



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 x 43

Fax: (914) 273-3554

www.nortcastleny.com

RESIDENTIAL PROJECT
REVIEW COMMITTEE

Adam R. Kaufman AICP, Chair

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 1523 Old Orchard St. West Harrison, NY 10604

Section III- DESCRIPTION OF WORK:

Addition to primary residence. Adding a master suite. Approximately 650 sq ft.

Section III- CONTACT INFORMATION:

APPLICANT: Matthew and Jaclyn Basso
ADDRESS: 1523 Old Orchard St. West Harrison, NY 10604
PHONE: _____ MOBILE: Matt-203-464-9800 EMAIL: Matt.Basso@bofa.com

PROPERTY OWNER: Matthew and Jaclyn Basso
ADDRESS: 1523 Old Orchard St. West Harrison, NY 10604
PHONE: _____ MOBILE: Jaclyn-917-750-6911 EMAIL: jsantariello@gmail.com

PROFESSIONAL: Roy Fredriksen PE
ADDRESS: PO Box 950 Mahopac, NY 10541
PHONE: 518-784-2186 MOBILE: 518-928-0265
EMAIL: rafredriksenpe@gmail.com

Section IV- PROPERTY INFORMATION:

Zone: R-3/4A Tax ID (lot designation) 27-1 Sheet 24 Block 7



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Basso Residence

Initial Submittal Revised Preliminary

Street Location: 1523 Old Orchard St. West Harrison, NY 10604

Zoning District: R-3/4A Property Acreage: 39,751 Tax Map Parcel ID: 27-1 Sheet 24 Block 7

Date: 12/18/2023

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

BUILDING DEPARTMENT
 Robert Melillo
 Building/ Fire inspector

Telephone: (914) 273-3000 ext. 44
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: MATT BASSO Date: 9/20/23
 Tax Map Designation or Proposed Lot No.: 27-1 SHEET 2A Block 7

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 39,751
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 8810
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
27 x 10 = 270
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 9080
5. Amount of lot area covered by **principal building**:
1848 existing + 638 proposed = 2486
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:
0 existing + 0 proposed = 0
8. Amount of lot area covered by **porches**:
0 existing + 0 proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:
2380 existing + 0 proposed = 2380
10. Amount of lot area covered by **terraces**:
700 existing + 638 proposed = 1338
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 0 proposed = 0
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. **Proposed gross land coverage**: Total of Lines 5 – 12 = 6204

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Roy A. Fredriksen
 Signature and Seal of Professional Preparing Work

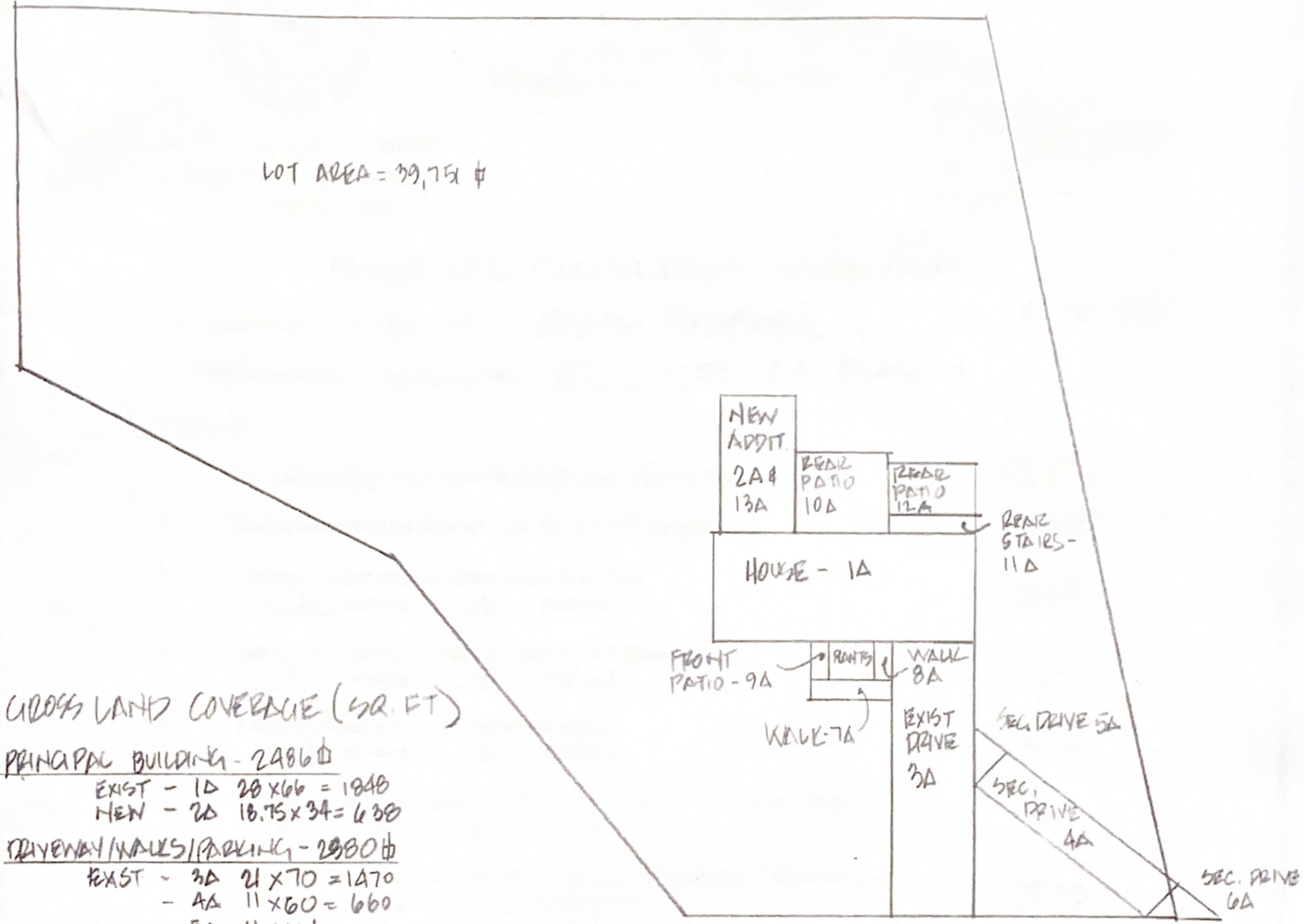


9/20/23
 Date

GROSS LAND COVERAGE

SCALE: 1" = 40'-0"

LOT AREA = 39,751 sq ft



GROSS LAND COVERAGE (SQ. FT)

PRINCIPAL BUILDING - 2486 sq ft

- EXIST - 1A 28 x 66 = 1848
- NEW - 2A 18.75 x 34 = 638

DRIVEWAY/WALKS/PARKING - 2980 sq ft

- EXIST - 3A 21 x 70 = 1470
- 4A 11 x 60 = 660
- 5A 11 x 10 ÷ 2 = 55
- 6A 11 x 10 ÷ 2 = 55
- 7A 5 x 20 = 100
- 8A 5 x 8 = 40

TERRACES - 1338 sq ft

- EXIST - 9A 4.75 x 8 = 38
- 10A 18 x 23 = 414
- 11A 4 x 20 = 80
- 12A 12 x 14 = 168
- NEW - 13A 18.75 x 34 = 638

BASSO RESIDENCE

1523 OLD ORCHARD STREET
W. HARRISON NY 10604

ROY FREDRIKSEN PE
PO BOX 950
MAHOPAC NY 10541



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northeastleny.com

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: BASSO RESIDENCE Date: 12-18-23
 Tax Map Designation or Proposed Lot No.: 27-1, SHEET 24 BLOCK 7

Floor Area

| | | |
|-----|---|---------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>39,751</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>9,220</u> |
| 3. | Amount of floor area contained within first floor: <u>1176</u> existing + <u>638</u> proposed = | <u>1814</u> |
| 4. | Amount of floor area contained within second floor: <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 5. | Amount of floor area contained within garage: <u>672</u> existing + <u>0</u> proposed = | <u>672</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed: <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of floor area contained within basement (if applicable - see definition): <u>933</u> existing + <u>0</u> proposed = | <u>933</u> |
| 8. | Amount of floor area contained within attic (if applicable - see definition): <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings: <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 10. | Proposed floor area: Total of Lines 3 - 9 = | <u>1814</u> |

If Line 10 is less than or equal to Line 2, your proposal complies with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Roy A. Fredriksen
 Signature and Seal of Professional Preparing Worksheet

12/22/23
 Date



12/18/23, 6:33 PM

Google Earth









GENERAL NOTES AND SPECIFICATIONS

- 1. ALL WORK SHALL CONFORM TO THE 2003 RESIDENTIAL CODE OF NEW YORK STATE AND THE 2008 ENERGY CONSERVATION CODE OF NEW YORK STATE AND ALL RULES AND REGULATIONS OF THE LOCAL AUTHORITIES HAVING JURISDICTION, INCLUDING THE LATEST EDITIONS OF THE NATIONAL FIRE CODE AND NATIONAL ELECTRICAL CODE.
2. THE CONTRACTOR IS TO CHECK AND VERIFY THESE DOCUMENTS AND BE RESPONSIBLE FOR ALL MEASUREMENTS, DIMENSIONS AND CONDITIONS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT, ENGINEER OR DESIGNER BEFORE A SUBMISSION OF BID. A SUBMISSION OF BID SHALL IMPLY CONTRACTOR'S ACCEPTANCE OF THE DRAWINGS AND THE EXISTING CONDITIONS.
3. COMMENCEMENT OF CONSTRUCTION WILL SIGNIFY THAT THE CONTRACTOR ACCEPTS THE CONDITIONS AND HOLD THE ARCHITECT, ENGINEER AND DESIGNER HARMLESS FOR ANY AND ALL SUCH CONDITIONS AND PERSONAL LIABILITY.
4. THESE DRAWINGS ARE INTENDED TO CONVEY THE OVER ALL DESIGN INTENT AND GENERAL SCOPE OF WORK AND CONNECTIONS, ASSEMBLIES AND DETAILS REQUIRED TO CARRY OUT THIS DESIGN. ANY DETAIL NOT SHOWN SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
5. CONTRACTOR SHALL OBTAIN ALL PERMITS AND REQUIRED UNDERWRITERS CERTIFICATES, CONTRACTS OF OCCUPANCY, BUILDING PERMIT (LABORING AND ELECTRICAL PERMITS AND/OR CONTRACTS) FOR ALL WORK INDICATED FROM ANY AGENCIES HAVING JURISDICTION.
6. IN THE COURSE OF CONSTRUCTION, A CONDITION EXISTS WHICH DISAGREES WITH THAT AS INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT, ENGINEER OR DESIGNER IMMEDIATELY. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE TO WORK, HE SHALL ASSUME ALL RESPONSIBILITY AND LIABILITY ARISING THEREFROM.
7. DO NOT SCALE DRAWINGS, WRITE IN DIMENSIONS SUPERSEDED SCALED DIMENSIONS.
8. DURING THE COURSE OF CONSTRUCTION, IF MODIFICATIONS TO THE DESIGN OCCUR AS A RESULT OF EXISTING CONDITIONS, OR A REQUEST OF THE OWNER, DESIGNER, ETC., THE CONTRACTOR SHALL SUBMIT TWO WRITTEN COPIES OF A CHANGE ORDER WITH THE AGREED PRICE IMMEDIATELY. CONTRACTORS SHALL NOT CONTINUE WITH ANY CHANGES UNTIL HE RECEIVES WRITTEN AUTHORIZATION FROM THE OWNER.
9. CONTRACTOR SHALL PATCH AND PATCH ALL FINISHES AFFECTED BY CONSTRUCTION.
10. ALL MATERIALS USED ARE TO BE PERMANENT. MATERIALS TO BE USED IN THE CONSTRUCTION BY THE PREMISES SHALL BE NEW AND UNPAID.
11. THE CONTRACTOR SHALL GUARANTEE THE WORK OF EACH TRADE AND THE ENTIRE WORK OF THE CONTRACT FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE ACCEPTANCE BY THE OWNER.
12. CONTRACTOR TO SUPPLY TO THE OWNER IN WRITING A WAIVER OF ALL LIENS FOR FINISHED AND ALL SUBCONTRACTORS AT THE TIME OF FINAL PAYMENT.
13. UPON COMPLETION OF WORK, CONTRACTOR SHALL ROOM CLEAN ALL AFFECTED AREAS AND LEAVE AWAY ALL DEBRIS.
14. ALL WORK TO BE DONE BY LICENSED CONTRACTORS. ANY DEVIATIONS FROM THE CONTRACT DRAWINGS THAT RESULT IN DESIGN OR STRUCTURAL FAILURE ARE NOT THE RESPONSIBILITY OF THE DESIGNER, ENGINEER OR ARCHITECT.
15. CONTRACTORS SHALL SUBMIT THE FOLLOWING PRIOR TO START OF WORK:
A. CERTIFICATE OF INSURANCE
B. WORKMAN'S COMPENSATION CERTIFICATE
C. BUILDING PERMITS INCLUDING MECHANICAL AND ELECTRICAL IF REQUIRED

EXCAVATION (IF REQUIRED)

- 1. EXCAVATION AS REQUIRED ON PLANS TO ALLOW FOR THE CONSTRUCTION AS SHOWN AND PROTECT REMAINING SITE AS REQUIRED.
2. EXCAVATE ALL BATTER BOULDERS, ROCKS AND SOFT ROCK TO THE LINES AND DEPTH INDICATED ON THE DRAWINGS. ALL FOOTINGS TO BE ON SOLID, UNDISTURBED SOIL.
3. FINISH GRADING SHALL BE ESTABLISHED TO PROVIDE SURFACE DRAINAGE IN ALL DIRECTIONS AWAY FROM THE HOUSE AND EXCAVATED AREA.

