BE VISITED BY DEMOLITION CONTRACTOR TO EXAMINE THE EXTENTS OF DEMOLITION. ANY AREAS OF DEMOLITION NOT DESCRIBED UNDER THIS DRAWING PACKAGE SHALL BE VERIFIED BY OWNER AND DESIGN PROFESSIONAL PRIOR TO ANY ADDITIONAL DEMOLITION.
3. ALL BUILDING MATERIAL AND DEBRIS SHALL BE REMOVED FROM SITE IN AN ORDERLY AND TIMELY FASHION.
4. EXCESSIVE QUANTITIES OF DEBRIS SHALL NOT BE PILED TOGETHER INSIDE THE STRUCTURE OR ON THE SURROUNDING PREMISES.
5. ALL DEMOLITION WORK SHALL CONFORM TO THE CURRENT LOCAL CODES.
6. PRIOR TO ANY DEMOLITION OF BUILDING SERVICES, THE PROPER UTILITIES SHOULD BE DISCONNECTED. COORDINATE WITH LOCAL UTILITY PROVIDERS AS REQUIRED.
7. ALL ELECTRICAL WORK SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED ELECTRICAL CONTRACTOR.
8. ALL PLUMBING WORK SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED PLUMBING CONTRACTOR.
9. ALL SURFACES DAMAGED DURING THE DEMOLITION PROCESS SHALL BE REPAIRED AS NECESSARY.

LUMBER NOTES:
1. ALL NOMINAL STRUCTURALLY GRADED LUMBER SHALL BE DOUGLAS FIR NO. 2, E - 1,600,000 PSI OR AN APPROVED EQUIVALENT.
2. LVL MEMBERS SHALL BE MICRO-LAM LVL AS MANUFACTURED BY TRUSS JOIST CORPORATION, $F_b = 2,600$ PSI, $E = 1,900,000$ PSI OR AN APPROVED EQUIVALENT, U.N.O.
3. PSL MEMBERS SHALL BE PARALLAM PSL AS MANUFACTURED BY TRUSS JOIST CORPORATION, $F_b = 2900$ PSI, $F_c = 2900$ PSI OR AN APPROVED EQUIVALENT.
4. FLUSH FRAMED WOOD CONNECTIONS SHALL BE MADE WITH PREFABRICATED GALVANIZED STEEL HANGERS OF THE WIDTH AND DEPTH REQUIRED FOR THE SUPPORTED MEMBER. HANGERS SHALL BE SECURED WITH THE QUANTITY AND TYPE OF FASTENERS RECOMMENDED BY THE MANUFACTURER. (APPLIES TO EXISTING & NEW MEMBERS)
5. BUILT-UP FRAMING MEMBERS SHALL HAVE ADJACENT PILES NAILED TOGETHER WITH ROWS OF NAILS AT 12" O.C. LUMBER SHALL BE NAILED WITH ROWS OF 10D COMMON NAILS WITH (2) NAILS PER ROW FOR 2x6 AND 2x8 AND (3) NAILS PER ROW FOR 2x10 AND 2x12. LVL MEMBERS SHALL BE NAILED WITH ROWS OF 16D COMMON NAILS WITH (2) NAILS PER ROW FOR 7" AND SHALLOWER MEMBERS, (3) NAILS PER ROW FOR 9 3/4" TO 11" W DEPTH MEMBERS, AND (4) NAILS PER ROW FOR 14" TO 16" DEPTH MEMBERS. U.N.O.
6. PROVIDE TWO STUDS AT EACH END OF ALL FLUSH FRAMED HEADERS AND BEAMS UNLESS MORE ARE INDICATED ON PLAN. PROVIDE A JACK STUD AND A KING STUD AT EACH END OF ALL DROPPED HEADERS AND BEAMS UNLESS MORE ARE INDICATED ON PLAN.
7. FLOOR AND ROOF OPENINGS SHALL BE FRAMED WITH DOUBLE MEMBERS, UNLESS OTHERWISE NOTED IN PLAN. FLOOR JOISTS WHICH SUPPORT NON-LOAD BEARING PARTITIONS WHICH SPAN PARALLEL TO THE JOISTS SHALL BE DOUBLED AND BRIDGING SHALL BE PROVIDED AT A MAXIMUM SPACING OF 8'-0" O.C. IN ALL FLOOR FRAMING.
8. ALL WOOD EXPOSED TO THE WEATHER OR IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
9. PLYWOOD SHALL CONFORM TO THE U.S. DEPT. OF COMMERCE DOC PS-1 AND BEAR THE APA GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION. PLYWOOD SHEATHING FOR FLOORS, ROOFS, & WALLS SHALL BE OF THICKNESS INDICATED, EXPOSURE 1.
10. HEADERS AT EXTERIOR WALLS SHALL BE MINIMUM (2) 2x10, U.N.O.
11. ALL WOOD PLACED IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
12. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE A TRUSS IDENTIFICATION SIGN SHALL BE FIXED AT THE ELECTRICAL METER STATING THAT THIS STRUCTURE UTILIZES TRUSS TYPE, PRE-ENGINEERED WOOD AND/OR TIMBER CONSTRUCTION. SIGN SHALL BE A PERMANENT, NON-FADING WEATHER RESISTANT STICKER OR DECAL.

ENGINEERED WOOD CONSTRUCTION NOTES:
PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE, A TRUSS IDENTIFICATION SIGN (AS SHOWN) SHALL BE FIXED AT THE ELECTRICAL METER STATING THAT THIS PROPERTY'S STRUCTURE UTILIZES TRUSS TYPE, PRE-ENGINEERED WOOD AND OR TIMBER CONSTRUCTION. SIGN SHALL BE PERMANENT, NON-FADING, WEATHER RESISTANT STICKER OR DECAL.



www.ResReal.com
(914)-330-7712
2875 Route 35
Katonah, NY 10536

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 61 BYRAM RIDGE ROAD
PROJECT TOWN: ARMONK
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 101.03-3-20
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-1A

To order prints, scan QR code.

DRAWING LIST	
#	DWG. Title
1	G-101 GENERAL NOTES SHEET 1
2	SP-101 SITE PLAN
3	A-101 DECK PLANS
4	A-301 PROPOSED ELEVATIONS
5	D-101 DETAILS SHEET 1
6	Z-101 ZONING BOARD PAGE 1
7	Z-102 ZONING BOARD PAGE 2

ISSUE:	DATE:	BY:	CHECKED:	APPROVED:
0	09/21/2025	JMS	JMS	JMS

SEAL & SIGNATURE:
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JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:
61 BYRAM RIDGE ROAD
ARMONK, NY
10504

DRAWING TITLE:
GENERAL NOTES
SHEET 1

G-101

NOTES:

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 61 BYRAM RIDGE ROAD
PROJECT TOWN: ARMONK
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 101.03-3-20
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-1A

To order prints, scan QR code.

ZONING SCHEDULE					
INFO	UNIT	ALLOWABLE	EXISTING	PROPOSED	VARIANCE REQUIRED
LOT AREA	-	1	1	1	NO
FRONT YARD	FT	50	68.57	68.57	NO
SIDE YARD 1	FT	25	60.59	60.59	NO
SIDE YARD 2	FT	25	25.58	25.58	NO
REAR YARD	FT	40	41.04	41.04	NO
DECK SIDE YARD 1	FT	25	80.5	66.5	NO
DECK SIDE YARD 1	FT	25	58.42	58.42	NO
DECK REAR YARD	FT	40	32.58	30.75	YES
BUILDING COVERAGE	%	12%	5.7%	5.7%	NO

EXISTING COVERAGE			
	ITEM	AREA	UNIT
EXISTING	BUILDING	2,483	SF
EXISTING	DRIVEWAY	1,954	SF
EXISTING	WALKWAY	164	SF
EXISTING	DECK	312	SF
EXISTING	PATIO	572	SF
EXISTING	TOTAL	5,485	SF

PROPOSED COVERAGE			
	ITEM	AREA	UNIT
PROPOSED	DECK EXPANSION	193	SF
PROPOSED	CONCRETE PLATFORM	13	SF
PROPOSED	TOTAL	206	SF

DRAWING LIST	
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PROJECT:

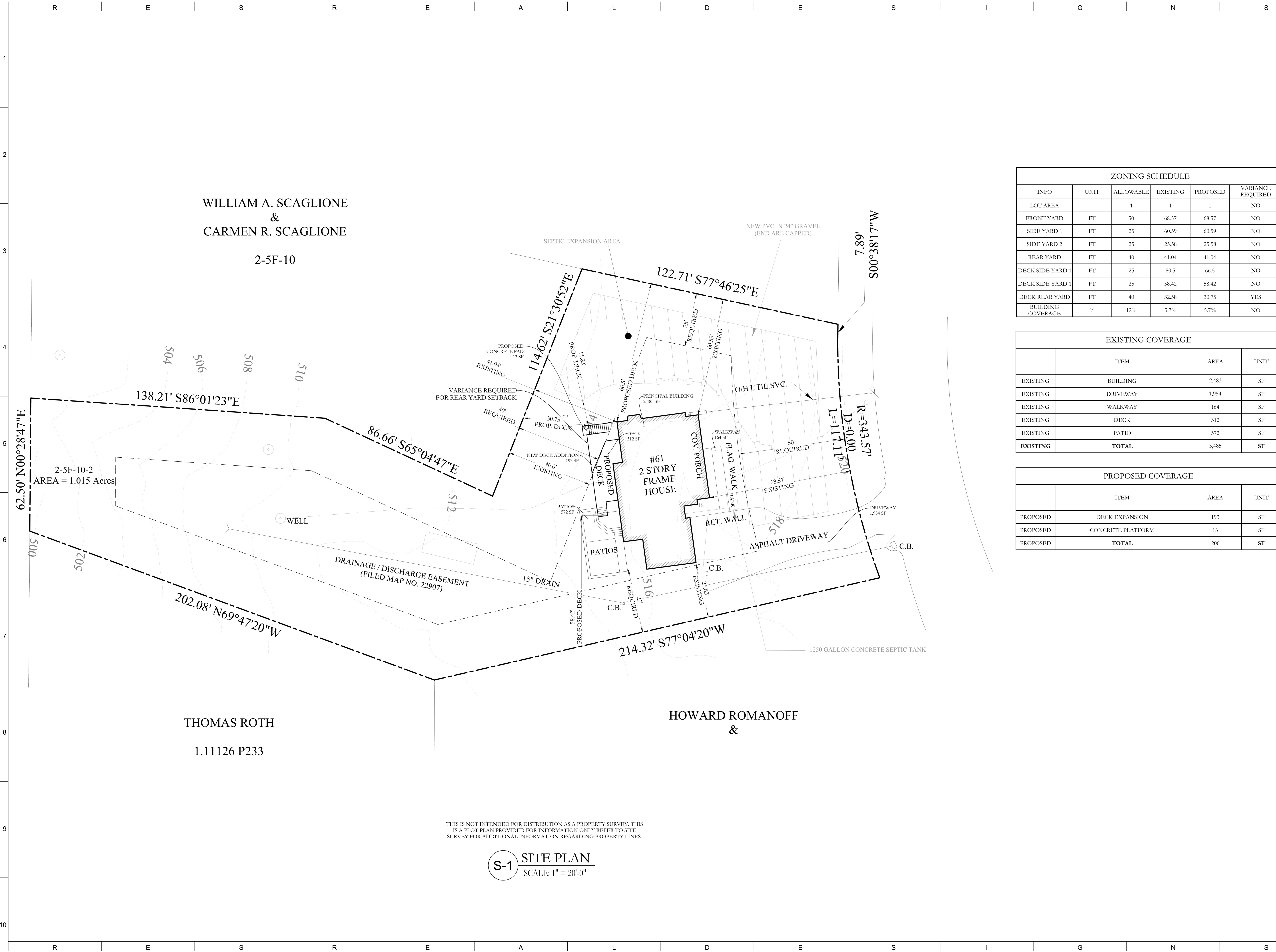
**61 BYRAM RIDGE ROAD
ARMONK, NY
10504**

DRAWING TITLE:

**SITE PLAN
SHEET 1**

SP-101

NOTES:



WILLIAM A. SCAGLIONE
&
CARMEN R. SCAGLIONE
2-5F-10

THOMAS ROTH
1.11126 P233

HOWARD ROMANOFF
&

THIS IS NOT INTENDED FOR DISTRIBUTION AS A PROPERTY SURVEY. THIS IS A PLOT PLAN PROVIDED FOR INFORMATION ONLY REFER TO SITE SURVEY FOR ADDITIONAL INFORMATION REGARDING PROPERTY LINES.

S-1 SITE PLAN
SCALE: 1" = 20'-0"

PROPERTY INFORMATION:
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 PROPERTY IDENTIFICATION: 101.03-3-20
 OCCUPANCY: SINGLE FAMILY DWELLING
 ZONING CODE: R-1A

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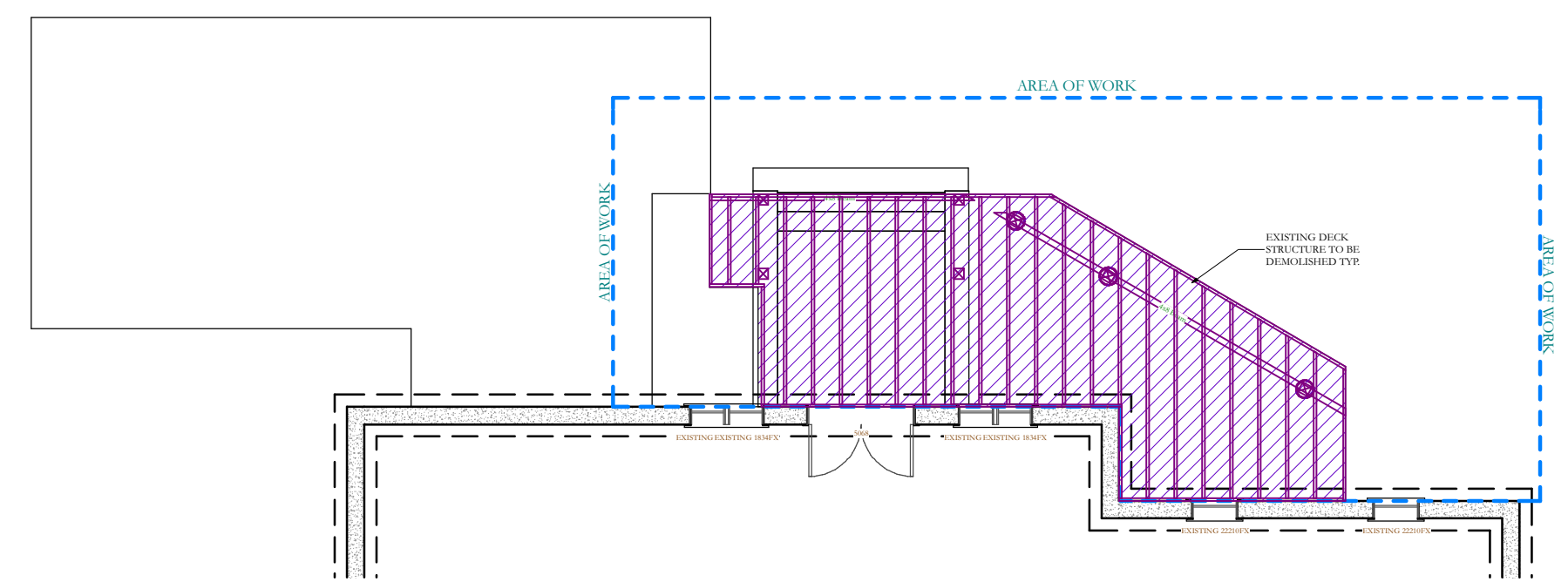
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PROJECT:
 61 BYRAM RIDGE ROAD
 ARMONK, NY
 10504