CONCRETE AND FOOTINGS

- 1. CONCRETE SHALL BE F-3,000 PS@28 DAYS.
2. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE SURE THAT THE SOIL BEARING CAPACITY IS 2,000 PSF MINIMUM.
3. POLY CONCRETE FOOTINGS CONTINUOUSLY AND STRIPLY SIZE AS SHOWN ON PLANS. REINFORCING TO BE REINFORCED WITH (3) #4 REBARS AND POURED AT 4" BELOW GRADE FOR ALL POINTS EXCEPT WHERE IT BEARS ON ROCKLEDGE OR REBARS TO BE USING TO PIN FOOTINGS TO ROCK. REINFORCEMENT MAY BE ELIMINATED.
4. CONCRETE SHALL BE A MIN. A 3,000 PSI COMPRESSIVE STRENGTH FROM FOOTINGS. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST AMERICAN CONCRETE INSTITUTE (ACI) GUIDELINES.
5. FOOTINGS SHALL BEAR ON UNDISTURBED OR WRITING BEARING CAPACITY OF 1.5 TO 2.0 PSI PER LINEAR AND FINISHING

LOADS AND FINISHING

- 1. STRUCTURAL LOADS SHALL NOT EXCEED THE FOLLOWING: P = 1,200 P.S.F. CONSTRUCTION LOAD. GRADE DOUGLAS FIR, ALL PRESSURE TREATED LUMBER TO BE SOUTHERN YELLOW PINE WHICH IS TO BE USED FOR DECK STRUCTURES.
2. ALL FINISHING TO BE IN ACCORDANCE WITH THE STATED BUILDING CODES.
3. DESIGN LOADS:
FIRST FLOOR LOADS:
LIVE LOAD 40P/SF
DEAD LOAD 10P/SF
LIVE LOAD 30P/SF
DEAD LOAD 10P/SF
SECOND FLOOR LOADS:
LIVE LOAD 40P/SF
DEAD LOAD 10P/SF
LIVE LOAD 30P/SF
DEAD LOAD 10P/SF
ATTIC LOAD:
LIVE LOAD 20P/SF
DEAD LOAD 10P/SF
LIVE LOAD 30P/SF
DEAD LOAD 10P/SF
WIND SPEED DESIGN LOAD 90-100 MPH

- 4. DOUBLE FLOOR JOIST UNDER ALL PARTITIONS, PARTITIONS INCLUDING EXTERIOR WALLS.
5. AT ALL BEARING POINTS PROVIDE BEARING 4" WIDER THAN THE THICKNESS OF BEARING MEMBER UNDER PARTITION.
6. FINISHING OF THE ENTIRE ADDITION SHALL BE ERECTED PLUMB, LEVEL AND TRUE. SECURELY FASTENED JOISTS, STUDS AND RAFTERS SHALL BE DOUBLE ABOVE ALL OPENINGS. ALL FLUSH HEADERS SHALL BE CONNECTED WITH METAL JOIST HANGERS. SECTIONS OF JOISTS, SPLITTING AND RAFTERS ON SHIP LUG JOISTS. FINISH SOLID BLOCKING UNDER ALL POINTS OF CONTACT TO PROVIDE ALL FIVE BLOCKING AT ALL JOIST SPACES OVER 30" HIGH OR ALL NON-SPACED FLOOR SPACES AT 30" INTERVALS MAX.
7. ALL STUDS IN BEARING WALLS ARE TO BE NAILER ON TOP AND BOTTOM WITH 16D NAILERS @ 16" ON COMMON WALLS.

- 8. ALL HEADERS ARE TO BE INSTALLED ABOVE ALL OPENINGS, DOORS AND WINDOWS IN BEARING WALLS. TECO JOIST HANGERS TO BE USED ON ALL FLUSH HEADER CONNECTIONS. ENDS OF HEADERS TO BE FULLY ON (P) 2 X 4 JACK STUDS UNLESS OTHERWISE NOTED.
TYPICAL SPAN SIZE OF HEADER:
8" x 8" 2-2 X 8
12" x 12" 2-2 X 10
18" x 18" 2-2 X 12

- 9. LAMINATED VENEER BEAM SHALL BE "MICRO-LAM 1.9E" BY TRUS JOIST MANUFACTURER OR EQUAL. MAX. 28.500. INSTALL 1.5 PER MANUFACTURER'S SPECIFICATIONS.
10. ALL WALL SHEATHING TO BE MINIMUM 1/2" EXTERIOR GRADE PLYWOOD OR 5/8" OSB. SUB-FLOORING TO BE 3/4" TAG PLYWOOD NAILER WITH SCREW TYPE NAILED A TOTAL OF 1 X 1/2" THICK PLYWOOD UNDER EXISTING TILE. OSB MAY BE USED INSTEAD OF PLYWOOD.
11. ALL GIRDERS AND POSTS TO BE FREE OF LARGE KNOTS, CHECKS OR OTHER VISUAL IMPERFECTIONS. WHERE POST IS FREE STANDING A TECO POST BASE CONNECTOR MUST BE USED.
12. WHERE JOISTS MEET A FLUSH GIRDER OR LEDGER, TECO JOIST HANGERS MUST BE USED. ALL DECK LEDGERS TO BE BOLTED TO WALL WITH 1/2" GALVANIZED STEEL BOLTS STAGGERED AT 18" O.C.
13. PROVIDE SOLID WOOD BRIDGING AT MID-SPAN OF ALL JOISTS.
14. ALL SOPSIS MUST BE VENTED UNLESS SPECIFIED

WINDOWS, DOORS AND TRIM

- 1. ALL WINDOWS SHALL BE ANDERSON 400 SERIES, TILT-WASH, INSULATED WITH SCREENS, WHITE INTERIOR AND EXTERIOR UNLESS NOTED OTHERWISE. TYPE AND SIZE AS NOTED ON PLANS. WINDOWS MUST BE SELECTED PRIOR TO ROUGH FRAMING AND COORDINATE ALL WINDOW ROUGH OPENING DIMENSIONS WITH FINISHING SPACING PRIOR TO ORDERING.
2. PROVIDE TEMPERED GLASS WHERE SHOWN OR ANYPLACE WHERE WITHIN 36" ABOVE FINISHED FLOOR. EXTERIOR DOORS SHALL BE PRE-HUNG INSULATED 1 X ENTRY DOOR SYSTEM COMPLETE WITH WEATHERSTRIPPING AND HARDWARE.
3. TRIM SHALL BE STOCK SELECTIONS, NEATLY FITTED AND INSTALLED. INTERIOR AND EXTERIOR, INCLUDING DOOR AND WINDOW CASING, APRONS, STOODS AND BASE AT FLOOR. CLOSETS TO HAVE 1/2" PLYWOOD SHELVES WITH 1/2" NOSING AND WOOD CLOTHES POLE ADEQUATELY SUPPORTED. LINEN CLOSETS TO HAVE (2) ADJUSTABLE 1/2" SHELVES.
4. INTERIOR DOORS SHALL BE 1 3/8" SOLID CORE MASONITE DOORS, PAINT GRADE UNITS COMPLETE WITH HARDWARE AND CASING. CLOSET SLIDING, BI-FOLD AND POCKET DOORS SHALL BE 1 3/8" SOLID CORE MASONITE DOORS AS SHOWN ON PLANS, COMPLETE WITH KENTRACK HARDWARE ON BOTH SIDES.
5. FLOORS, WOOD FLOORS SHOULD MATCH EXISTING OR 2 1/2" STRIP OAK SECURELY NAILING OVER A LAYER OF ROBIN PLYWOOD UNDERLAYMENT IN JOIST AREAS.
6. FINISH WOOD FLOORS AND STAIRS SHALL BE SANDED SMOOTH AND EVEN AND RECEIVED WITH STAIN OR SEALER AS SELECTED BY OWNER AND 2 COATS POLYURETHANE FINISH UNLESS 3 COATS ARE SPECIFICALLY REQUESTED.
7. PROVIDE SOLID WOOD BLOCKING BEHIND LL TOWEL BARS ETC.
8. GENERAL CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION OF ALL VALVES, UNLESS OTHERWISE CUSTOM BUILT.

ROOFING AND EXTERIOR SIDING/TRIM

- 1. PROVIDE AND INSTALL ASPHALT SHINGLES AS SELECTED BY OWNER.
2. SHINGLES ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
3. PROVIDE 1 1/2" ALUMINUM FLUISING AT ALL VALLES. PROVIDE AND INSTALL MINIMUM 30" WIDE ICE AND WATER SHIELD.
4. WHERE ROOF MEETS ANY PORTION OF WALL, FLASHING MUST BE USED.
5. ALL RIDGES MUST BE CAPPED WITH A BIND CONTINUOUS RIDGE VENT. RIDGES MUST BE CAPPED.
6. GALVANIZED ALUMINUM GUTTERS AND LEADERS TO BE INSTALLED AS PER CONTRACTOR SPECIFICATIONS AND PER LOCAL CODE REQUIREMENTS.
7. SIDING AS NOTED ON DRAWINGS OR AS SELECTED BY OWNER.
8. ALL TRIM TO BE PVC, 2X4 OR APPROVED EQUAL.

ROOM FINISH

- 1. WALLS AND CEILINGS IN ALL ROOMS TO RECEIVE 1/2" GYPSUM BOARD, M.R. IN BATHROOMS.
2. FLOORS ARE TO BE FINISHED AS PER CONTRACTOR SPECIFICATIONS. CERAMIC/PORCELAIN TILE IN BATHROOMS.
3. DRYWALL, ALL GYPSUM BOARD MUST BE SECURED TO WOOD MEMBERS WITH 2" LONG SCREWS. ALL HALL HOLES AND JOINTS TO RECEIVE THREE COATS OF TAPE AND SPACKLE AND TO BE SANDED SMOOTH IN PREPARATION FOR PAINT. ALL OUTSIDE CORNERS TO RECEIVE METAL CORNER BEADS. ALL WALL BOARD IN BATHROOMS BEHIND TILE TO BE GIBBERBOARD.
4. CAULKING: ALL JOINTS BETWEEN TILE AND OTHER SURFACES SHALL BE CAULKED WITH C-2000 ACRYLIC SEALANT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
5. FOAM INSULATION IN ALL CAVITIES AROUND ALL EXTERIOR WINDOWS, DOORS AND OTHER OPENINGS. AIR LEAKAGE JOINTS, INCLUDING SERVICE PENETRATIONS, PILING PENETRATIONS AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE SEALED.
6. PAINTING AND FINISHING: ALL WALLS AND SURFACES ON THE DRAWINGS ARE TO BE PAINTED WITH 1 COAT OF PRIMER AND 2 COATS OF FINISH PAINT. REMOVE ALL HARDWARE TRIM, ELECTRICAL PLATES, ETC., PRIOR TO PAINTING AND REPLACE SAME AT COMPLETION OF WORK. FINAL PAINT COLORS TO BE DETERMINED BY OWNER. USE BENJAMIN MOORE PAINT UNLESS NOTED OTHERWISE. CEILING TO BE FLAT WHITE. WALL COLOR TO BE FLAT FINISH AND ALL TRIM AND DOORS TO BE SEMI-GLOSS FINISH.

INSULATION

- 1. INSULATE ALL NEW EXTERIOR WALLS, FLOORS AND CEILINGS AS INDICATED ON PLANS AND SECTIONS. ROOF AND CEILING SHALL BE R-19 AND WALLS SHALL BE R-21 UNLESS NOTED OTHERWISE. FINISHED BASEMENT TO BE R-13 WEICHERTER COUNTY AND SOUTH AND R-15 FOR PUTNAM COUNTY AND NORTH. ALL TO BE BATT INSULATION. FOIL FACE ONE SIDE INSTALLED WITH FOIL TOWARDS THE VENTED SPACE OR AS REQUIRED OR SPECIFIED OTHERWISE.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NY STATE EDUCATION LAW

PLUMBING

- 1. ALL PLUMBING WORK SHALL BE DONE BY DULY LICENSED PERSONS AND IN COMPLIANCE WITH THE APPLICABLE PLUMBING CODES.
2. ANY UNDERGROUND WASTE LINES SHALL BE CAST IRON UNLESS OTHERWISE ACCEPTABLE BY LOCAL CODES.
3. REQUIRED TO FULLY COMPLETE. ALL PLUMBING WORK SHOWN ON PLANS AND SPECIFICATIONS.
4. CODES & PERMITS: ALL WORK MUST BE INSTALLED IN FULL ACCORDANCE WITH THE REQUIREMENTS OF ALL LOCAL AND GOVERNMENTAL CODES HAVING JURISDICTION.
5. PLUMBING: ALL PIPES PASSING THROUGH ROOF SHALL RECEIVE ALUMINUM COLLAR STRAPPED AND FITTED TO PROVIDE WATERPROOF SEAL.
6. TESTING: CONTRACTOR SHALL TEST ALL WATER, DRAINAGE AND VENT PIPING IN ACCORDANCE WITH LOCAL CODES.
7. FIXTURES: AS SHOWN ON PLANS, SHALL BE AMERICAN STANDARD, KOHLER OR APPROVED EQUAL. ALL BROCKED FITTINGS AND PIPE TO BE CHROME PLATED.
8. HOUSE HAS EXISTING SEPTIC AND WELL SYSTEMS.
9. ALL WATER LINES SHALL BE COPPER, PLASTIC OR APPROVED EQUAL.
10. PROVIDE SHUT-OFFS FOR ALL FIXTURES.
11. PROVIDE AND INSTALL ALL PIPES, TRAPS, CLEAN OUTS AND VENTS NECESSARY FOR SUCCESSFUL OPERATION OF ALL PLUMBING FIXTURES. PRESSURE OR WET PLUMBING TEST SHALL BE COMPLETED SUCCESSFULLY PRIOR TO INSTALLING ORY WALL.
12. PROVIDE 1" INSULATION ON ALL PIPES IN UNHEATED SPACES.

ELECTRICAL

- 1. ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BOARD OF FIRE UNDERWRITERS AND A CERTIFICATE OF COMPLIANCE MUST BE ISSUED.
2. ALL WORK TO BE DONE IN STRICT COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION, BY LICENSED CONTRACTORS.
3. CONTRACTOR TO PROVIDE EXHAUST FANS IN ALL BATHROOMS (VENT TO OUTSIDE), AND INSTALL AS PER CODE.
4. CONTRACTOR TO PROVIDE CARBON MONOXIDE DETECTORS WITH BATTERY BACK-UP (SEE PLANS FOR LOCATION), DETECTORS SHALL CONFORM TO ALL APPLICABLE CODES AND SHALL BE INSTALLED AS PER BUILDING CODE.
5. PANELS AND FEEDS: ELECTRICAL PANELS SHALL BE PROPERLY ARRANGED AND SHALL HAVE BRANCH CIRCUIT BREAKERS, THERMAL MAGNETIC TYPE. GENERAL LIGHTING CIRCUITS SHALL HAVE 15 AMP TRIP BATHING CIRCUITS FOR EQUIPMENT SHALL HAVE PROPERLY SIZED TRIP RATINGS FOR EQUIPMENT SERVED. CIRCUITS FOR KITCHEN AND BASEMENT RECEPTACLES SHALL HAVE 20 AMP TRIPS.
6. INSTALL RECEPTACLES PER CODE, GROUND FAULT INTERRUPTER TYPE TO BE INSTALLED IN KITCHENS, BATHROOMS, EXTERIOR AND STORAGE AREAS. WEATHERPROOF HOUSING REQUIRED OUTSIDE OR IN WET LOCATIONS.
7. CONTRACTOR TO PROVIDE ALL FINAL HOOK-UPS AS REQUIRED FOR KITCHEN, MECHANICAL EQUIPMENT, ETC.
8. SWITCHES AND RECEPTACLES: SWITCHES SHALL BE DECORA OR EQUAL, SILENT TYPE. RECEPTACLES SHALL BE DUPLEX RATED 15 AMP AT 120 VOLTS.
9. DOOR BELL: PROVIDE COMPLETE DOOR BELL SYSTEM TO EACH ENTRANCE AS SELECTED BY OWNER.
10. PROVIDE SINGLE STATION HARD-WIRED SMOKE DETECTORS LOCATED IN EVERY BEDROOM, ROOMS THAT BATTERY BACKUP SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR ON EVERY LEVEL OF HOUSE.
11. RECESS-DOWN LIGHTING INSTALLED IN ATTIC FLOOR WHICH WOULD COME INTO CONTACT WITH INSULATION MUST BE SEALED. MUST BE IC BATED OR INSTALLED INSIDE AN APPROPRIATE AIR TIGHT ASSEMBLY WITH A 0.5" CLEARANCE FROM COMBUSTIBLE MATERIALS. IF NOT IC BATED, THE FIXTURE MUST BE INSTALLED WITH A 3" CLEARANCE FROM INSULATION.

HEATING (AC OPTIONAL)

- 1. EXISTING HEATING AND AC SYSTEM, IF EXISTING SHALL BE EXTENDED INTO NEW ADDITION.
2. HEATING DESIGN: SYSTEM SHALL BE DESIGNED TO MEET LATEST EDITION OF A.S.H.R.E.A. SPECIFICATIONS AND THE NY'S ENERGY CODE. THE SYSTEM SHALL BE DESIGNED TO PROVIDE 75 DEGREES FAHRENHEIT TEMPERATURE IN ALL ROOMS WHEN EXTERIOR TEMPERATURE IS 7 DEGREES FAHRENHEIT. PROVIDE EXPANSION LOOPS ON ALL LONG RUNS OR PIPING.
3. A/C DESIGN IF ANY SYSTEM SHALL BE DESIGNED TO MEET LATEST EDITION OF A.S.H.R.E.A. SPECIFICATIONS AND THE NY'S ENERGY CODE. SYSTEM SHALL BE GUARANTEED TO MAINTAIN INDOOR TEMPERATURE OF 78 DEGREES FAHRENHEIT WHEN OUTDOOR TEMPERATURE IS 95 DEGREES FAHRENHEIT DRY BULB.
4. ALL DUCTS SHALL BE INSULATED AND RIGIDLY INSTALLED WITH REQUIRED BRACING AND SUPPORTS. THE MAIN SUPPLY AND RETURN DUCT SHALL BE ISOLATED FROM THE HEATER AND BLOWER BY MEANS OF FABRIC INSULATORS. PROVIDE DUCT DAMPER FOR EACH RUN. INSULATE ALL DUCTS LOCATED IN GARAGES, ATTIC AND UNHEATED AREAS.
5. GRILLS AND REGISTER: PROVIDE SUPPLY AND RETURN REGISTERS IN EACH ROOM, STYLE AS PER OWNER'S DIRECTIONS. ALL SUPPLY GRILLS TO HAVE ADJUSTABLE DAMPER.
6. BALANCING: HEATING CONTRACTOR SHALL BALANCE ENTIRE HOUSE 90 FRA L. ROOMS HEAT EVENLY TO THE REQUIRED TEMPERATURE SET ON THE THERMOSTAT.
7. ALL JOINTS, SEAMS, AND CONNECTIONS MUST BE SECURELY FASTENED WITH WELDS, GASWETS, MASTICS (ADHESIVES), MASTIC-PLUS-BIBBLED-FABRIC OR TAPES. DUCTTAP IS NOT PERMITTED EXCEPT ON CONTINUOUSLY WELDED AND CRACKING-TYPE LONGITUDINAL JOINT AND SEAMS ON DUCTS OPERATING AT LESS THAN 2" W.G. (900 PA).
8. DUCTS SHALL BE SUPPORTED EVERY 10 FEET OR IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.
9. COOLING DUCTS WITH EXTERIOR INSULATION MUST BE COVERED WITH A VAPOR RETARDER.
10. AIR FILTERS ARE REQUIRED IN THE RETURN AIR SYSTEM.

Professional Engineer's seal and signature area. Includes the text 'UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NY STATE EDUCATION LAW' and a signature 'DADO VERBANCE' dated 12/25/09.

SYMBOLS

- Recessed incandescent downlight - letter indicates switch control
- Recessed incandescent light fixture for sloped ceiling
- ⊙ Casework
- ⊙ Surface mounted light fixture for ceiling
- ⊙ Surface mounted light fixture for walls - interior or exterior
- Single pole light switch - letter indicates lights which switch controls
- Three way light switch
- ⊙ Duplex wall receptacle mounted 12" above finished floor
- ⊙ Duplex wall receptacle mounted 6" above countertop
- ⊙ Ground Fault Interrupter
- ⊙ WP waterproof
- ⊙ Cable television outlet
- ⊙ Ceiling or wall speaker
- ▲ Telephone outlet
- ⊙ Smoke/CO2 detector - connect to unswitched supply
- ▬ Existing walls
- ▬ New 4" or 6" stud partition - interior walls shall be 4" stud partition walls shall be 6" stud partition

CHAPTER 3 TABLE 2301.2(1) CLIMATE & GEOGRAPHICAL DESIGN CRITERIA

| CLIMATE ZONE | WIND SPEED (MPH) | WIND DIRECTION | SECOND DESIGN CATEGORY | SUBJECT TO DUTY FROM | | | WINTER DESIGN TEMP. (°F) | ICE EXHAUSTION (LBS/SQ FT) | WINTER DESIGN WIND SPEED (MPH) | AIR PERMEABLE INSULATION (PERCENT) | AIR INfiltration (CFM/100 SQ FT) |
|--------------|------------------|----------------|------------------------|----------------------|------|-------|--------------------------|----------------------------|--------------------------------|------------------------------------|----------------------------------|
| | | | | ROOF | WALL | FLOOR | | | | | |
| 30 | 125 | NW | 0 | Steeper | 40' | 40' | 30 | Yes | 1500 | 100 | 30 |

Manassas J. DeLuca, Esq.

| Element | Latitude | Winter Heating | Summer Cooling | Altitude (feet) | Major Design Temperature | Design Temperature Ceiling | Heating Temperature Difference |
|-------------------------------------|-----------------------|-----------------------|-----------------------|-----------------|--------------------------|----------------------------|--------------------------------|
| 30 | 42° 8' 15" | 32 | 87 | 116 | 72 | 75 | 63 |
| Conditioning Temperature Difference | Wind Velocity Heating | Wind Velocity Cooling | Occurrence Wind Speed | Wind Range | Winter Heating | Summer Heating | |
| 125 | | | 72 | 11 | | | |

ENERGY CODE COMPLIANCE STATEMENT:
 TO THE BEST OF OUR KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, ALL PLANS AND SPECIFICATIONS COMPLY WITH THE 2000 ENERGY CONSERVATION CODE OF NEW YORK STATE, PRESCRIPTIVE METHOD.

ZONE 4 - INSULATION AND FENESTRATION REQUIREMENTS

| R-VALUES | U-FACTOR | GLAZED FENESTRATION U-FAC |
|---------------|---------------------|---------------------------|
| CEILING: R-49 | FENESTRATIONS: 0.32 | 0.40 |
| WALLS: R-21 | | |
| FLOOR: R-19 | | |

NOTE:
 INSULATION IS TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS OR PER SET GRADE I



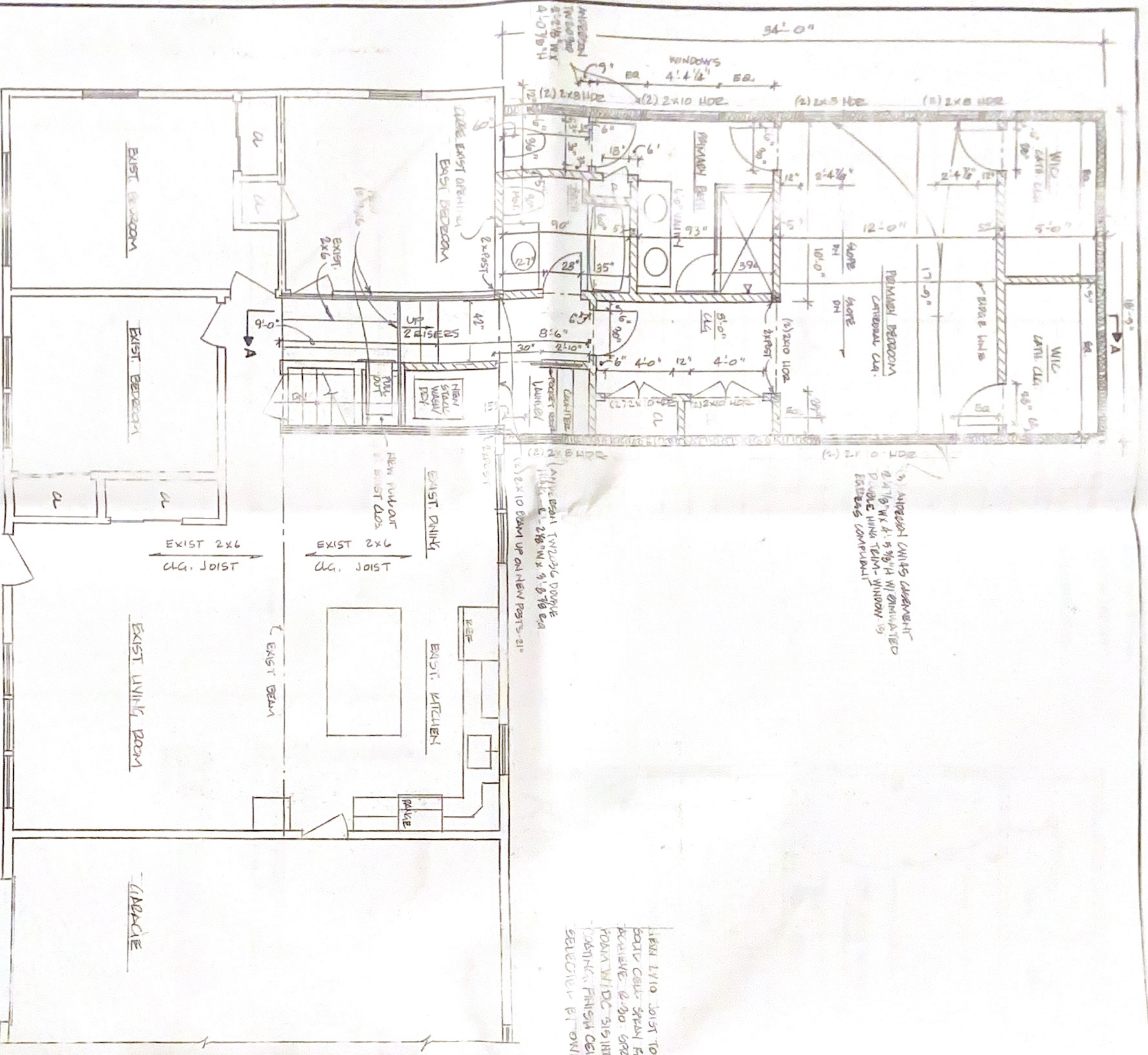
SITE PLAN
 SCALE: 1" = 20'-0"

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A PLAN BEARING A LICENCED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NY STATE EDUCATION LAW.



WASO RESIDENCE
 1023 OLD ORCHARD STREET W. ALBANY, NY 12204
 DATE: 8-01-21
 APPROVED BY: [Signature]
 DESIGN BY: SPQ
 SITE PLAN, SYMBOLS & DETAIL
 DRAWING NO. 10541
 DATE: 08-01-21
 PROJECT: W. ALBANY, NY 12204
 DRAWING REVISIONS: A-2

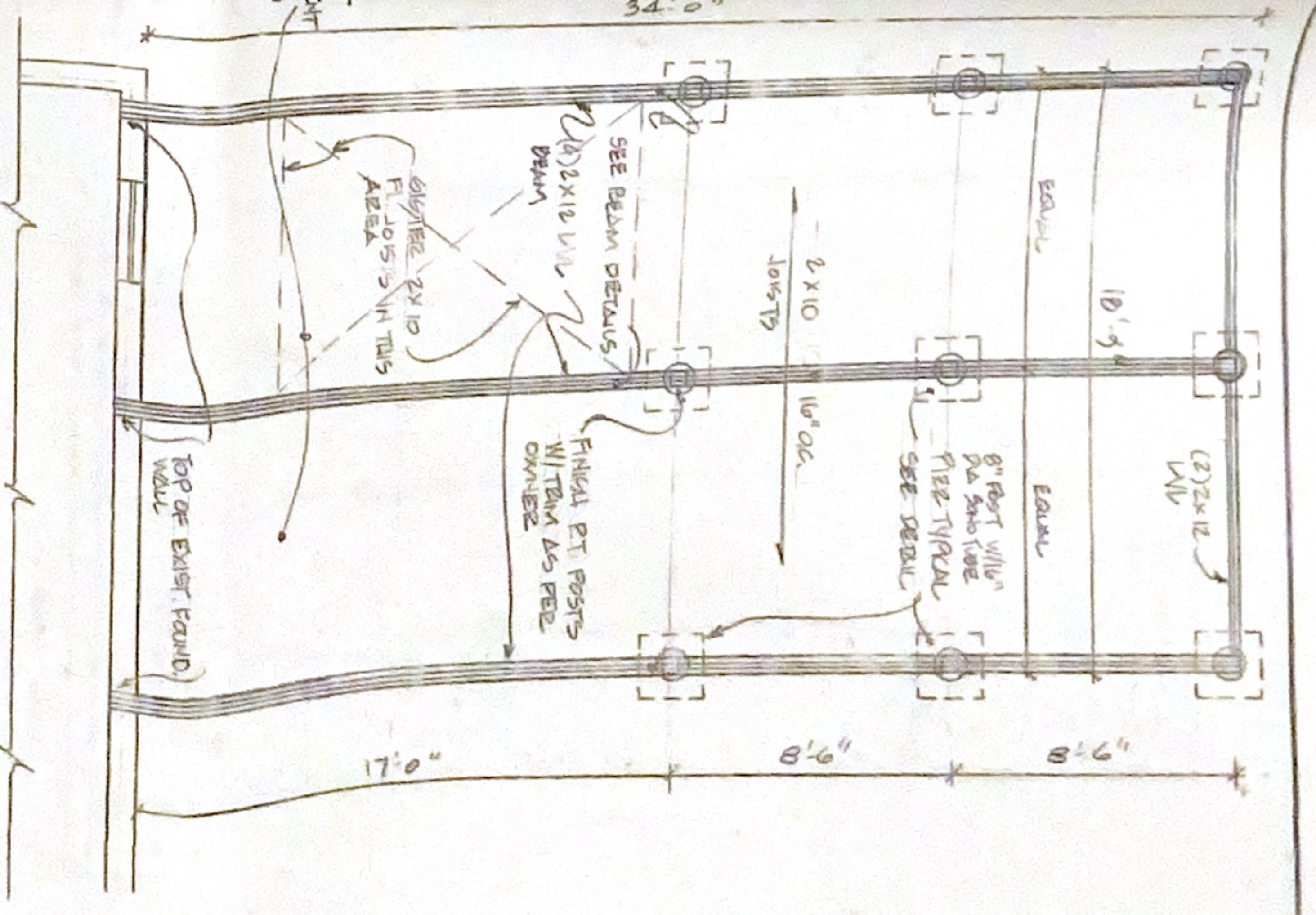
EXISTING & NEW FLOOR PLAN
 SCALE: 1/4" = 1'-0"



APPROX. UNITS ASSIGNED
 2 1/2" WX 4" 9/8" W/ DIMENSIONED
 DOUBLE HUNG TWIN WINDOW IS
 EXTERIOR COMPLIANT

1 1/2" LVL JOIST TO HAVE
 BOLD CELL SPRAY FOAM TO
 INSULATE. 2" 90. GRAY PAINT
 ROVIN W/DC. 3/8" INTERMEDIATE
 JOINTS. FINISH CEILING AS
 SELECTED BY OWNER

PER FIRMING DETAIL
 SCALE: 1/4" = 1'-0"



UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A PLAN BEARING A
 LICENCED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION
 7209, SUB-DIVISION 2 OF THE NY STATE EDUCATION LAW.