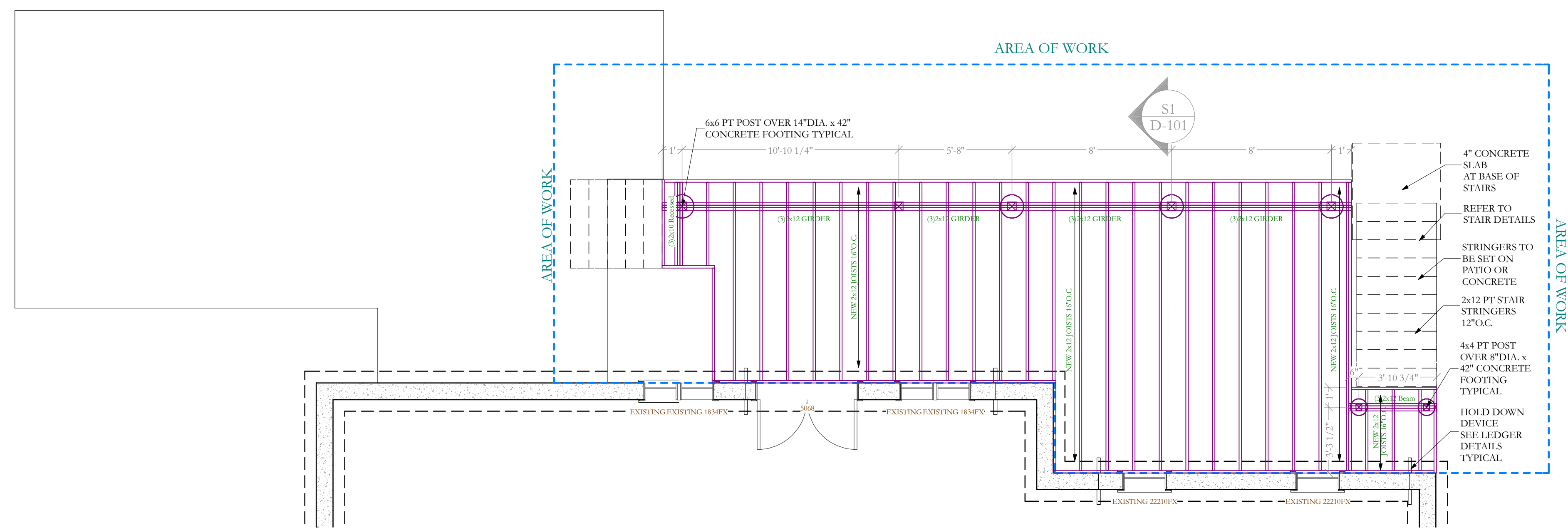
DRAWING TITLE:
 DECK PLANS
 SHEET 1

A-101

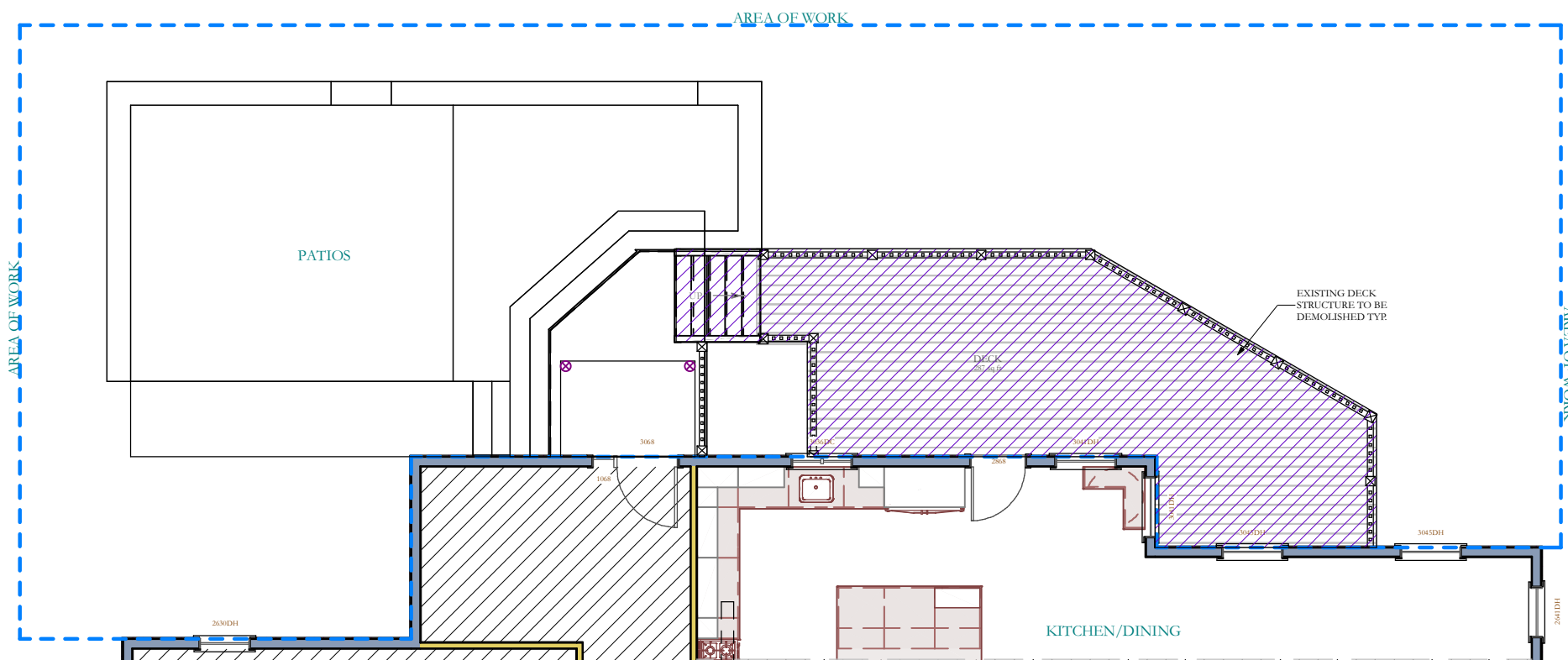
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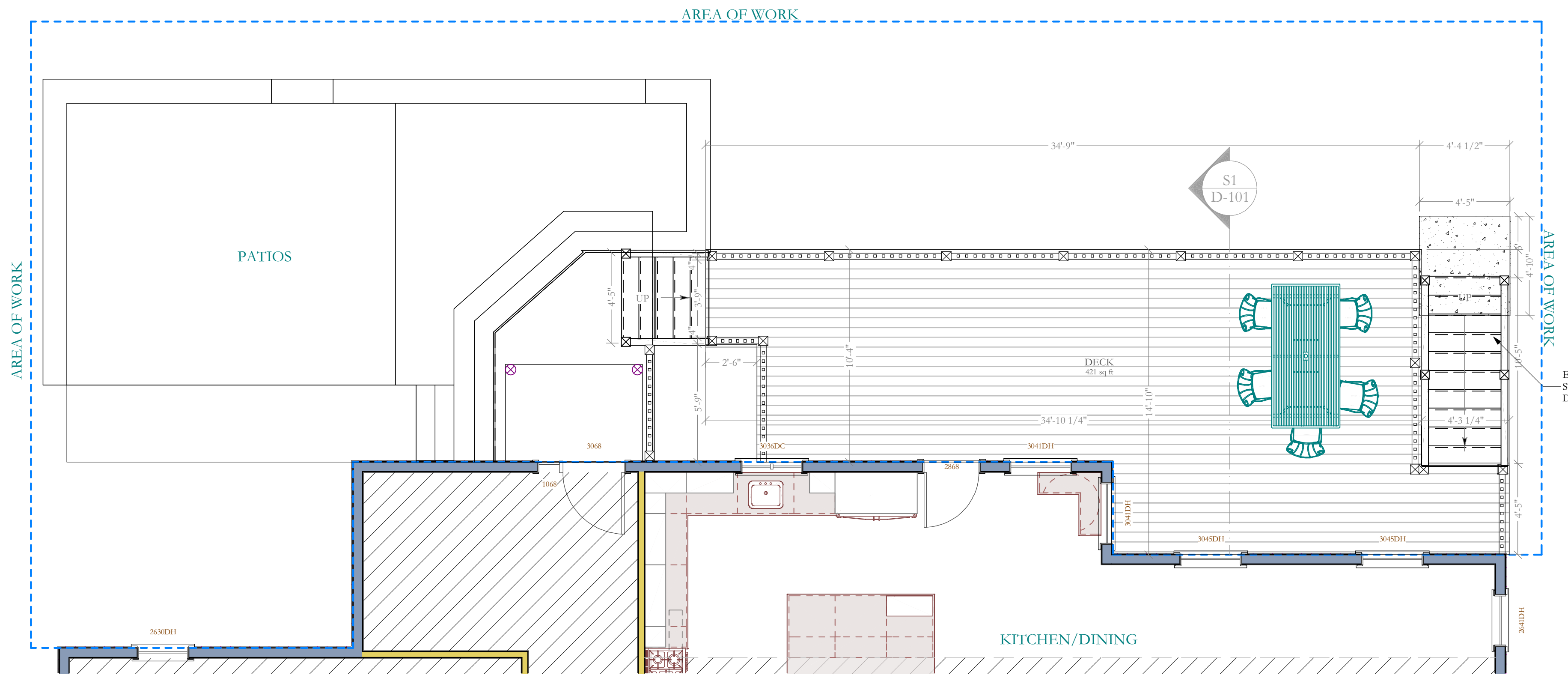
BX EXISTING/DEMO STRUCTURAL DECK PLAN
 SCALE: 1/8" = 1'-0"



B PROPOSED STRUCTURAL DECK PLAN
 SCALE: 1/4" = 1'-0"



E1 EXISTING/DEMO DECK PLAN
 SCALE: 1/8" = 1'-0"