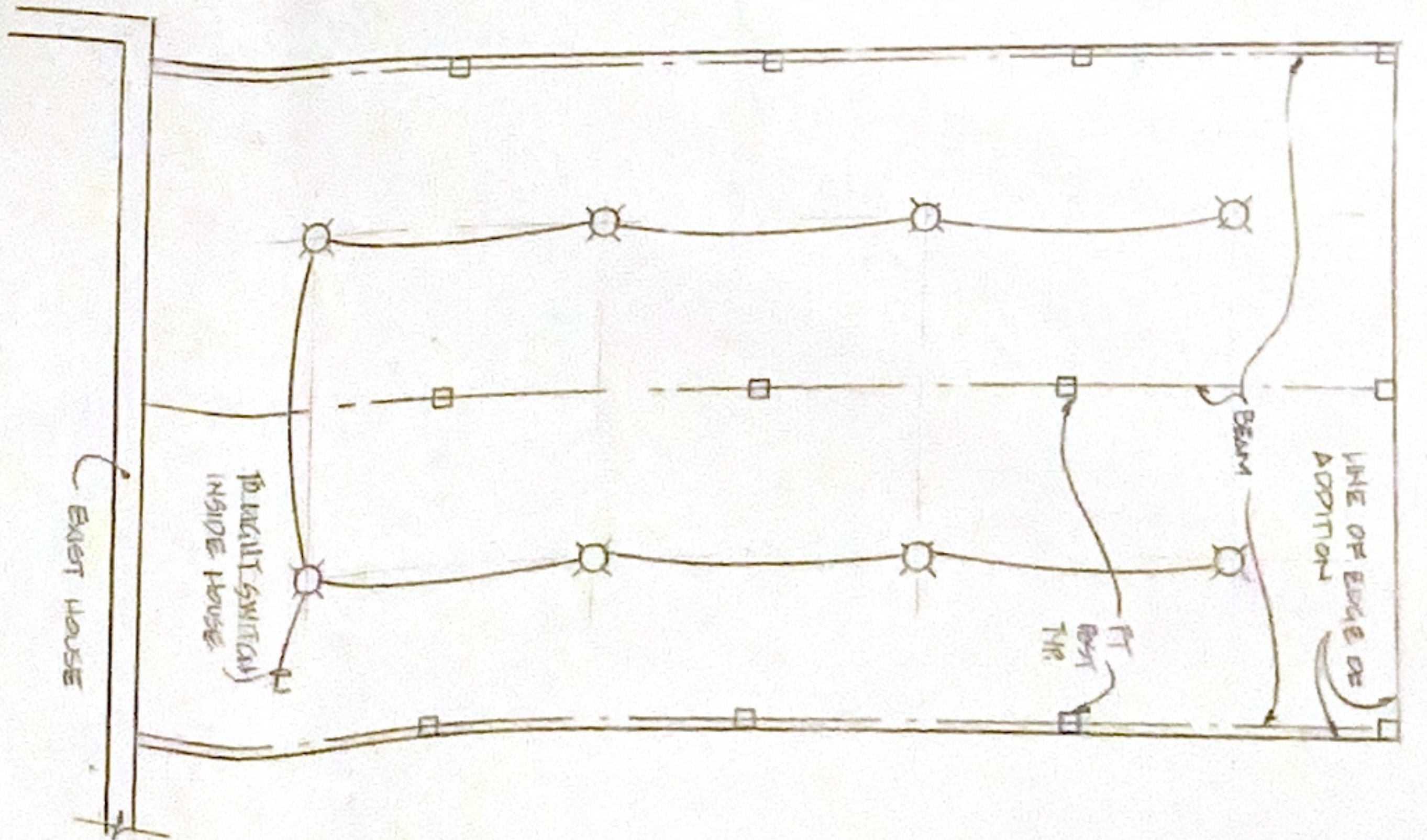
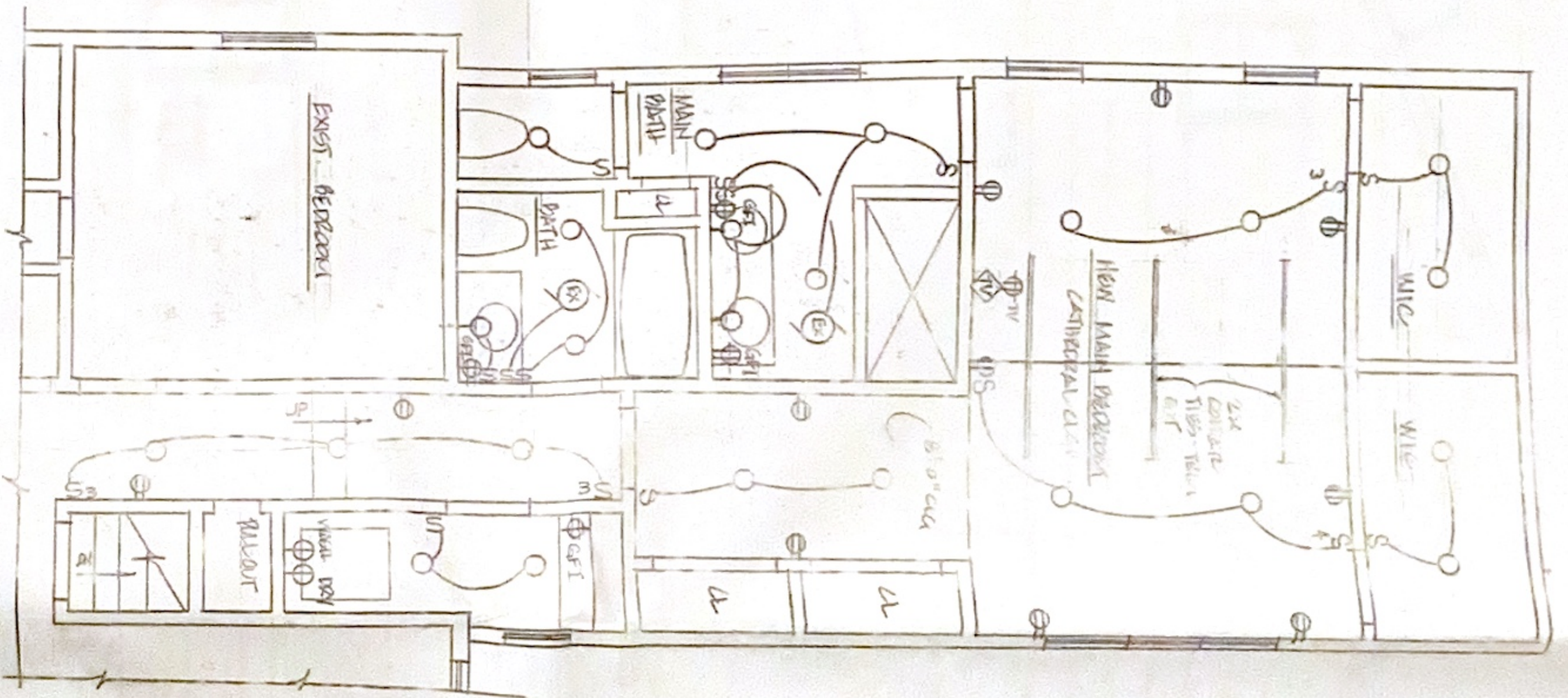
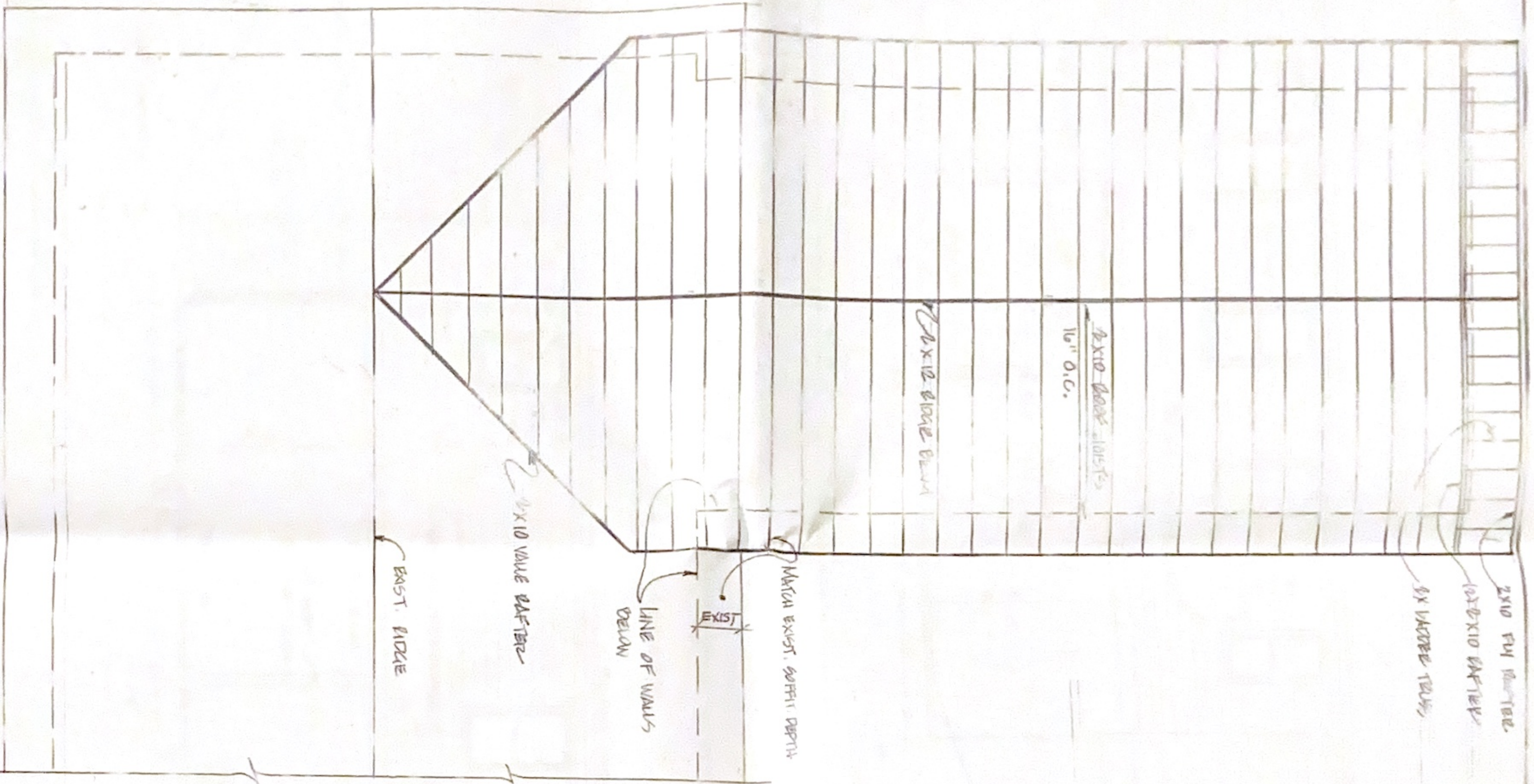
BASSO RESIDENCE
 123 OLD OCEANVIEW STREET W HARRISON NY 10604

DATE: 8-21-23
 DRAWN BY: SPZ
 CHECKED BY: SPZ
 APPROVED BY: [Signature]

BOY PERDUESEN PE
 PO BOX 90
 RUTHERFORD NJ 07070
 908-925-0245

SPZ DESIGN
 PO BOX 90
 RUTHERFORD NJ 10679

FLOOR PLANS
 DRAWING NUMBER: A-4



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

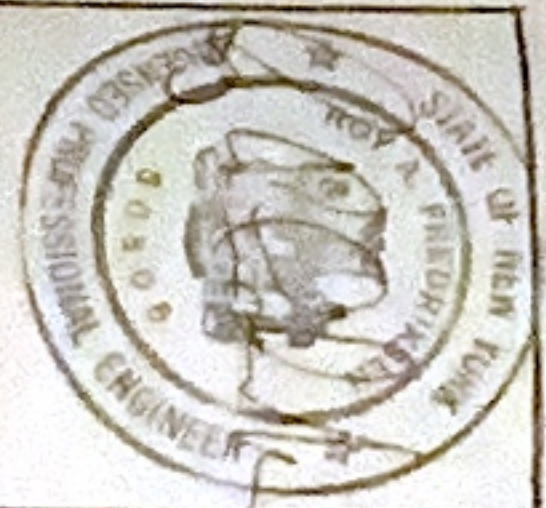
ROOF RAFT PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL PLAN - UNDERSIDE OF ADDITION