1 PROPOSED OVERALL DECK PLAN
 SCALE: 1/4" = 1'-0"

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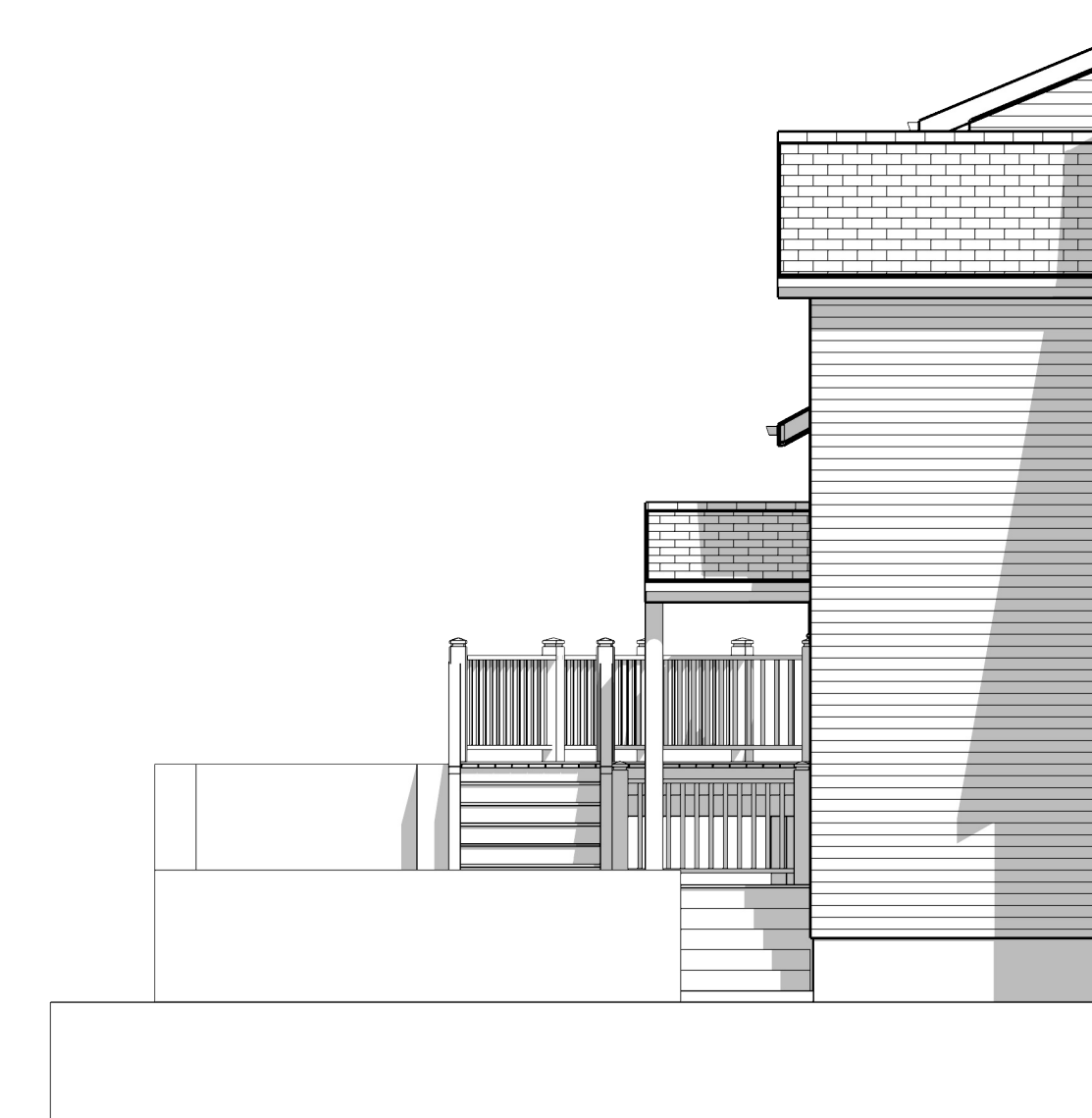
DRAWING LIST		
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EX1 EXISTING RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"



EX2 EXISTING REAR ELEVATION
 SCALE: 3/16" = 1'-0"



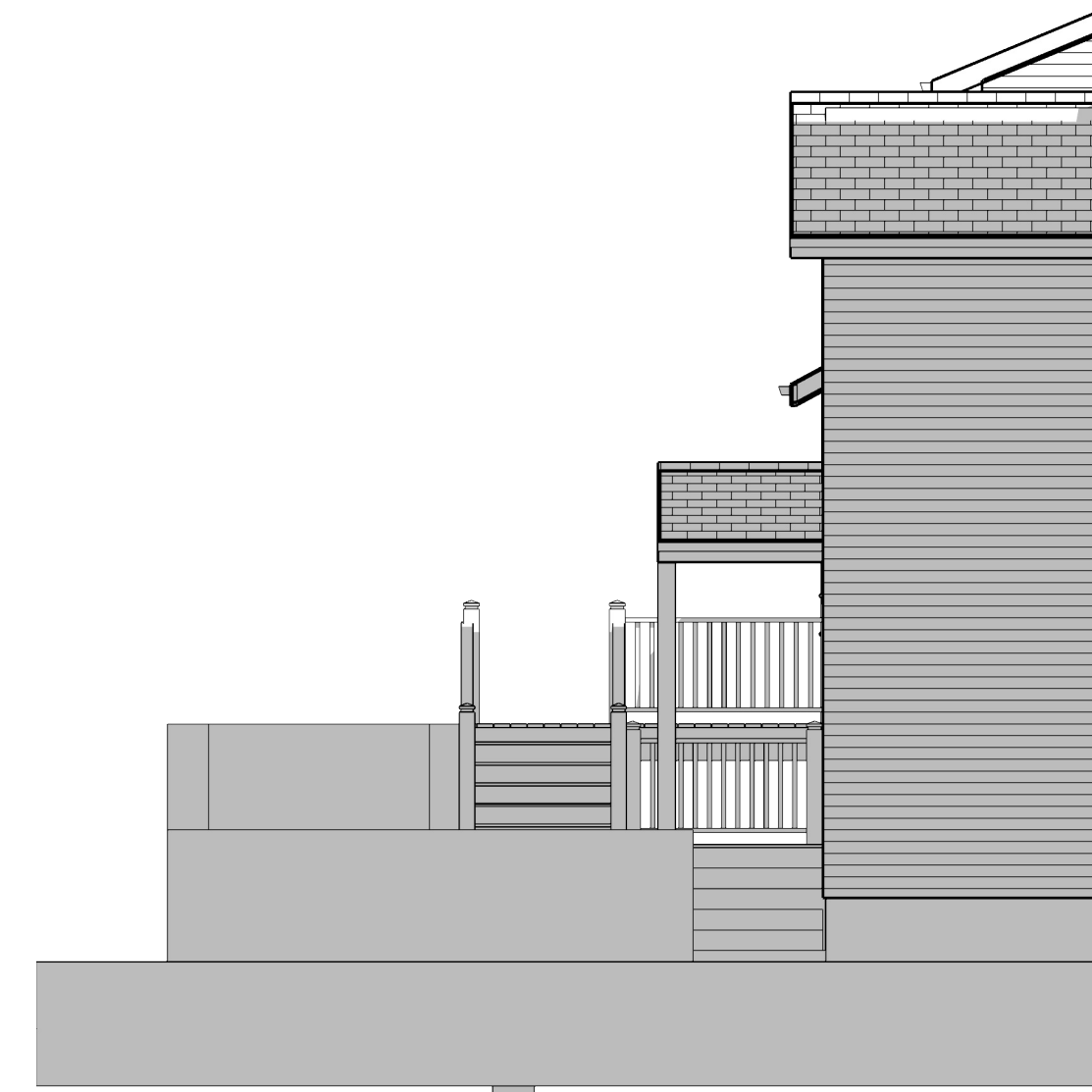
EX3 EXISTING LEFT ELEVATION
 SCALE: 3/16" = 1'-0"



E1 PROPOSED RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"



E2 PROPOSED REAR ELEVATION
 SCALE: 3/16" = 1'-0"



E3 PROPOSED LEFT ELEVATION
 SCALE: 3/16" = 1'-0"

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PROJECT:
61 BYRAM RIDGE ROAD
ARMONK, NY
10504

DRAWING TITLE:
ELEVATIONS
SHEET 1

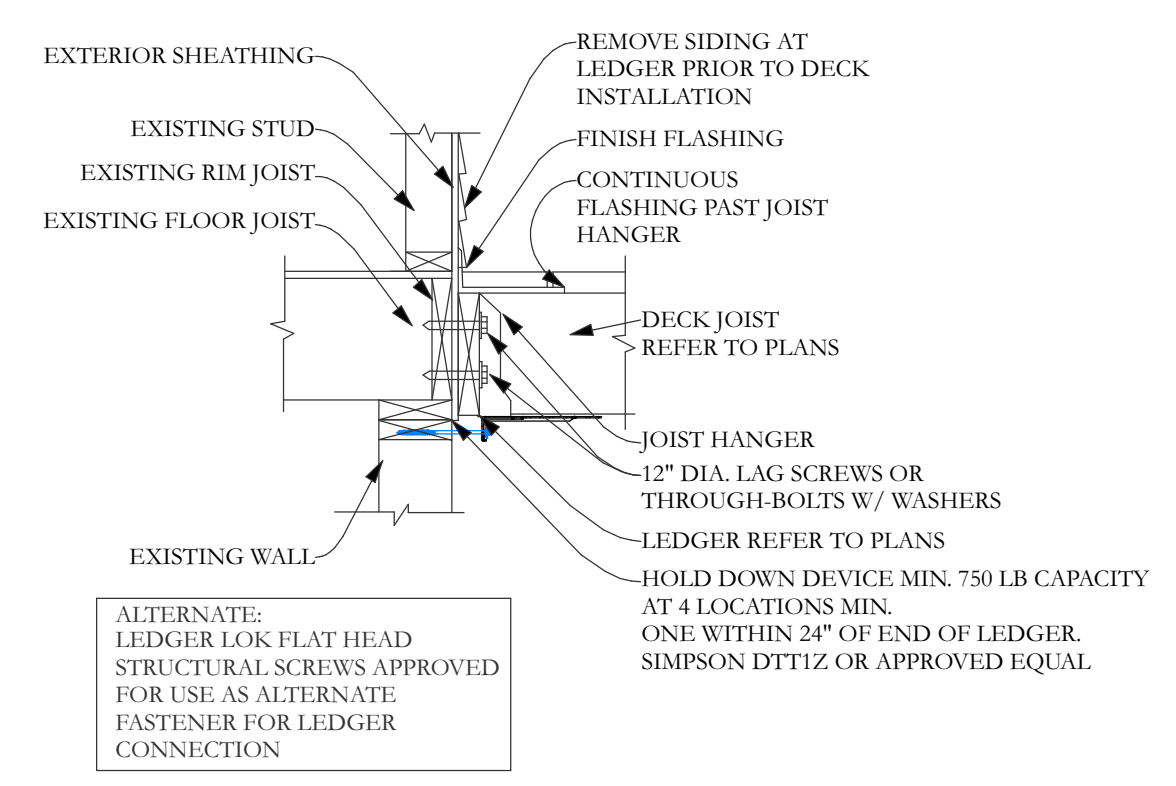
A-201

NOTES:

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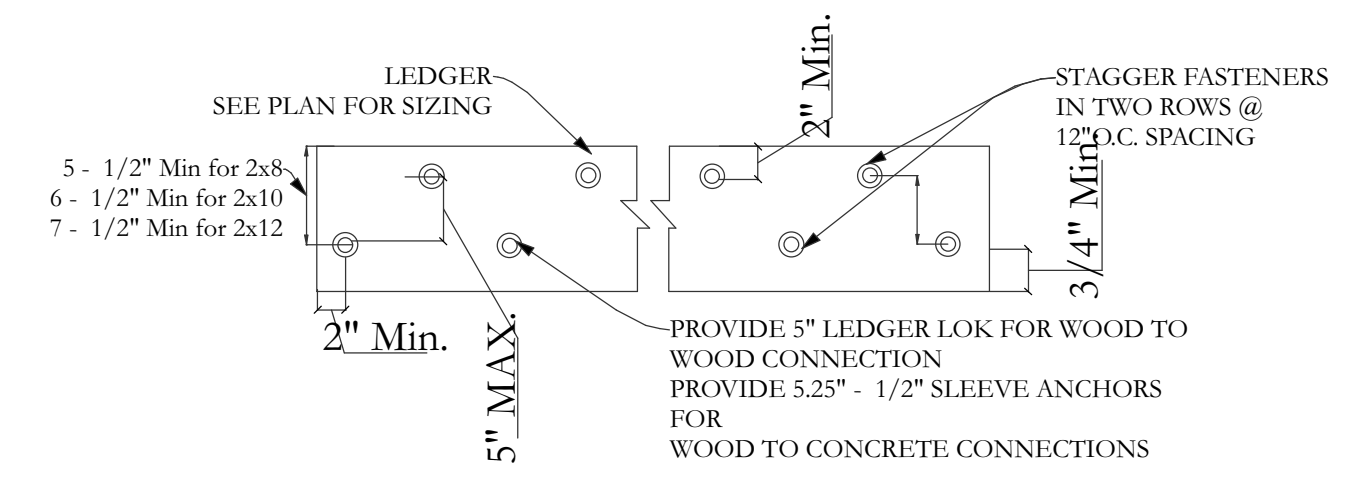
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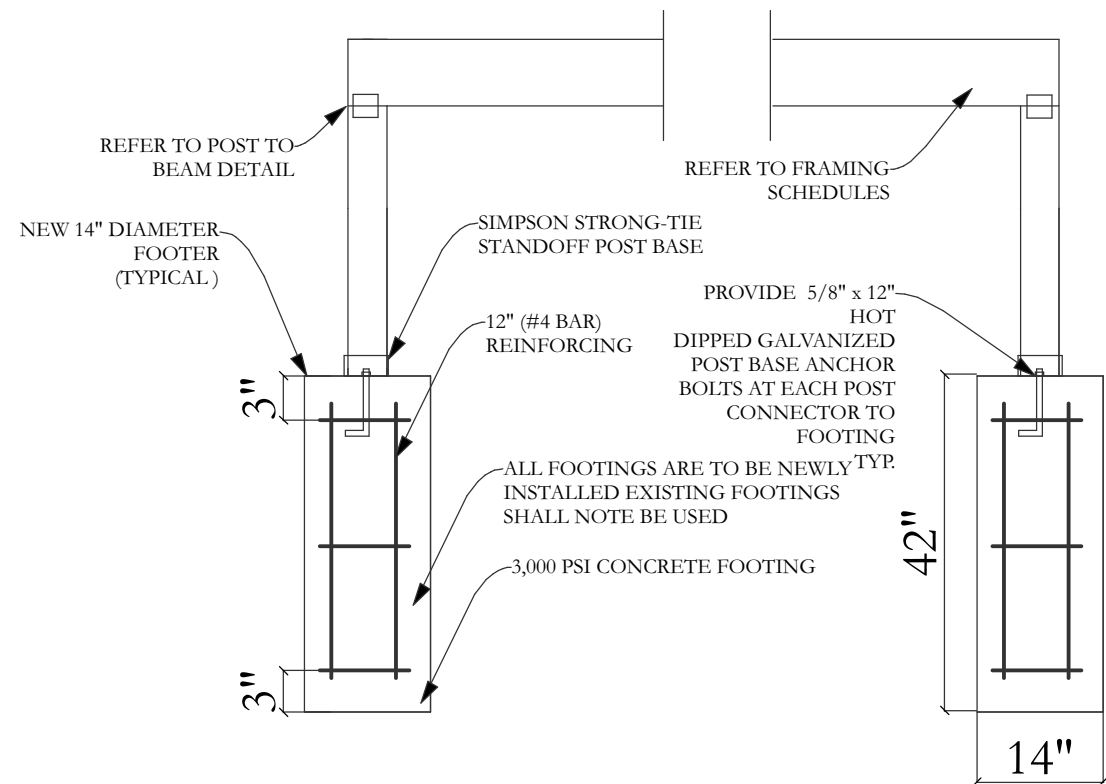
LEDGER CONNECTION