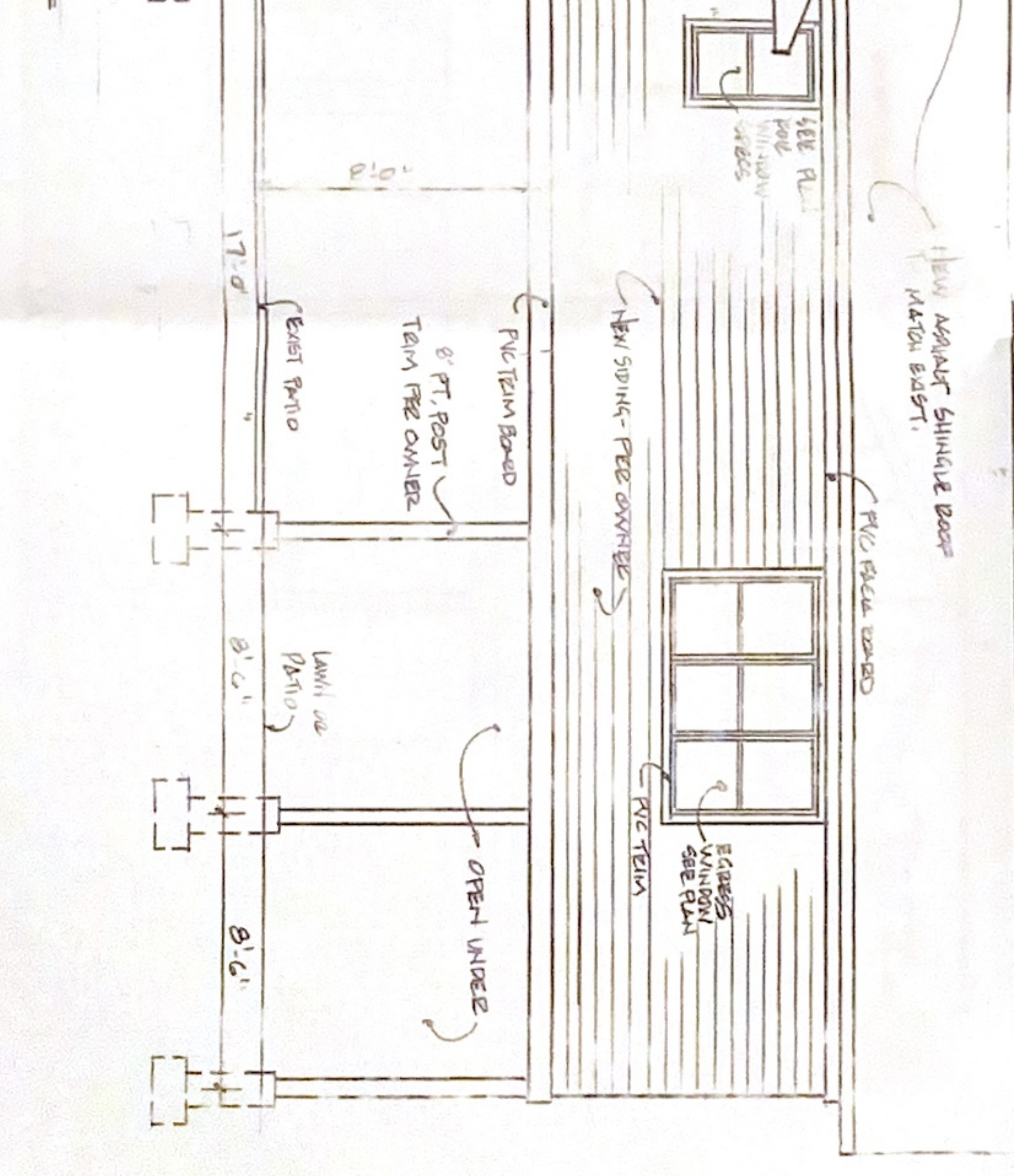
SCALE: 1/4" = 1'-0"

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A PLAN BEARING A LICENCED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209 SUB-DIVISION 2 OF THE NY STATE EDUCATION LAW.



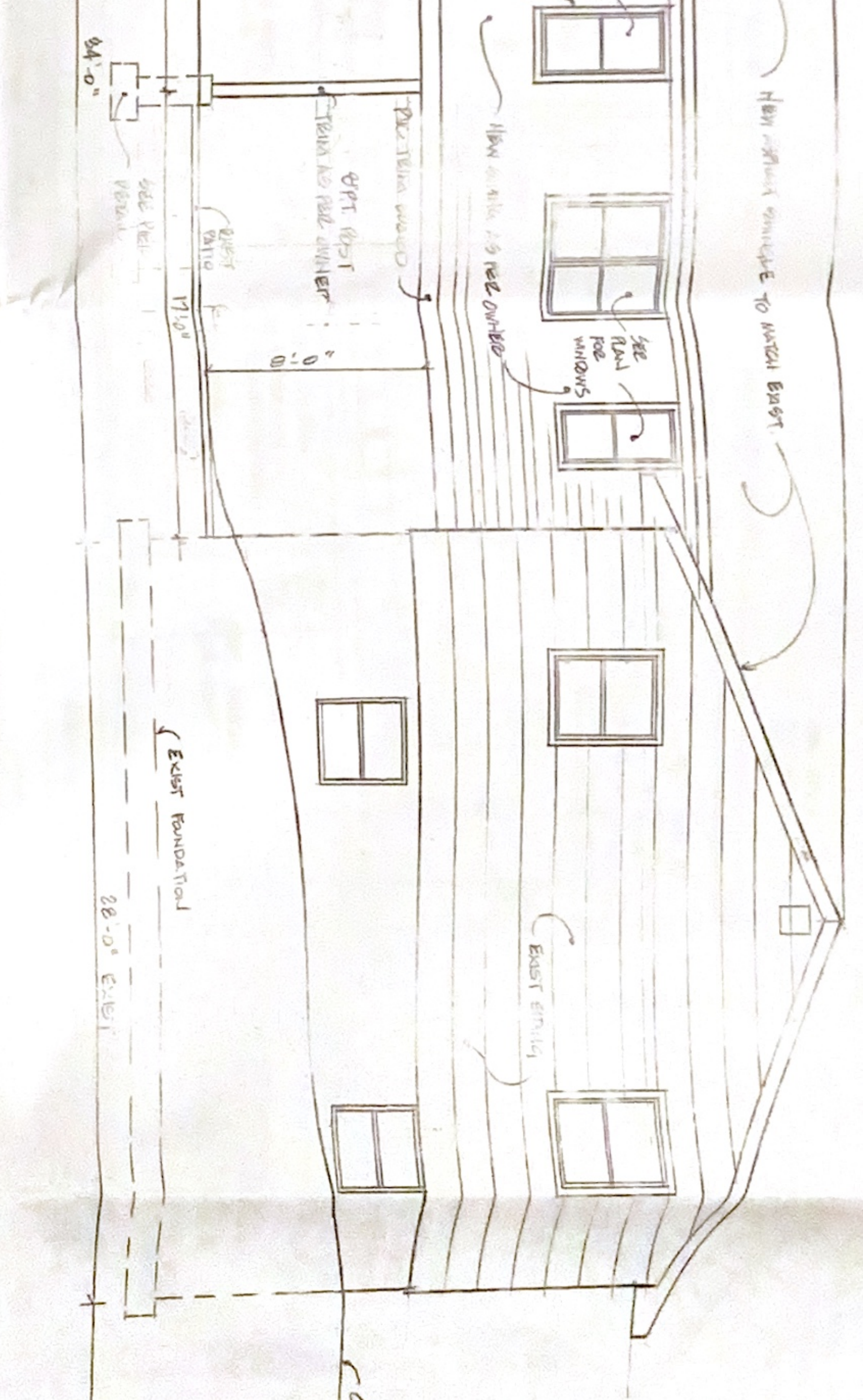
| | |
|---|---|
| <p>ROSSO RESIDENCE 1523 OLD DENHAM STREET W. HARTWICK NY 12104</p> | |
| <p>DATE: 8-21-23</p> | <p>APPROVED BY:</p> |
| <p>ROY PATRICK, P.E. 10 BOX 950 MUNHAM VALLEY NY 12579 518-928-0225</p> | <p>502 DESIGN PO BOX 950 MUNHAM VALLEY NY 12579</p> |
| <p>PROJECT: ROOF & ELECTRICAL PLANS</p> | <p>DRAWING NUMBER: A-5</p> |

NORTH ELEVATION




SCALE: 1/4" = 1'-0"

SOUTH ELEVATION



SCALE: 1/4" = 1'-0"

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A PLAN BEARING A LICENCED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NY STATE EDUCATION LAW.



STATE OF NEW YORK
BOB A. FREDERICK
LICENSED PROFESSIONAL ENGINEER
No. 10557

BASSO RESIDENCE
1673 OLD OAKWOOD STREET W. WASHINGTON NY 10994

DATE: 8-21-25 APPROVED BY: [Signature]

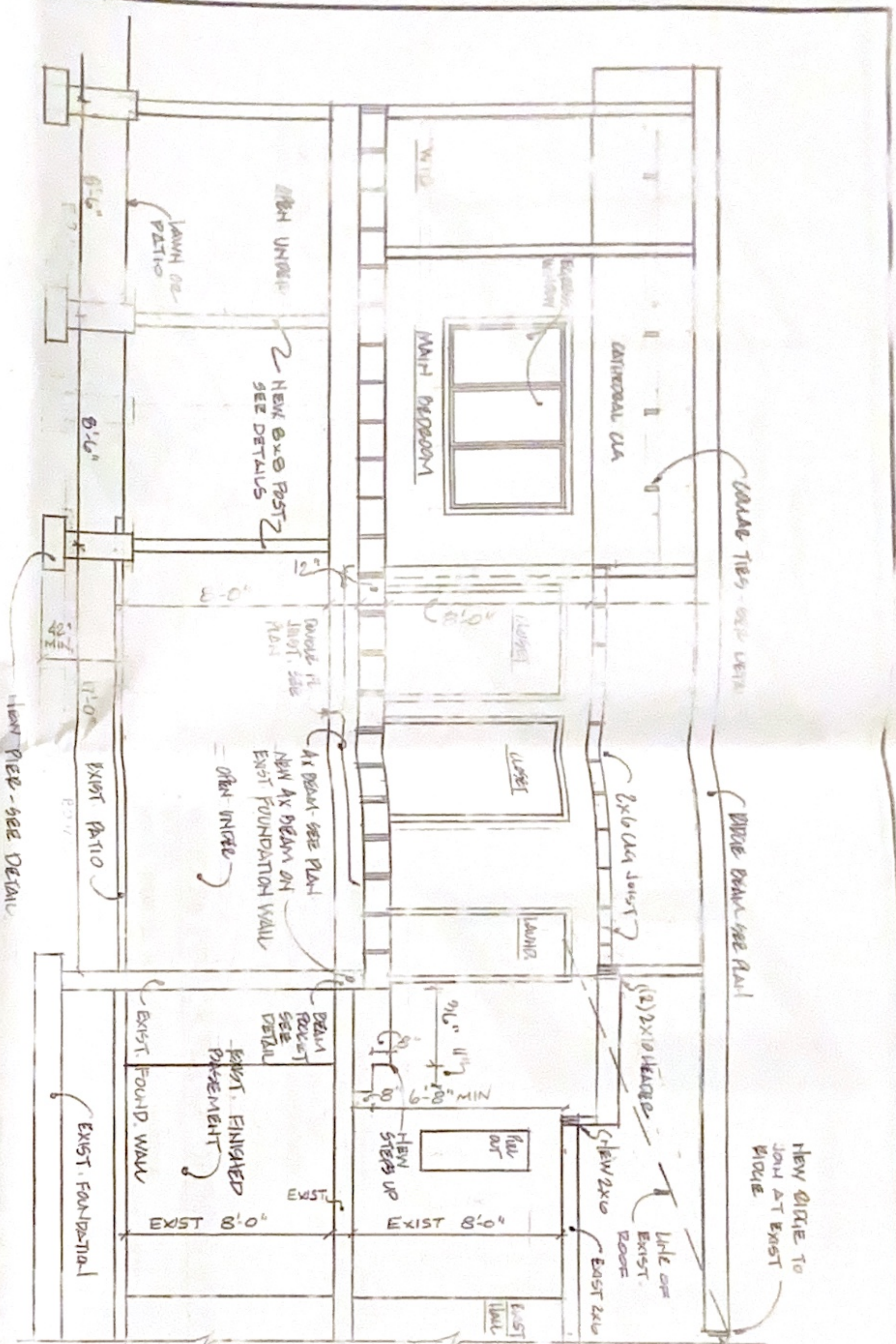
REVIEWED BY: [Signature]

PROJECT: BASSO RESIDENCE
PO BOX 985 FUNDAN VALLEY NY 10571

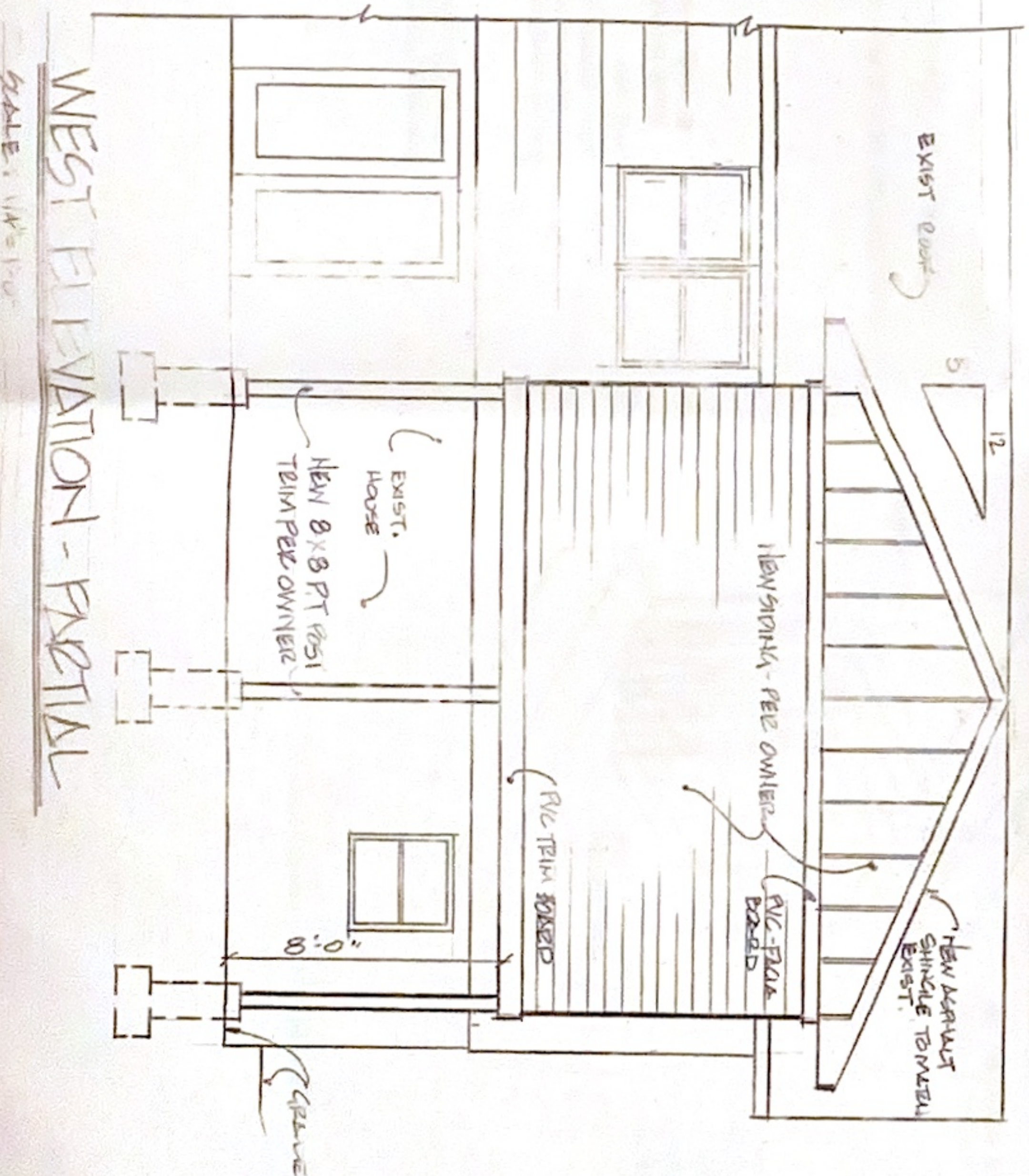
SCALE: 1/4" = 1'-0"

SIDE ELEVATIONS

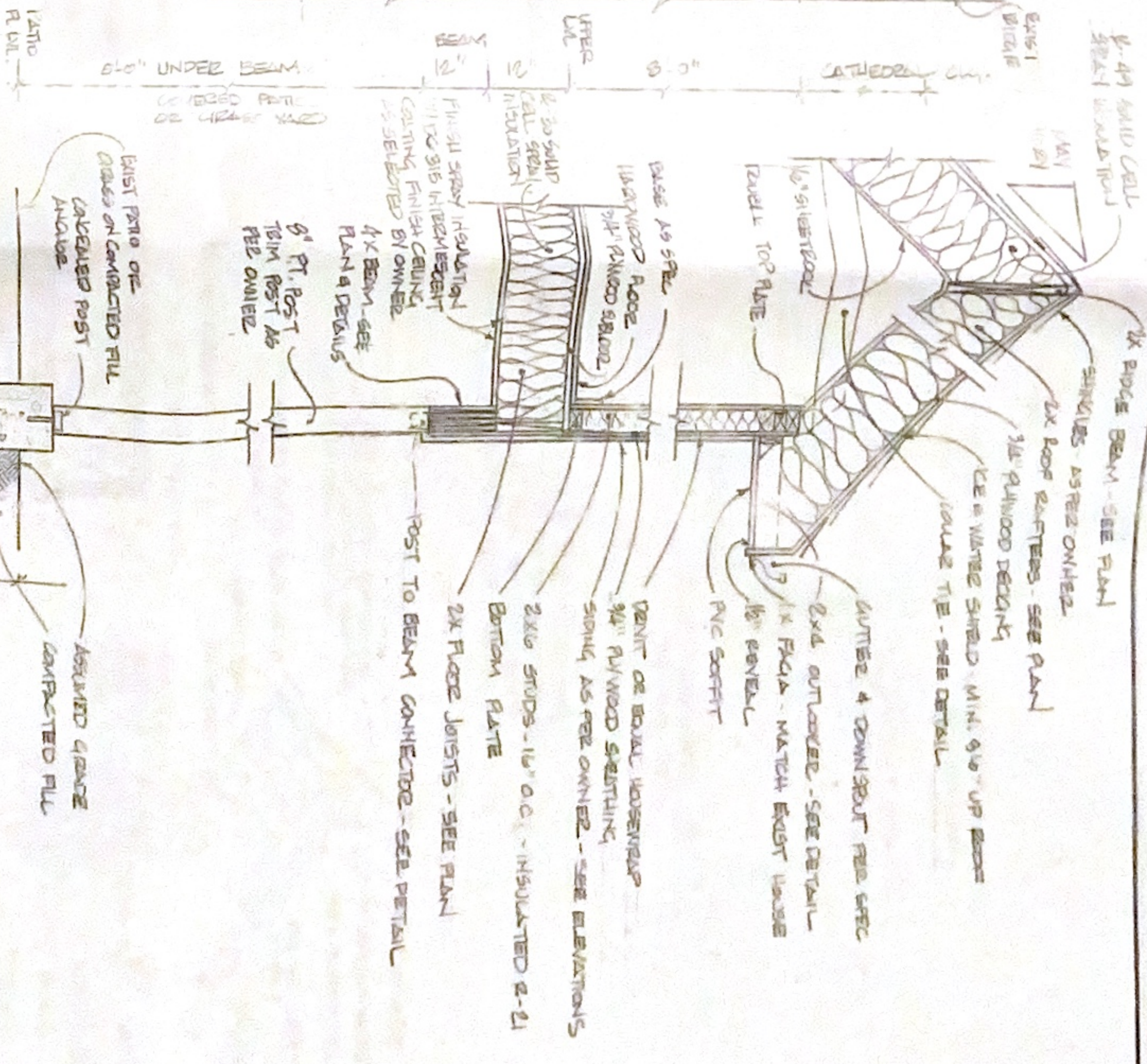
DRAWING NUMBER: **A-6**



SECTION A-A
SCALE 1/4" = 1'-0"



WEST ELEVATION - PARTIAL
SCALE: 1/4" = 1'-0"



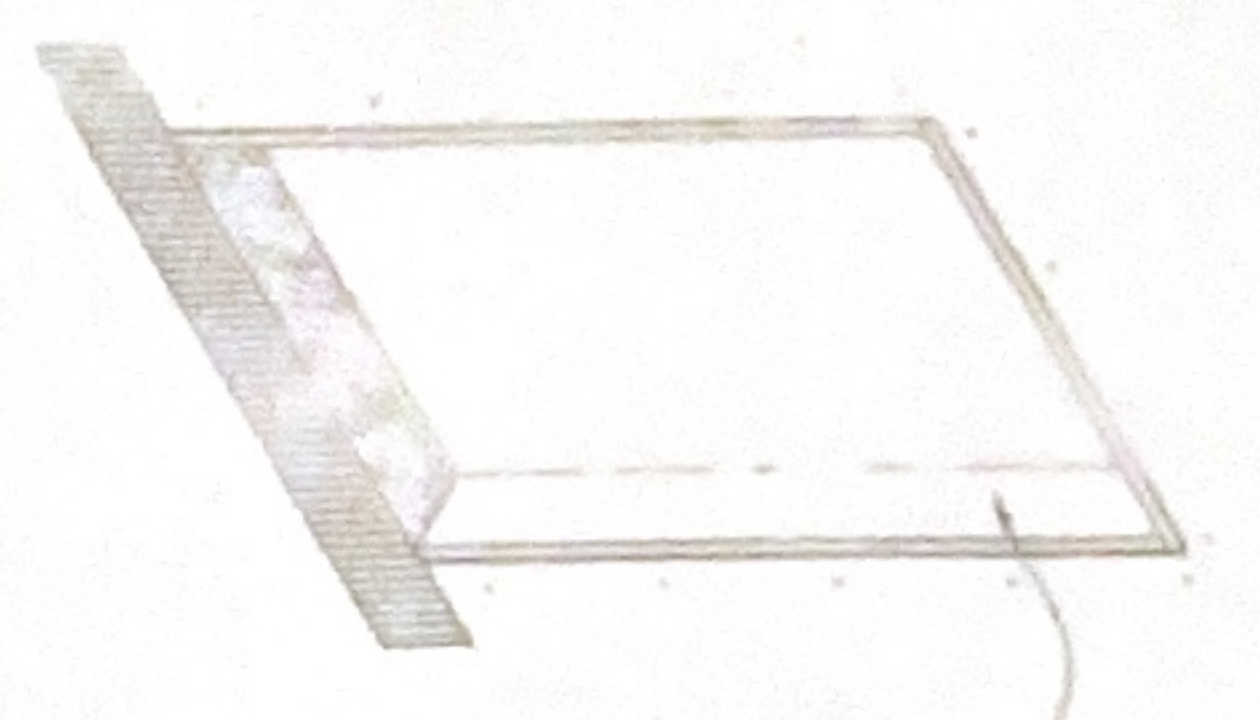
TYPICAL WALL SECTION
NOT TO SCALE

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NY STATE EDUCATION LAW.

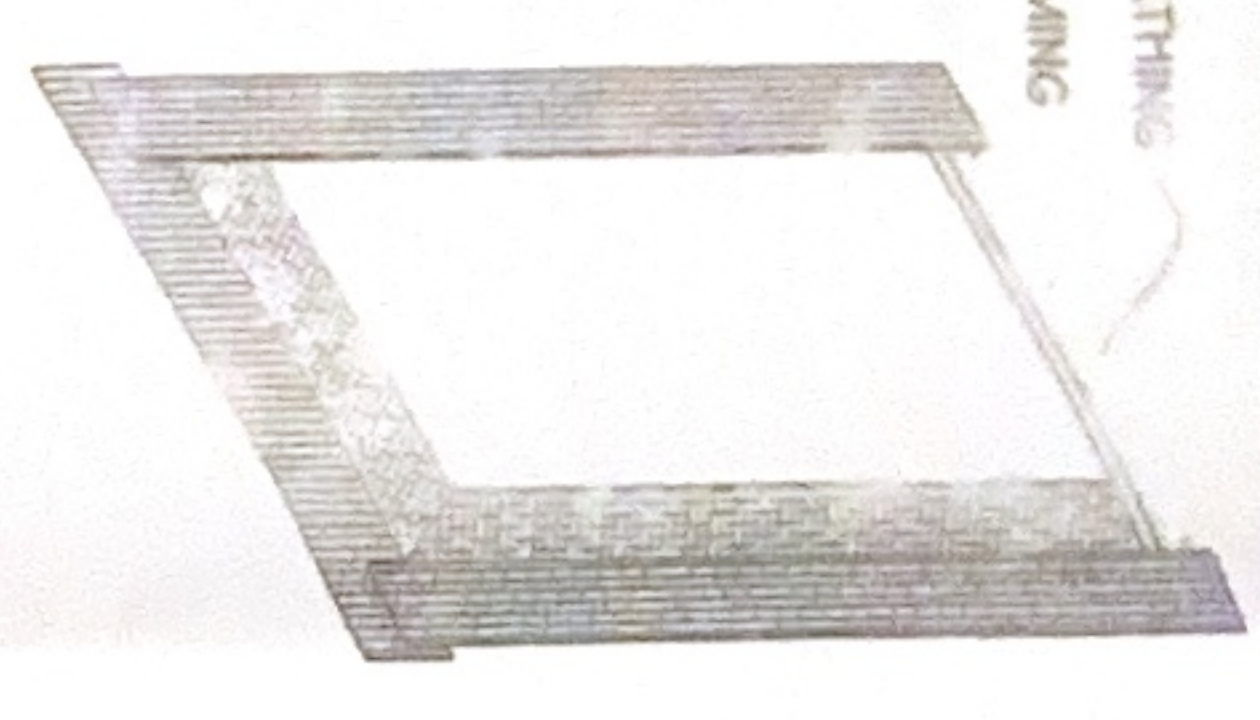


BASSO RESIDENCE
15423 OLD OCEANVIEW STREET W HARRISON NY 10604

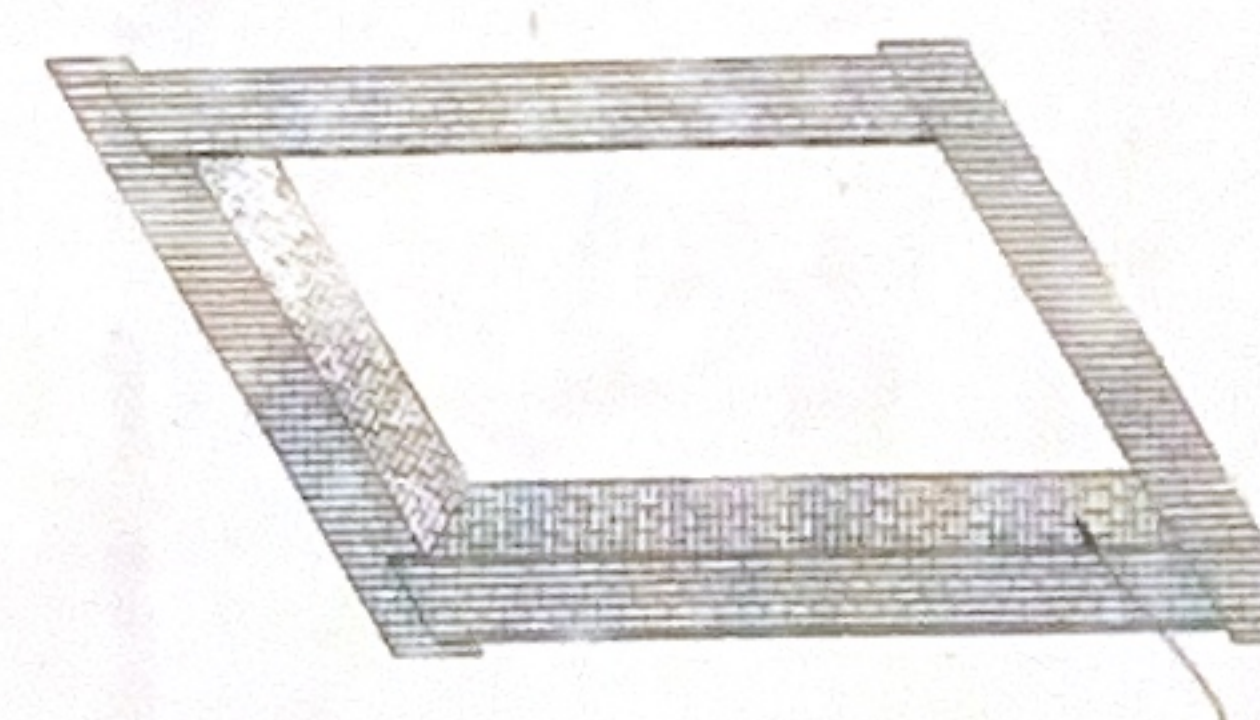
| | | |
|-----------------------|--------------|-------------------------|
| SCALE: NOTED | APPROVED BY: | DRAWN BY: GEL |
| DATE: 8-21-23 | | |
| BY: P. BASSO | NY | SP2 DESIGN |
| PO BOX 9150 MANHATTAN | | PO BOX 98 |
| 10541 5th AVE 10465 | | RUTLAND VALLEY NY 10879 |
| BUILDING SECTIONS/REV | | UNRECORDED NUMBER |
| | | A-7 |