SCALE: NTS



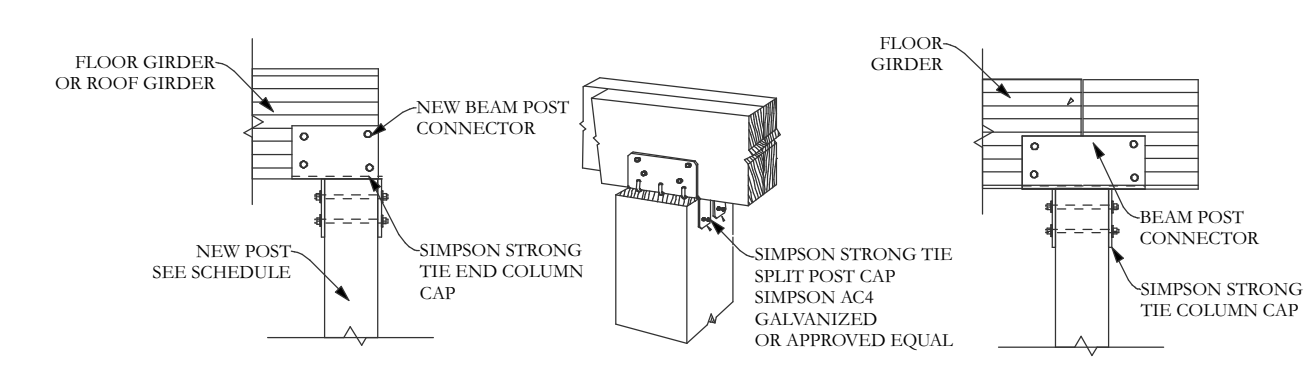
LEDGER DETAIL

SCALE: NTS



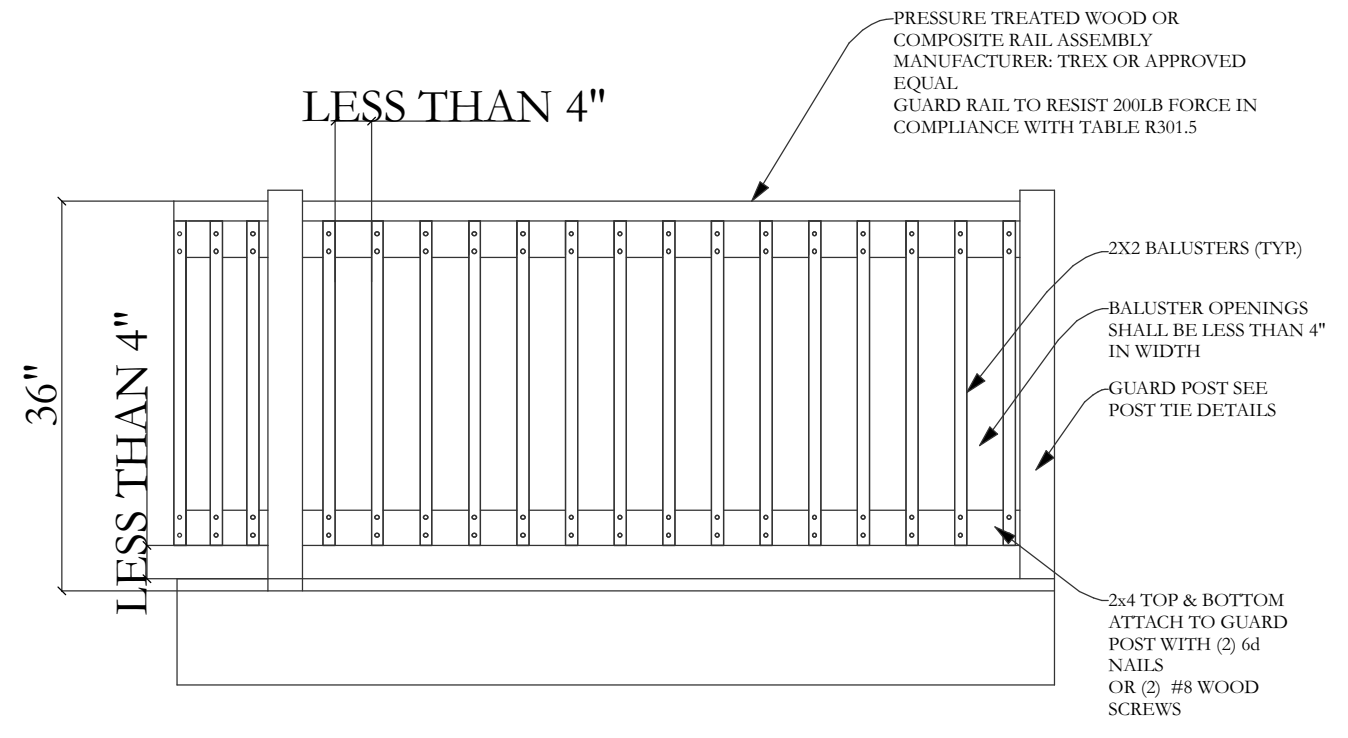
FOOTING DETAIL

SCALE: NTS



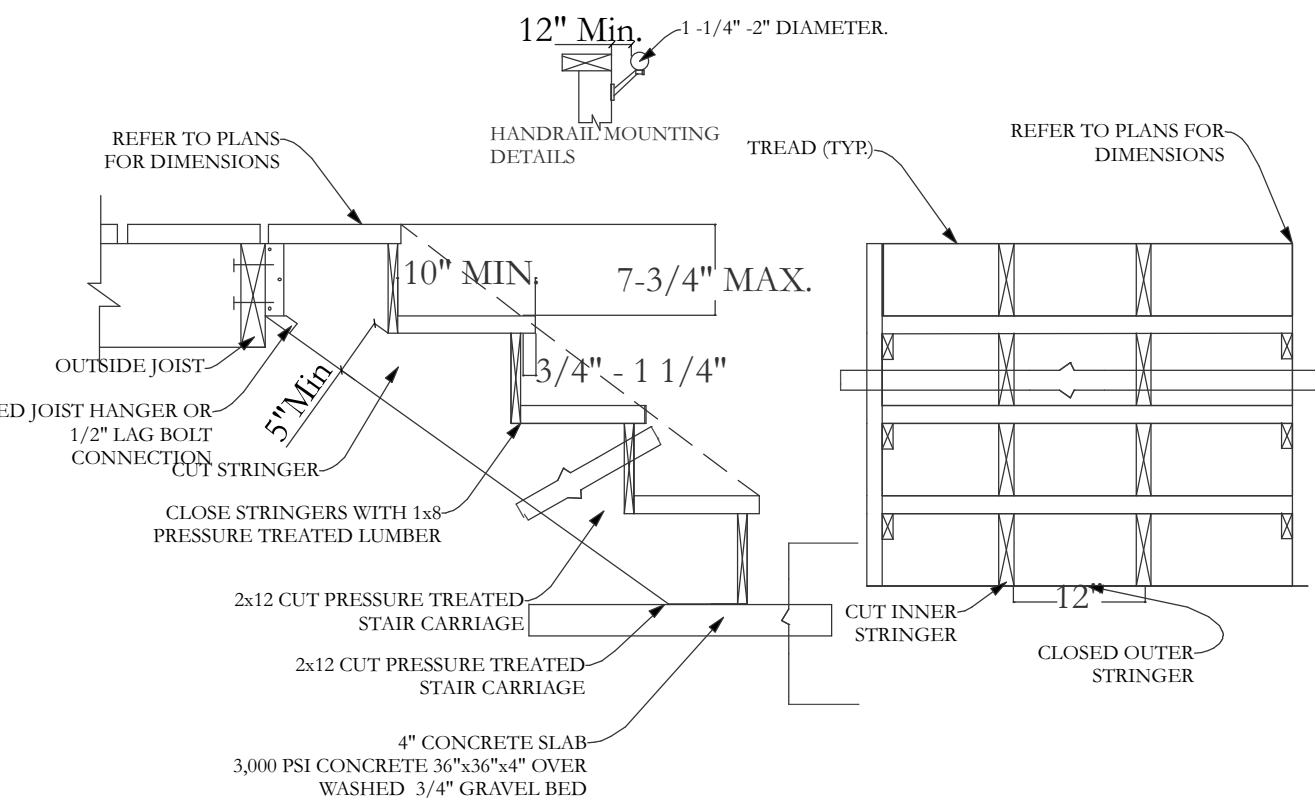
POST/GIRDER TIE DETAIL

SCALE: NTS



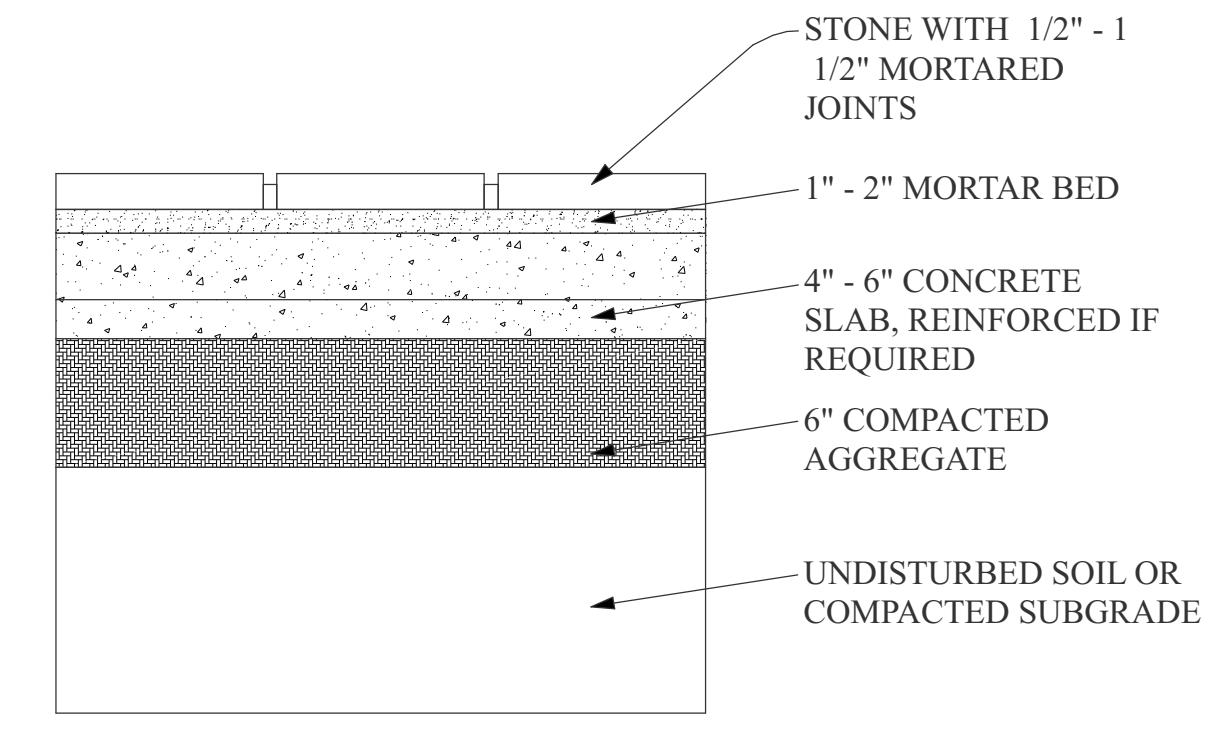
EXTERIOR RAILING

SCALE: NTS



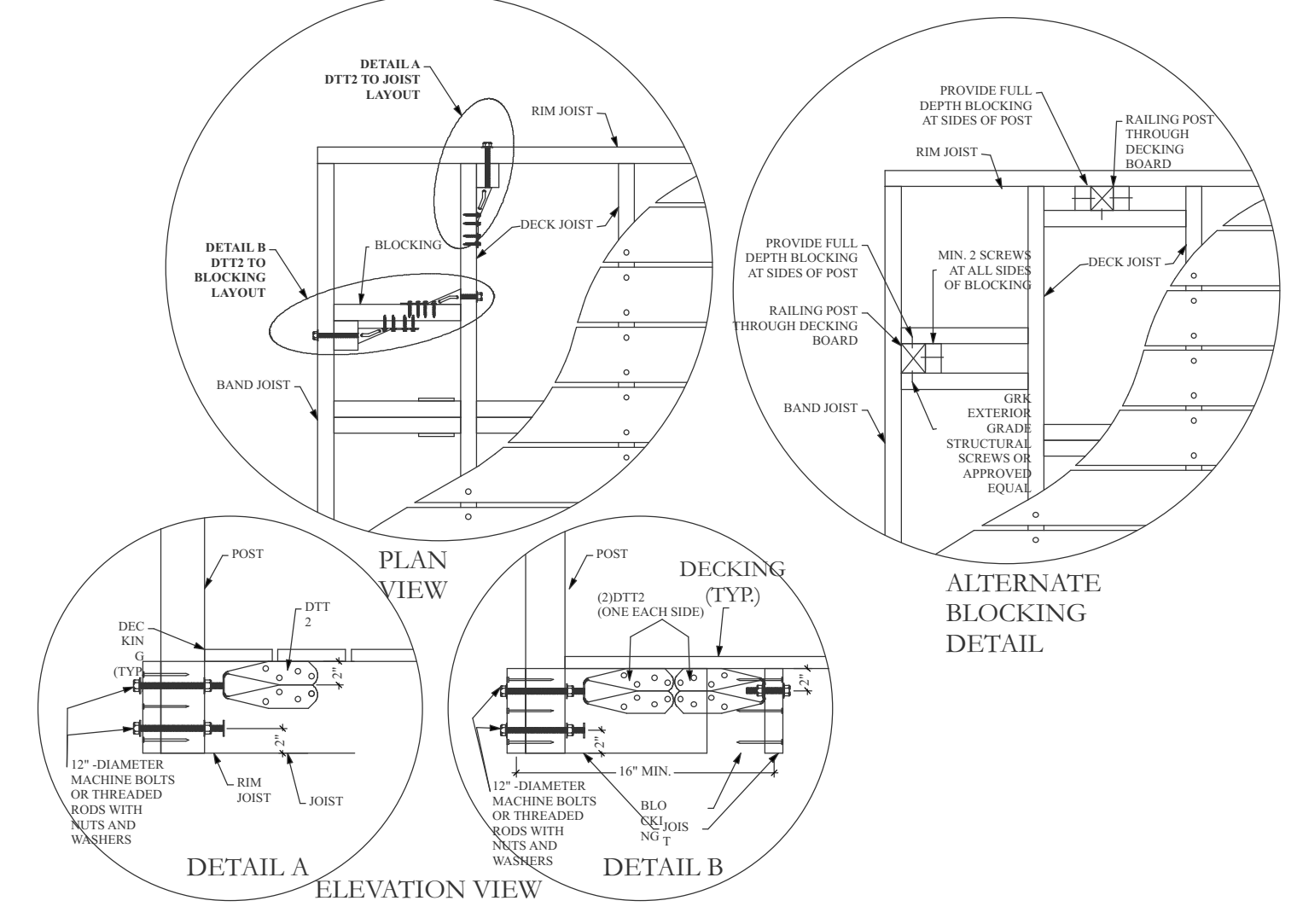
DECK STAIR DETAIL

SCALE: NTS