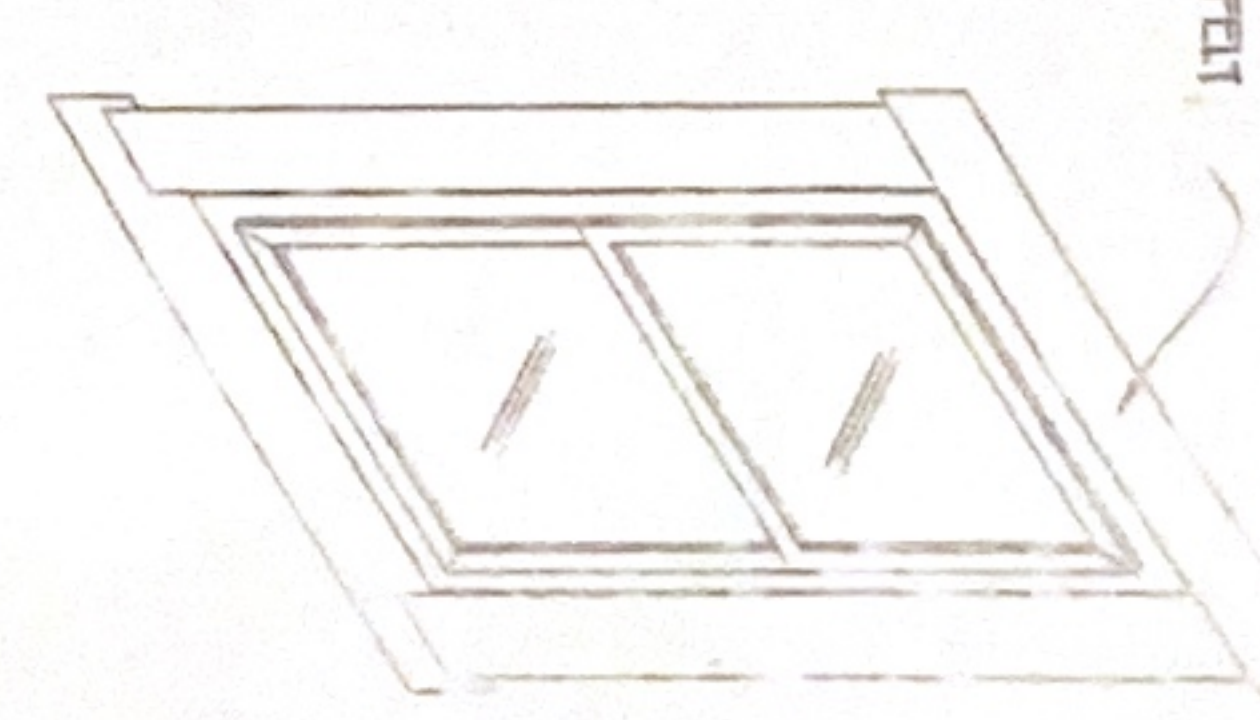
1. STAPLE 15# ASPHALT FELT TO SILL & FOLD 6" TO EACH SIDE, LAP LOWER EDGE OVER AIR INFILTRATION BARRIER (E.G. TYVEK)



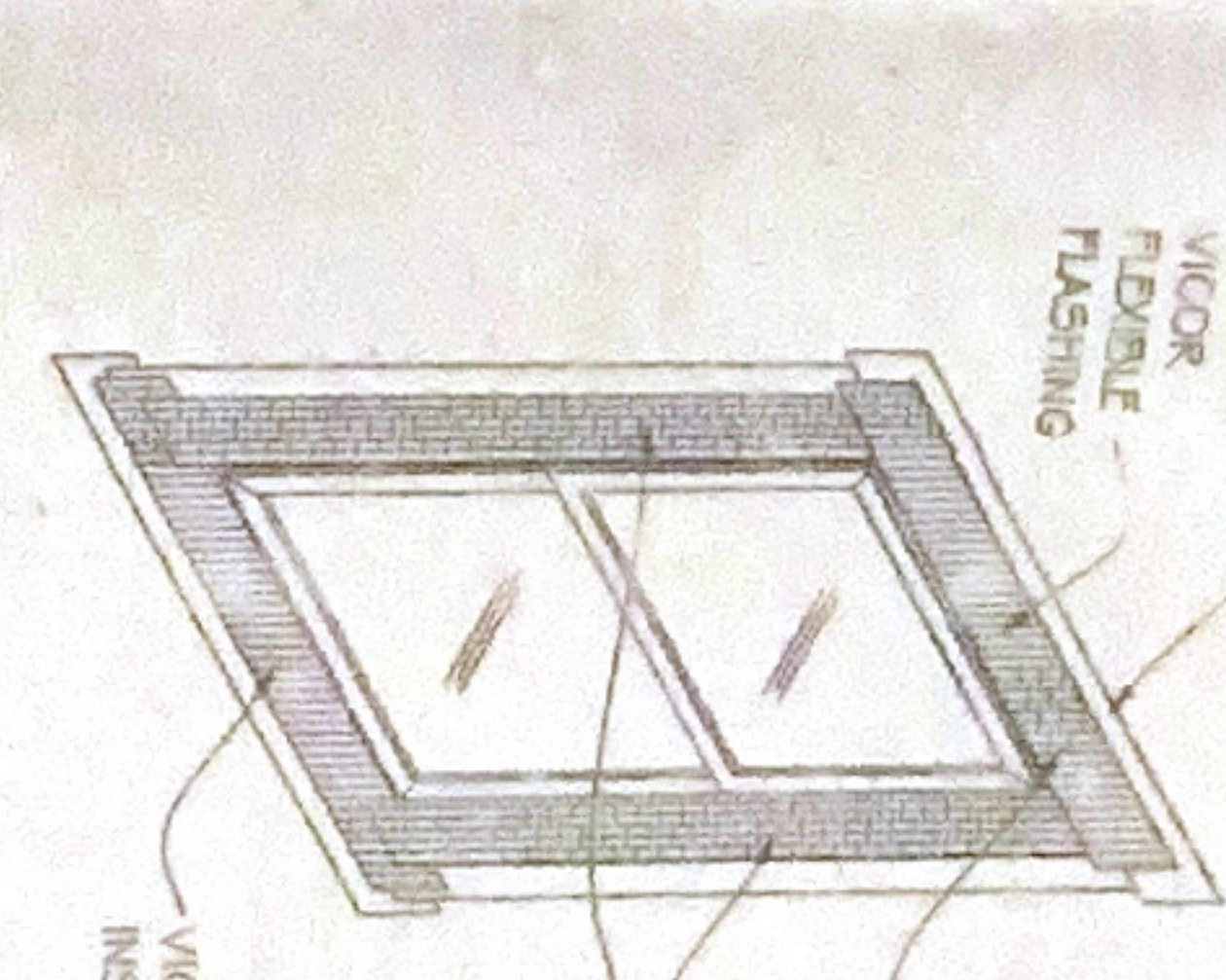
2. STAPLE 15# ASPHALT FELT TO JAMBS OF ROUGH OPENING & FOLD 6" OVER SHEATHING & 6" ABOVE & BELOW ROUGH OPENING.



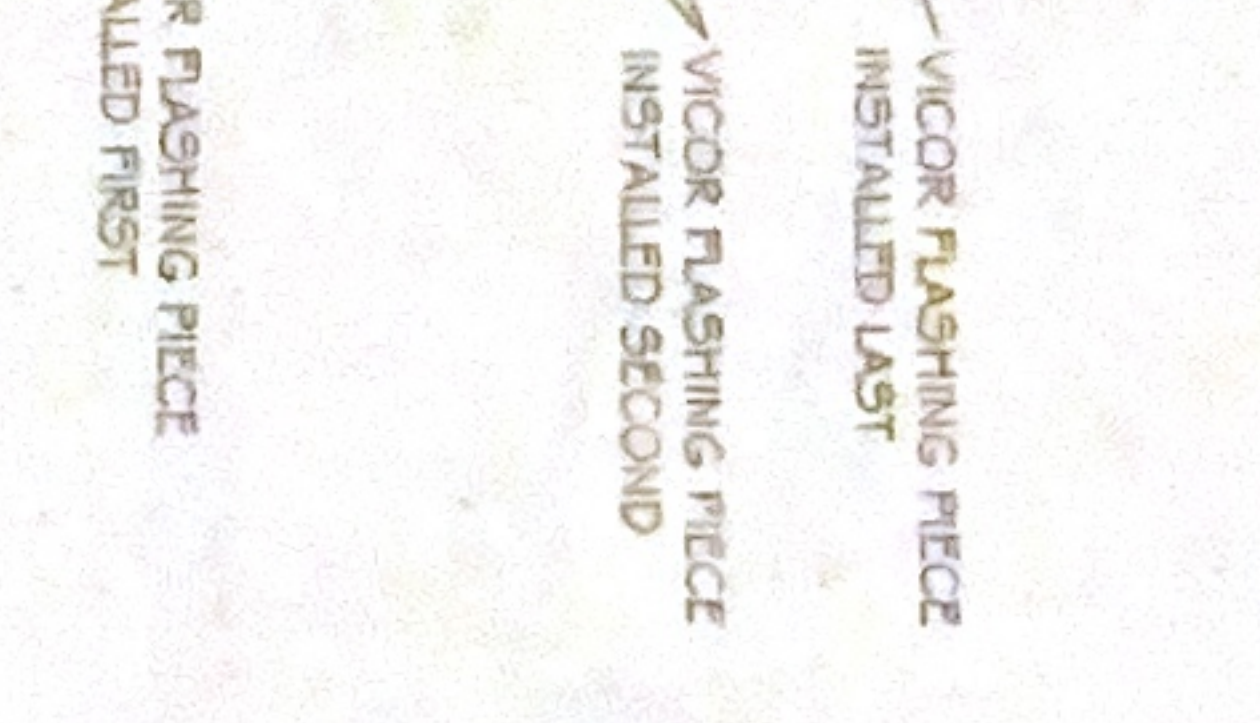
3. REPEAT STEP 2, BUT FOR TOP OF ROUGH OPENING. LEAVE OUTER EDGES UNSTAPLED FOR FUTURE INTEGRATION WITH AIR INFILTRATION BARRIER (E.G. TYVEK).



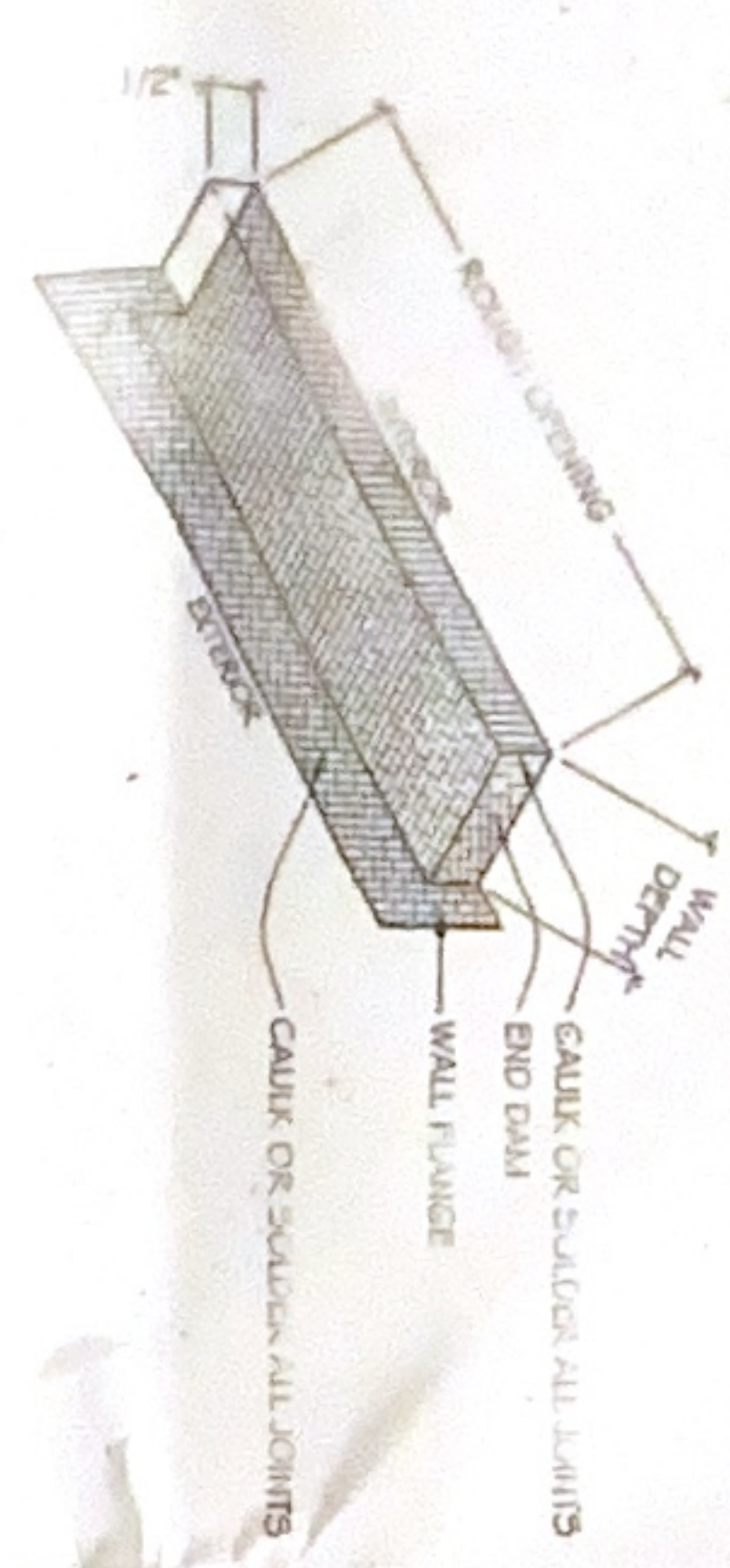
4. INSTALL WINDOW AS PER MANUFACTURER'S GUIDELINES



5. INSTALL 6" WIDE VICOR FLEXIBLE FLASHING IN THE SAME PATTERN AS ASPHALT FELT, OVERLAP WINDOW FLANGE WITH VICOR FLASHING # 2

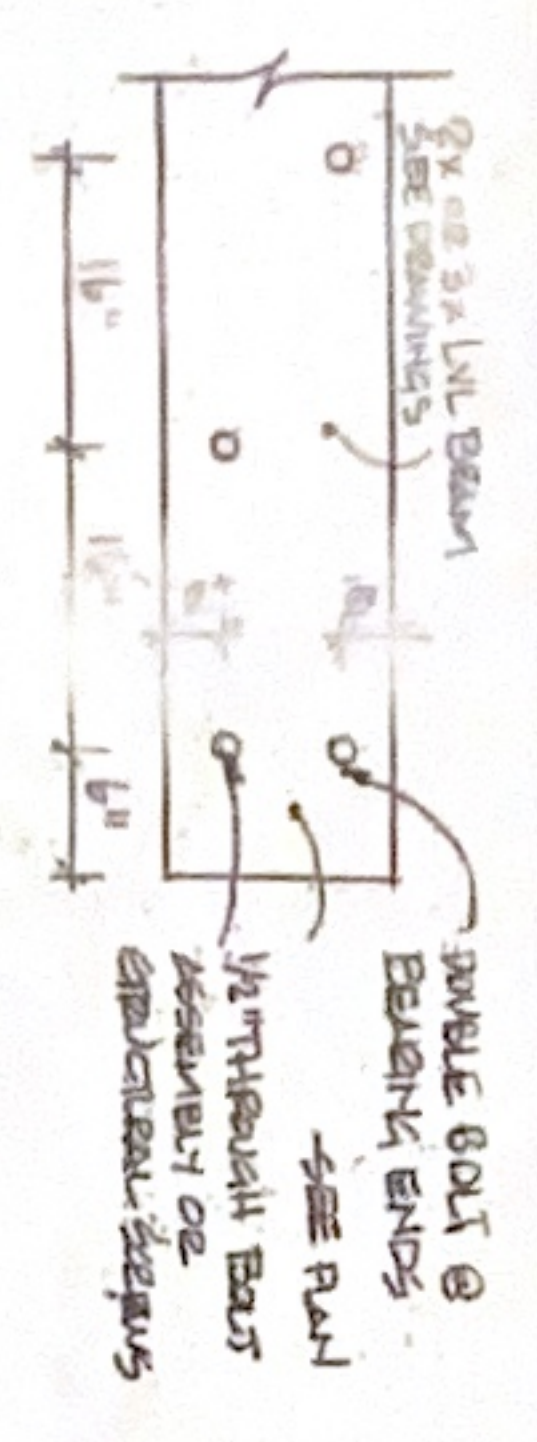


6. INSTALL 6" WIDE VICOR FLEXIBLE FLASHING IN THE SAME PATTERN AS ASPHALT FELT, OVERLAP WINDOW FLANGE WITH VICOR FLASHING # 2



DOOR SILL PAN DETAIL

N.T.S.
NOTES: SILL PAN SHALL BE VINYL, 16 OZ. COPPER, OR APPROVED EQUAL
PAN SHALL BE INSTALLED OVER 15# ROUGH OPENING WRAP

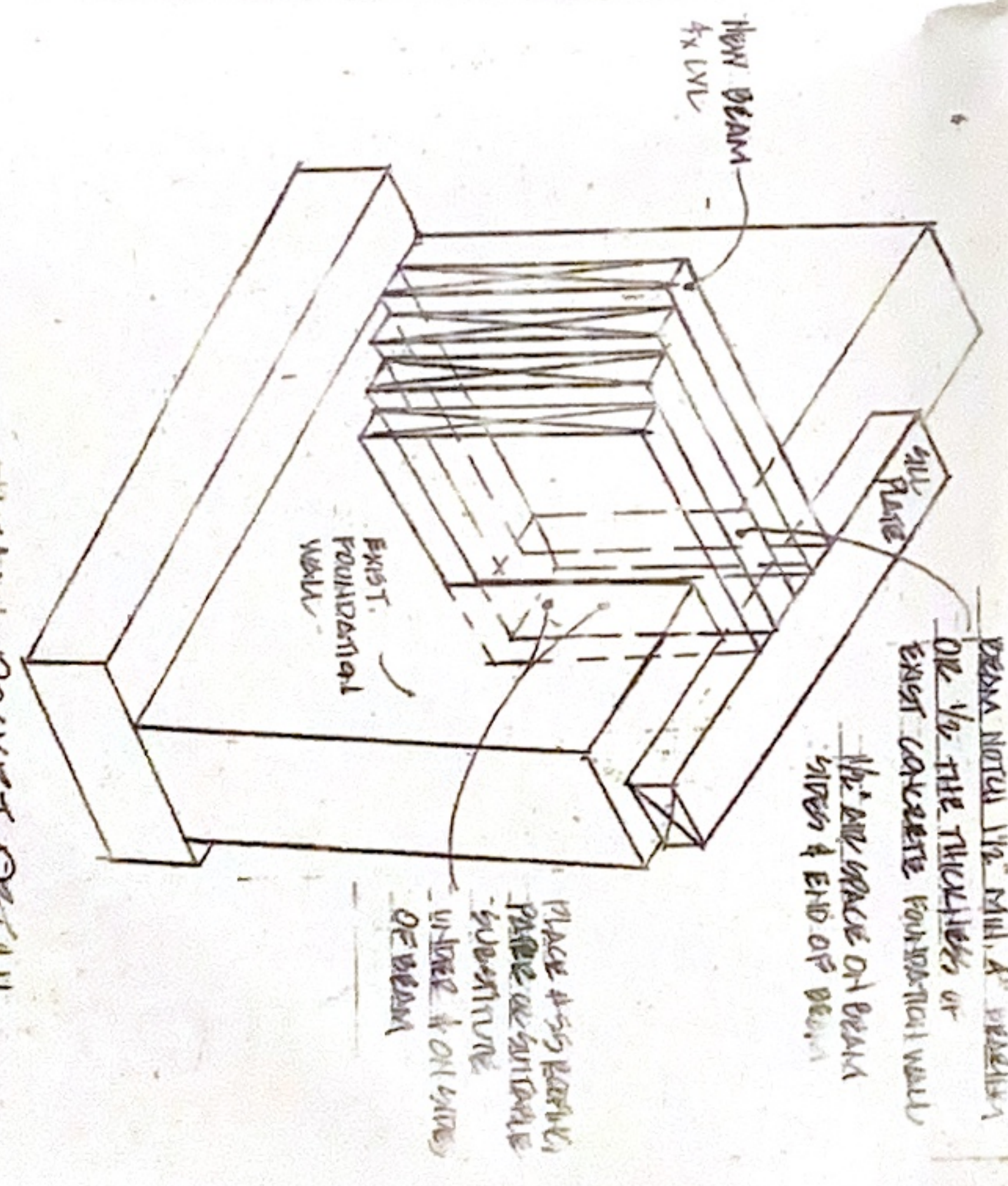


BEAM - BOLTING PATTERN

NOT TO SCALE

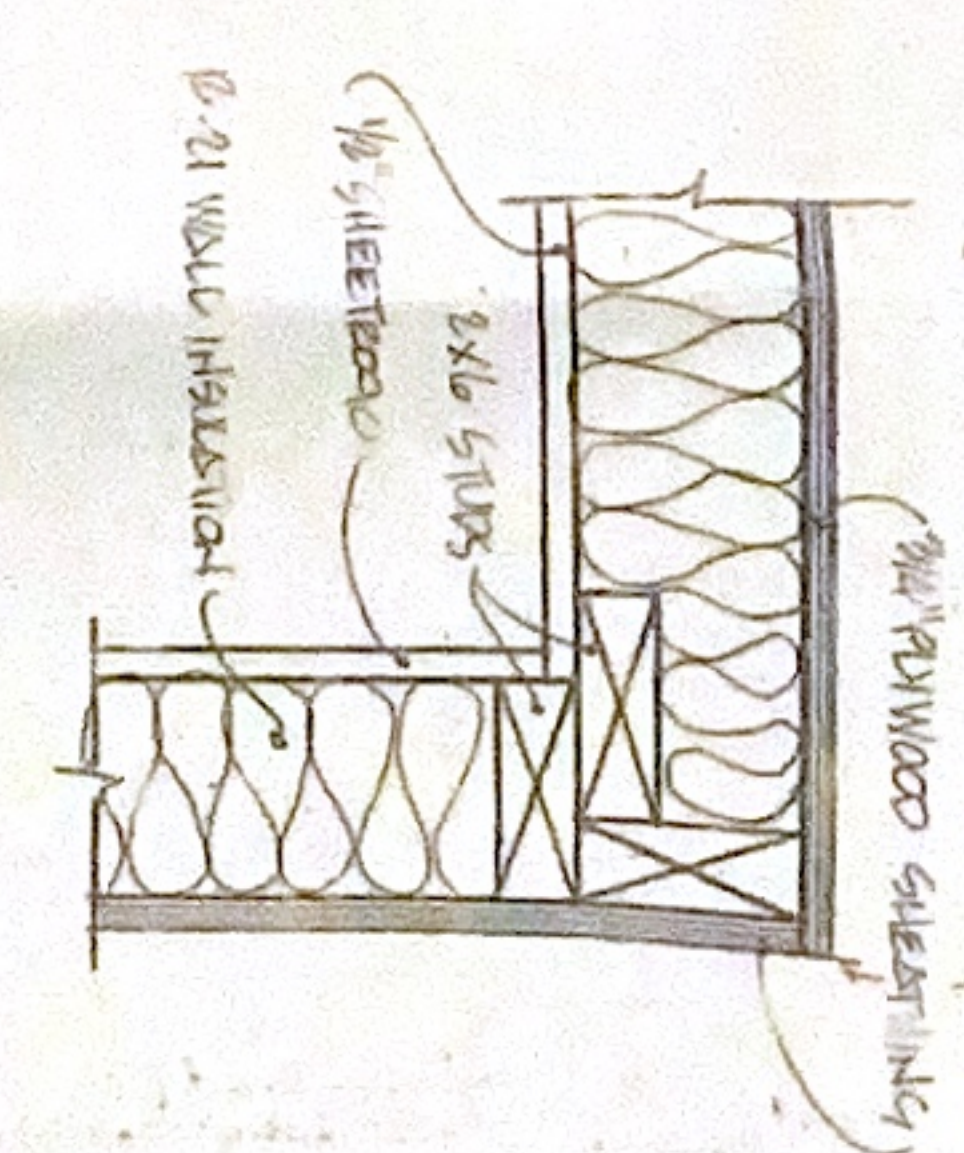
WINDOW / DOOR ROUGH OPENING WRAP DETAIL

N.T.S.
NOTE: -INSTALL AIR-INFILTRATION BARRIER, E.G. 'TYVEK' PRIOR TO ROUGH-OPENING WRAP. FILL ALL CAVITIES AROUND WINDOW/DOOR WITH LOW-EXPANSION FOAM INSULATION



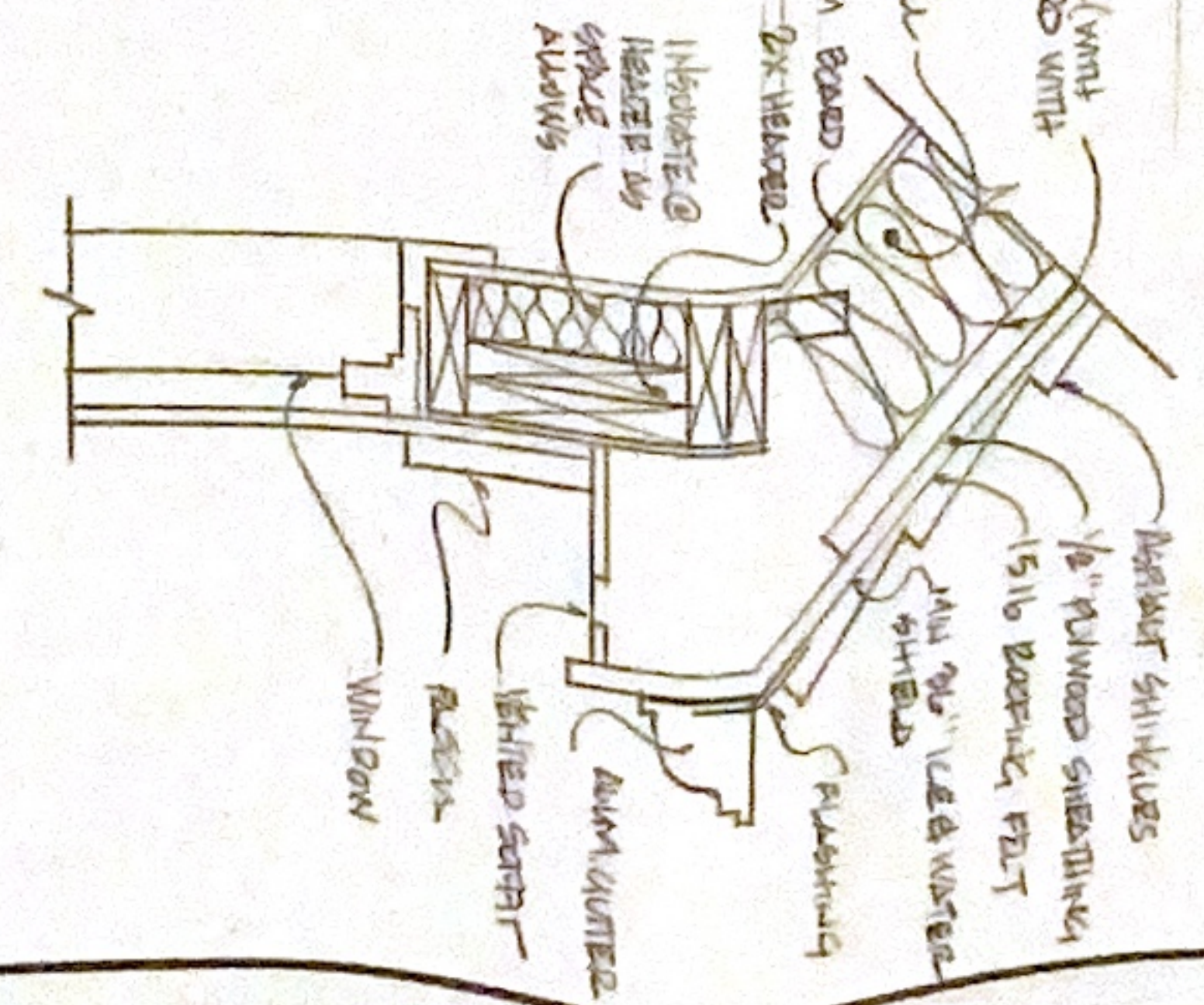
BEAM POCKET DETAIL

SCALE: NONE



INSULATED THREE STUD CORNER FRAMING

SCALE: NONE



INSULATION DETAIL AT WINDOW HEADER

SCALE: NONE

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A PLAN BEARING A LICENCED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NY STATE EDUCATION LAW.

ASSO RESIDENCE
1829 OLD DECADDED STREET WILMINGTON NY 10004

DATE: 8-21-23
SCALE: NOTED

DESIGNED BY: SDR
DRAWN BY: SDR
CHECKED BY: SDR
REVIEWED BY: SDR

FOR DESIGN FOR BOX 950 MADISON PK NY 10541
FOR BOX 950 MADISON PK NY 10541
FOR BOX 950 MADISON PK NY 10541

DATE: 8-21-23
SCALE: NONE

DETAILS

DRAWING NUMBER: **A-8**