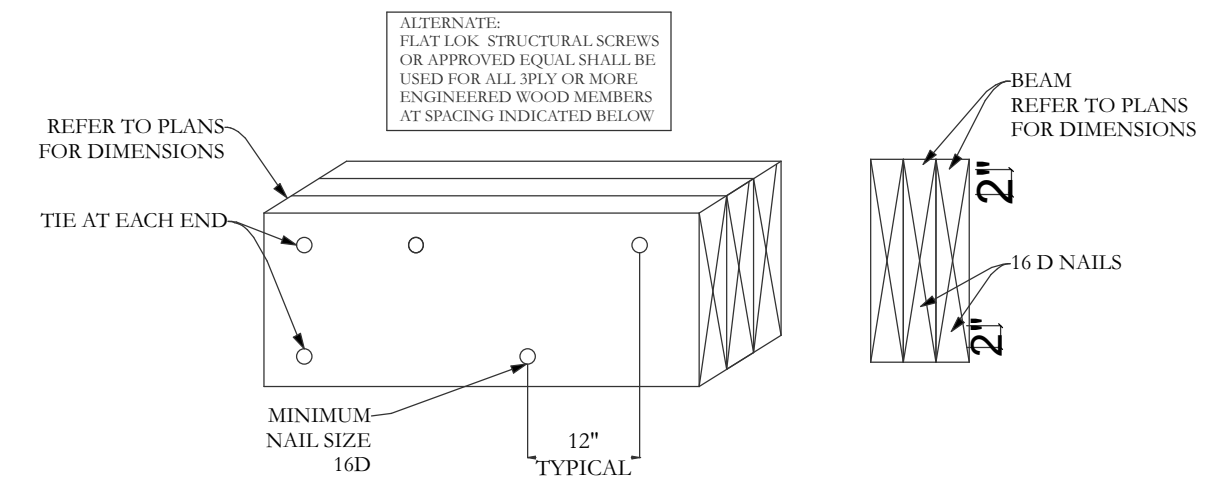
PATIO DETAIL

SCALE: NTS



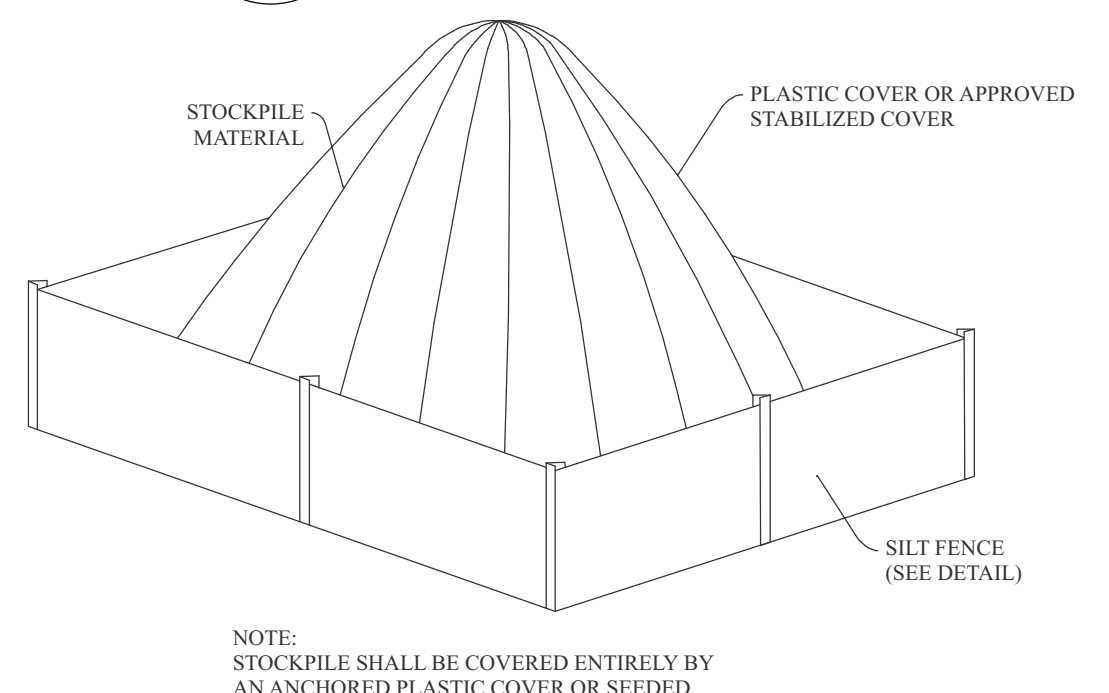
RAILING POST TIE DETAIL

SCALE: NTS



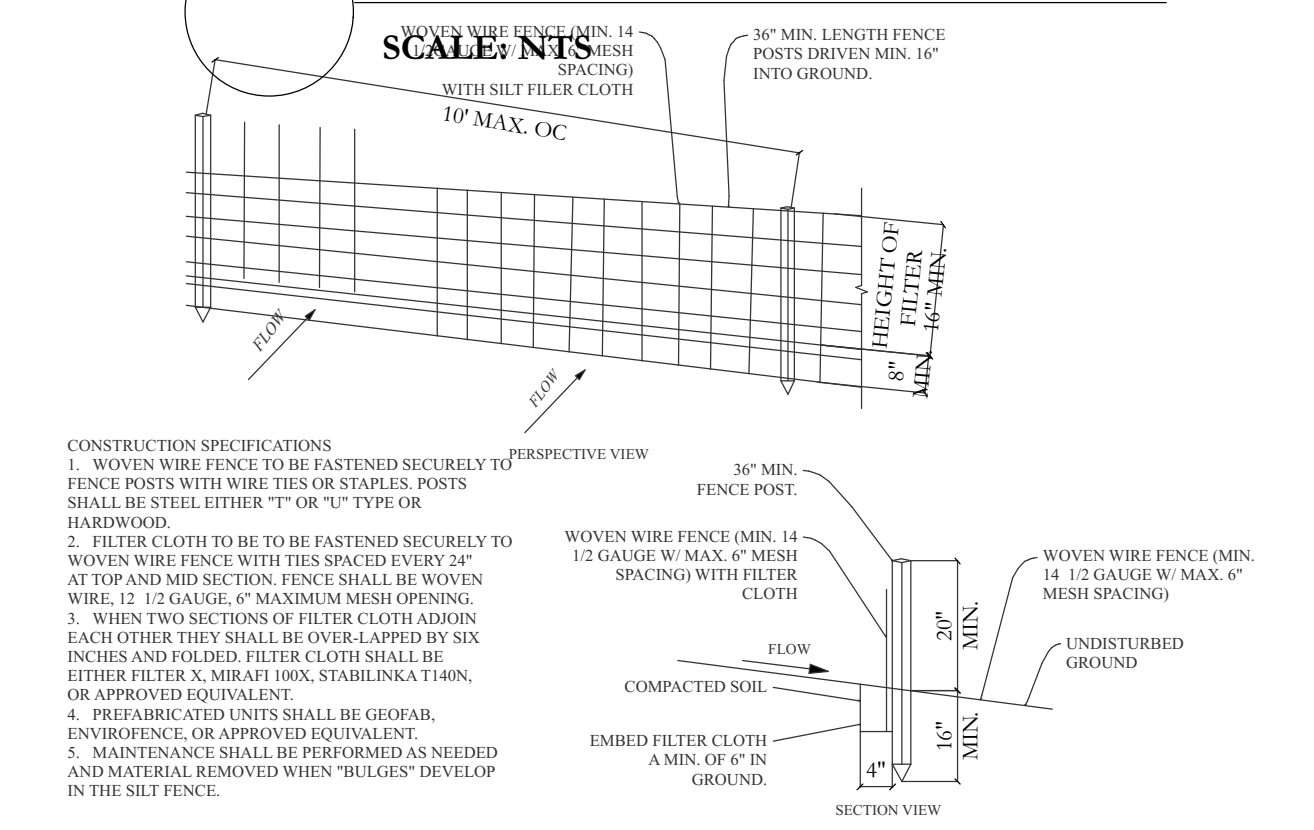
BEAM FASTENING

SCALE: NTS



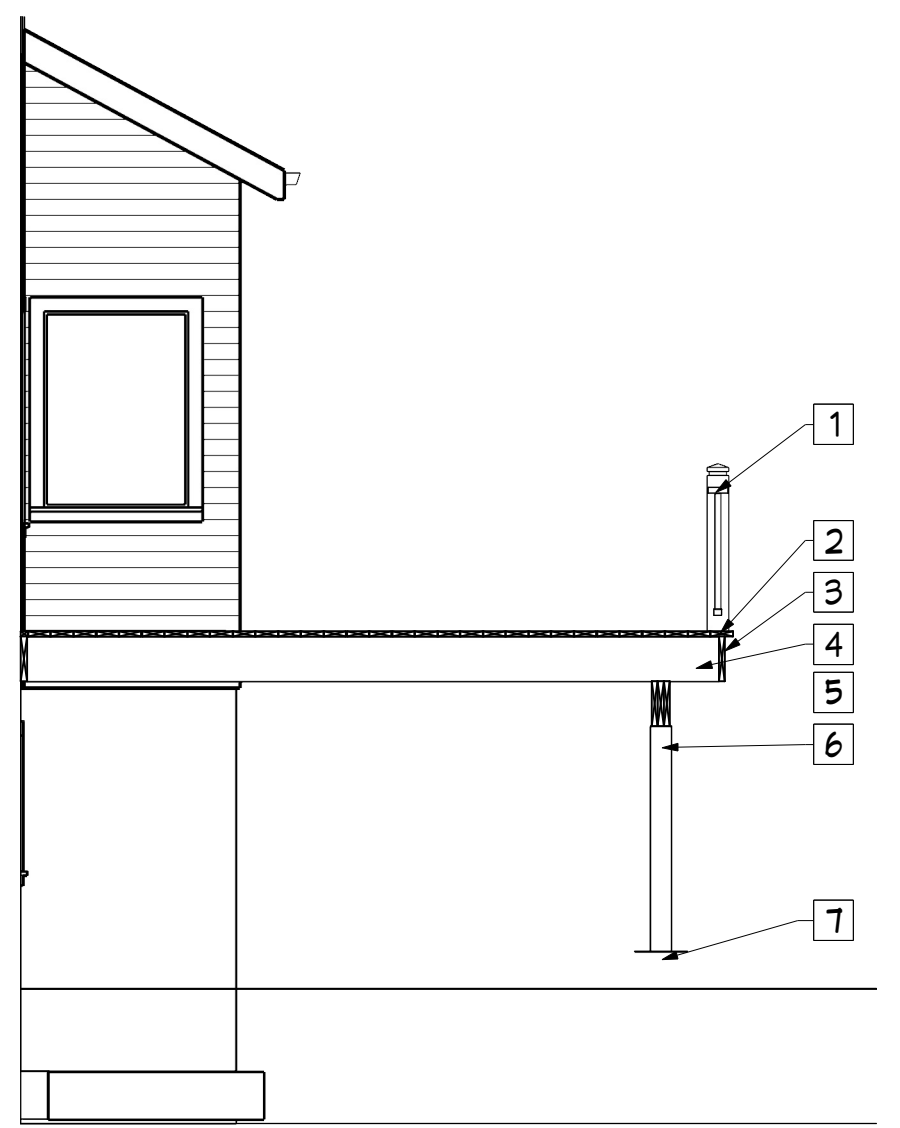
SOIL STOCK PILE

SCALE: NTS



SILT FENCE DETAIL

SCALE: NTS



CROSS SECTION 1

SCALE: 1/4" = 1'-0"

SECTION SCHEDULE			
#	ITEM	SIZE	NOTES
1	DECK GUARD RAIL	36" HIGH	-
2	DECK PLANKING	1x6 OR APPROVAL ALTERNATIVE	-
3	DECK RIM BOARD	2x10	-
4	DECK JOISTS	2x10 @ 16" o.c.	-
5	DECK GIRDER	2x12	-
6	GIRDER POST	6x6	-
7	POST FOOTING	14" DIA. FOOTING @ 42" BELOW GRADE	-

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PROJECT:
**61 BYRAM RIDGE ROAD
ARMONK, NY
10504**

DRAWING TITLE:
**DETAILS
SHEET 1
D-101**

NOTES: