



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 10 Hillandale Drive, Armonk, NY 10504

Section III- DESCRIPTION OF WORK:

Legalization of enclosed breezeway to Dining Room
1/2 Bath changed to full Bath
Replacement of Kitchen Cabinets and appliances
in some Locations.

Section III- CONTACT INFORMATION:

APPLICANT: John G Scarlato Jr Architect
ADDRESS: 33 Byram Hill rd, Armonk, NY 10504
PHONE: 914 273-7350 MOBILE: (914) 714-0152 EMAIL: JGScarlato@gmail.com

PROPERTY OWNER: Michael & Elvira Pinto
ADDRESS: 10 Hillandale Drive, Armonk, NY 10504
PHONE: _____ MOBILE: 914 589-0602 EMAIL: ElviraPinto24@gmail.com

PROFESSIONAL: John G Scarlato Jr Architect
ADDRESS: 33 Byram Hill rd, Armonk, NY 10504
PHONE: (914) 273-7350 MOBILE: (914) 714-0152
EMAIL: JGScarlato@gmail.com

Section IV- PROPERTY INFORMATION:

Zone: R1A Tax ID (lot designation) 108.01-3-23



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Pinto Residence

Initial Submittal Revised Preliminary

Street Location:

10 Hillandale Drive, Armonk, NY 10504

Zoning District: R1-A Property Acreage: 1 AC Tax Map Parcel ID: 108.01-3-23

Date: 12/17/2023

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html> .

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Pinto Residence Date: 1/22/23
 Tax Map Designation or Proposed Lot No.: 100.01-3-23

Floor Area

- | | | |
|-----|--|-------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>43,644</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>7732</u> |
| 3. | Amount of floor area contained within first floor:
<u>1092</u> existing + <u>192</u> proposed = | <u>1284</u> |
| 4. | Amount of floor area contained within second floor:
<u>546</u> existing + <u>0</u> proposed = | <u>546</u> |
| 5. | Amount of floor area contained within garage:
<u>231</u> existing + <u>0</u> proposed = | <u>231</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>192</u> existing + <u>-192</u> proposed = <u>192 - 192</u> | <u>0</u> |
| 7. | Amount of floor area contained within basement (if applicable - see definition):
<u>0</u> existing + <u>0</u> proposed = <u>Crawl space</u> | <u> </u> |
| 8. | Amount of floor area contained within attic (if applicable - see definition):
<u>0</u> existing + <u>0</u> proposed = <u>Low</u> | <u> </u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>192</u> existing + <u>0</u> proposed = | <u>192</u> |
| 10. | Proposed floor area: Total of Lines 3 - 9 = | <u>2253</u> |

If Line 10 is less than or equal to Line 2, your proposal complies with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Adam R. Kaufman
 Signature and Seal of Professional Preparing Worksheet

1/22/23
 Date



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

BUILDING DEPARTMENT
 Robert Melillo
 Building/ Fire inspector

Telephone: (914) 273-3000 ext. 44
 Fax: (914) 273-3554
www.northcastlennv.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Pinto Residence Date: 11/20/2023
 Tax Map Designation or Proposed Lot No.: 108.01-3-23

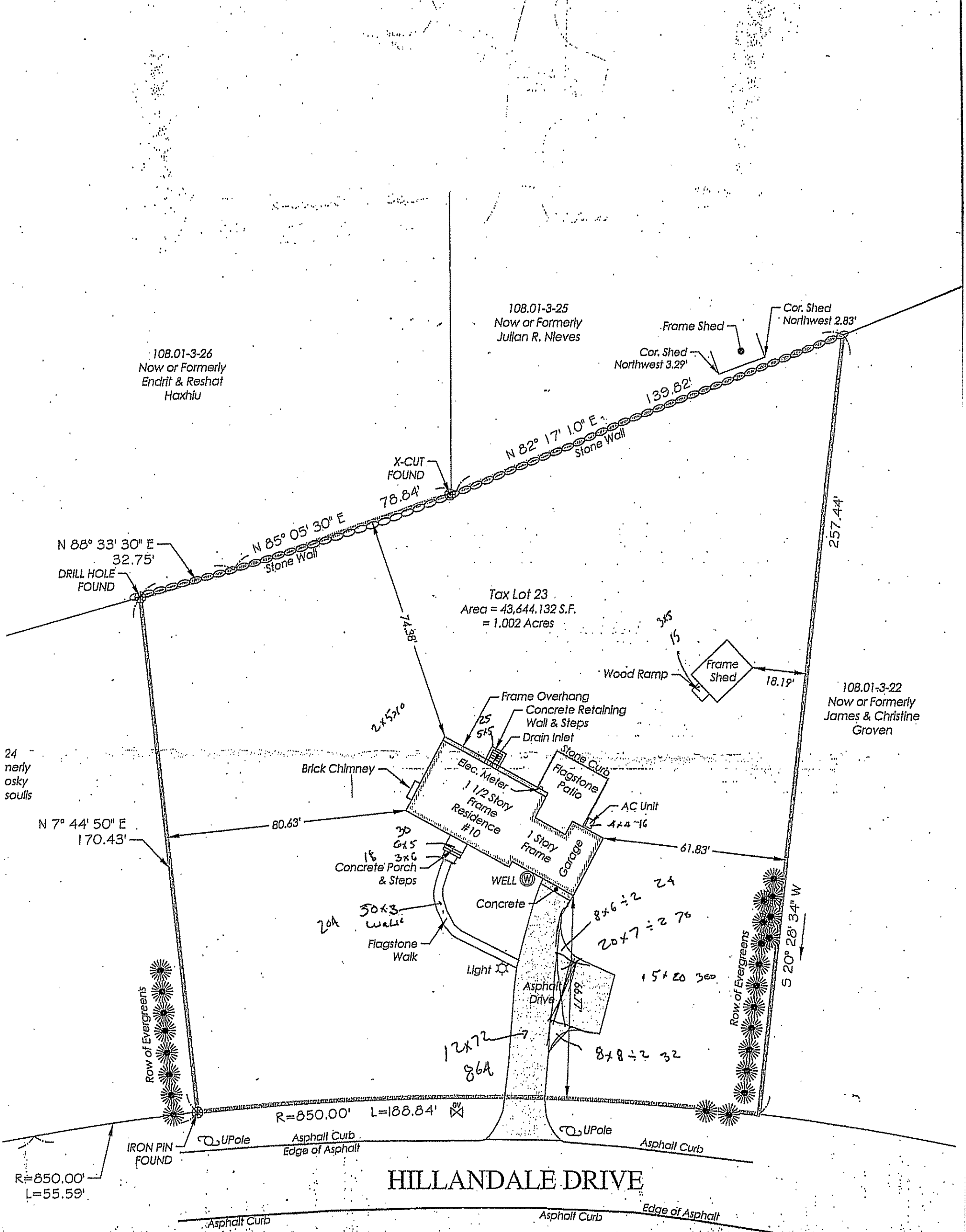
Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 43,644
2. / Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 9,357 sq ft
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b));
 Distance principal home is beyond minimum front yard setback
16 x 10 = 160
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3
9,517 sq ft
5. Amount of lot area covered by principal building:
1,323 existing + 192 proposed = (entlosed porch) 1,515
6. Amount of lot area covered by accessory buildings:
192 existing + - proposed = 192
7. Amount of lot area covered by decks:
0 existing + 0 proposed = 0
8. Amount of lot area covered by porches:
192 existing + -192 proposed = 0
9. Amount of lot area covered by driveway, parking areas and walkways:
1,592 existing + 0 proposed = 1,592
10. Amount of lot area covered by terraces: part
392 existing + 0 proposed = 392
11. Amount of lot area covered by tennis court, pool and mechanical equip: AC
16 existing + 0 proposed = 16
12. Amount of lot area covered by all other structures:
0 existing + 0 proposed = 0
13. Proposed gross land coverage: Total of Lines 5 - 12 = 3,707

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

[Signature]
 Signature and Seal of Professional Preparing Worksheet

11/23/2023
 Date



AS BUILT SURVEY
 PREPARED FOR
 ELVIRA AND MICHAEL

Chapter 3
Table R301.2(1)
Climate and Geographic Design Criteria

GROUND SNOW LOAD	WIND DESIGN			SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED + (mph)	TOPOGRAPHIC EFFECTS	PROTECTIVE EFFECTS		WEATHERING	WIND LINE DEPTH	TEMPERATURE					
30	35.5	No	0	Severe	12'	Very Heavy	10	Yes	Yes	1,000 or less	30	

Elevation	Latitude	Winter Heating		Summer Cooling		Adequate Corrosion-Resistant	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference
		WIND HEATING	WIND VELOCITY HEATING	WIND VELOCITY COOLING	COOLING WIND BULK				
242	42° 11'	12	87	None	75	75	75	60	
Cooling Temperature Difference									
223			72	M					

For SI: 1 pound-per square foot = 0.0479 kPa; 1 mile per hour = 0.447 m/s

A. Where weathering requires a higher strength concrete or grade of masonry than necessary to satisfy the structural requirements of this code, the frost line depth strength required for weathering shall govern. The weathering column shall be filled in with the weathering index, "negligible," "moderate" or "severe" for concrete as determined from Figure R301.2(1). The grade of masonry units shall be determined from ASTM C62, C62.1, C73, C73.1, C90, C90.1, C95, C95.1 or C62.2.

B. Where the frost line depth requires deeper footings than indicated in Figure R403.3(1), the frost line depth strength required for weathering shall govern. The jurisdiction shall fill in this part of the table with the minimum depth of footing below finish grade.

C. The jurisdiction shall fill in this part of the table to indicate the need for protection depending on whether there has been a history of local subterranean termite damage.

D. The jurisdiction shall fill in this part of the table with the wind speed from the basic wind speed map [Figure R301.2(1)A]. Wind exposure category shall be determined on a site-specific basis in accordance with Section R301.2.3.4.

E. The outdoor design dry-bulb temperature shall be selected from the columns of 97.5-percent values for winter from Appendix D of the Plumbing Code of New York State. Deviations from the Appendix D temperatures shall be permitted to reflect local climates or local weather experience as determined by the building official. (Also see Figure R301.2(1)A).

F. The jurisdiction shall fill in this part of the table with the seismic design category determined from Section R301.2.3.2.

G. [N] To establish flood hazard areas, each community regulated under Title 29, Part 2405 of the Official Compilation of Codes, Rules and Regulations of the State of New York (NYCRR) shall adopt a flood hazard map and supporting data. The flood hazard map shall include, at a minimum, special flood hazard areas as identified by the Federal Emergency Management Agency in the Flood Insurance Study for the community, as amended or revised with:

- The accompanying Flood Insurance Rate Map (FIRM),
- Flood Boundary and Floodway Map (FBFM), and
- Related supporting data along with any revisions thereto.

The adopted flood hazard map and supporting data are hereby adopted by reference and declared to be part of this section.

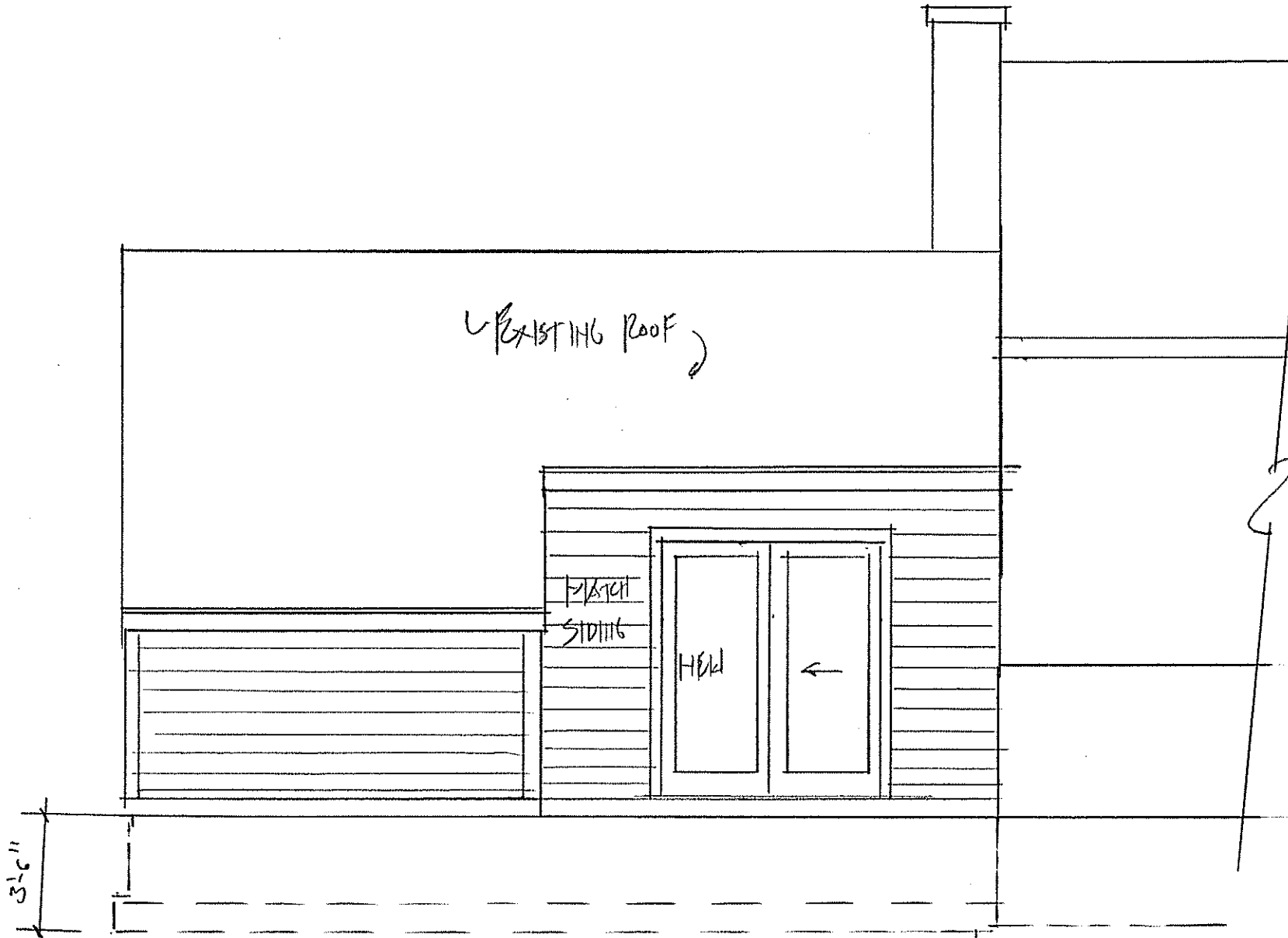
H. In accordance with Sections R301.2, R301.3, R301.4, R301.5, R301.6, R301.7 and R301.8, where there has been a history of local damage from the effects of ice damming, the jurisdiction shall fill in this part of the table with "YES." Otherwise, the jurisdiction shall fill in this part of the table with "NO."

General notes:

- ALL WORK SHALL CONFORM TO THE 2020 NEW YORK STATE BUILDING CODE, RESIDENTIAL CODE, FIRE CODE, ENERGY CONSERVATION CONSTRUCTION CODE, EXISTING BUILDING CODE, MECHANICAL CODE, FUEL GAS CODE, AND PROPERTY MAINTENANCE CODE, NY APPENDIX J BUILDING MATERIALS & STRUCTURES 111 SECTION A5701, AGREEMENTS LEAD 2 & 7 SECTION A5701, A001/H10.
- CONTRACTOR SHALL PROTECT & BRACE ALL WORK FROM DAMAGE DURING CONSTRUCTION.
- ALL WORK TO BE PLUMB & TRUE. ALL PLUMBING WORK TO BE IN COMPLIANCE WITH NYS PLUMBING CODE. ALL ELECTRICAL WORK TO BE IN COMPLIANCE WITH N.Y.C. ALL HVAC WORK TO BE IN COMPLIANCE WITH ASHRAE STANDARDS, LATEST EDITION. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL BE LICENSED AND INSURED. ALL PLUMBERS AND ELECTRICIANS ARE RESPONSIBLE FOR ANY ADDITIONAL PERMITS, APPROVALS AND INSPECTIONS THEIR PARTICULAR TRADE MAY REQUIRE.
- LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY FREE FROM ROT, LARGE AND LOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED. ALL NEW LUMBER SHALL CONFORM TO 2020 NEW YORK STATE BUILDING CODE CHAPTER 23; FASTENING SHALL CONFORM TO 2020 NYSBC TABLE 2004.10.1. ALL LUMBER SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WOOD COUNCILS NATIONAL DESIGN SPECIFICATIONS FOR BENDING STRESS AND DEFLECTION, AND 2020 NYSBC 2306. NYSBC AND OR 2020 NYSBC. PROVIDE LEDGER, BLOCKING, NAILERS AND ROUGH FRAMING PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF SKYLIGHTS UNLESS OTHERWISE NOTED. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMP. ALL STRUCTURAL LUMBER INCLUDING BUT NOT LIMITED TO TJI, TGI, & LVL BEAMS OR EQUIVALENT SHALL BE INSTALLED PER DRAWINGS AND SUPPLIED BY THE MANUFACTURER AND SHALL BE FOLLOWED. TJI JOISTS AND LVL BEAMS SHALL NOT BE ALLOWED TO GET WET AT ANY TIME.
- WITH USE OF ANY TRUSS TYPE, PRE-ENGINEERED OR TIMBER CONSTRUCTION A SIGN WILL BE PLACED AT OR ADJACENT TO THE ELECTRIC METER WITH SPECIFICATIONS PROVIDED BY THE ARCHITECT.
- ALL CONCRETE WORK, DETAILS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ACI 318 AND ACI 308 OR PCA 100, AND THE 2020 NEW YORK STATE RESIDENTIAL CODE CHAPTER 8. ALL CONCRETE SHALL BE TYPE I, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, REINFORCING BARS TO CONFORM TO 2020 NYS BUILDING CODE SECTION 1705 MODIFICATIONS TO ACI 318. REINFORCING SHALL BE ACCURATELY INSTALLED TO REQUIRED ELEVATION.
- CONTRACTORS TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL HAVING A MINIMUM SAFE BEARING CAPACITY OF 2 TONS PER SQ. FT. BRACE RETAINING WALLS OR FOUNDATION WALLS AS REQUIRED. BACKFILL WITH APPROVED MATERIAL, BACKFILLING UNDER SLABS, AROUND PIERS AND ON EACH SIDE OF FOUNDATION WALLS SHALL BE DONE IN LAYERS NOT TO EXCEED 10 INCHES. COMPACTION SHALL BE 95% OR MAXIMUM DENSITY AT OPTIMUM MOISTURE.
- ALL STRUCTURAL STEEL SHALL BE NEW, CLEAN AND STRAIGHT AND SHALL CONFORM TO THE LATEST EDITION FOR A.S.T.M. DESIGNATION A-36 OR A-500 FOR ALL "S" SECTIONS. ALL FABRICATION AND CONSTRUCTION OF STRUCTURAL STEEL FOR BUILDINGS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION LATEST EDITION PROVIDE STIFFENER ANGLES OR PLATES UNDER ALL POSTS, COLUMNS OR STRUTS THAT ARE CARRIED BY STEEL BEAMS AND IN THE WEB OF BEAMS CANTILEVERED OVER COLUMNS OR BEAMS SUPPORTING HANGERS. UNLESS OTHERWISE SHOWN OR SPECIFIED PROVIDE 6X8 1/2 BEARING ON CONCRETE MASONRY IF ANY.
- HEADERS TO BE (3) 2" X 10" IN 2x6 WALLS OR (2) 2" X 10" IN 2x4 WALLS UNLESS OTHERWISE NOTED.
- INSULATION IN FLOORS, WALLS AND CEILING TO BE A COMBINATION OF FIBERGLASS BAT, CONTINUOUS RIGID, OR SPRAY FOAM OR CELLULOS INSULATION TYPES TO CONFORM TO 2020 NYS ENERGY CONSERVATION CONSTRUCTION CODE CHAPTER 4.
- ALL FOOTINGS TO BE A MINIMUM OF 3'-6" BELOW GRADE, OR LOCAL FROST DEPTHS SPECIFIED BY THE ARCHITECT, UNDERPIN WHEN NECESSARY.
- HOUSE TO CONFORM TO ANY LOCAL SUPPLEMENTAL CODE.
- PROVIDE BLOCKING AS REQUIRED TO BEARING POSTS ONTO GIRDER OR BEAM CONDITIONS AND VERIFY ALL BEARING TO FOOTING.
- WITH THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH 2020 N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE.
- ALL DECK RAILS AND STAIR HANDRAILS SHALL CONFORM TO THE 2020 N.Y.S. BUILDING CODE SECTIONS 1014 HANDRAILS AND 1014 GUARDS.
- ALL ROOF FRAMING SYSTEMS SHALL BE INSTALLED WITH HIGH WIND CONNECTORS (HURRICANE TIES) IN COMPLIANCE WITH 2020 N.Y.S. BUILDING CODE.
- ALL POSTS TO FOUNDATION FOR THE PURPOSE OF SUPPORTING THE ROOF OR OTHER STRUCTURAL ELEMENTS SHALL BE BLOCKING AS SPECIFIED BY THE ARCHITECT OR A NOMINAL DIMENSION OF 4x4 FROM STRUCTURAL ELEMENT TO BE SUPPORTED CONTINUOUSLY TO A SOLID MASONRY FOUNDATION THAT EXTENDS BELOW REQUIRED FROST DEPTH AND RESTS ON A FOOTING OF TYPICAL CONSTRUCTION.
- ALL SIMPSON STRONG TIE CONNECTORS AND ANCHORS ARE DESIGNED WITH SPECIFIC LOADS AND CAPACITIES. SUBSTITUTIONS OF THESE HANGERS FOR DIFFERENT MODEL NUMBERS THAN SPECIFIED BY THE ARCHITECT OR ENGINEER IS FORBIDDEN WITHOUT VERIFYING THE REPLACEMENT PART WITH THE DESIGN PROFESSIONAL.



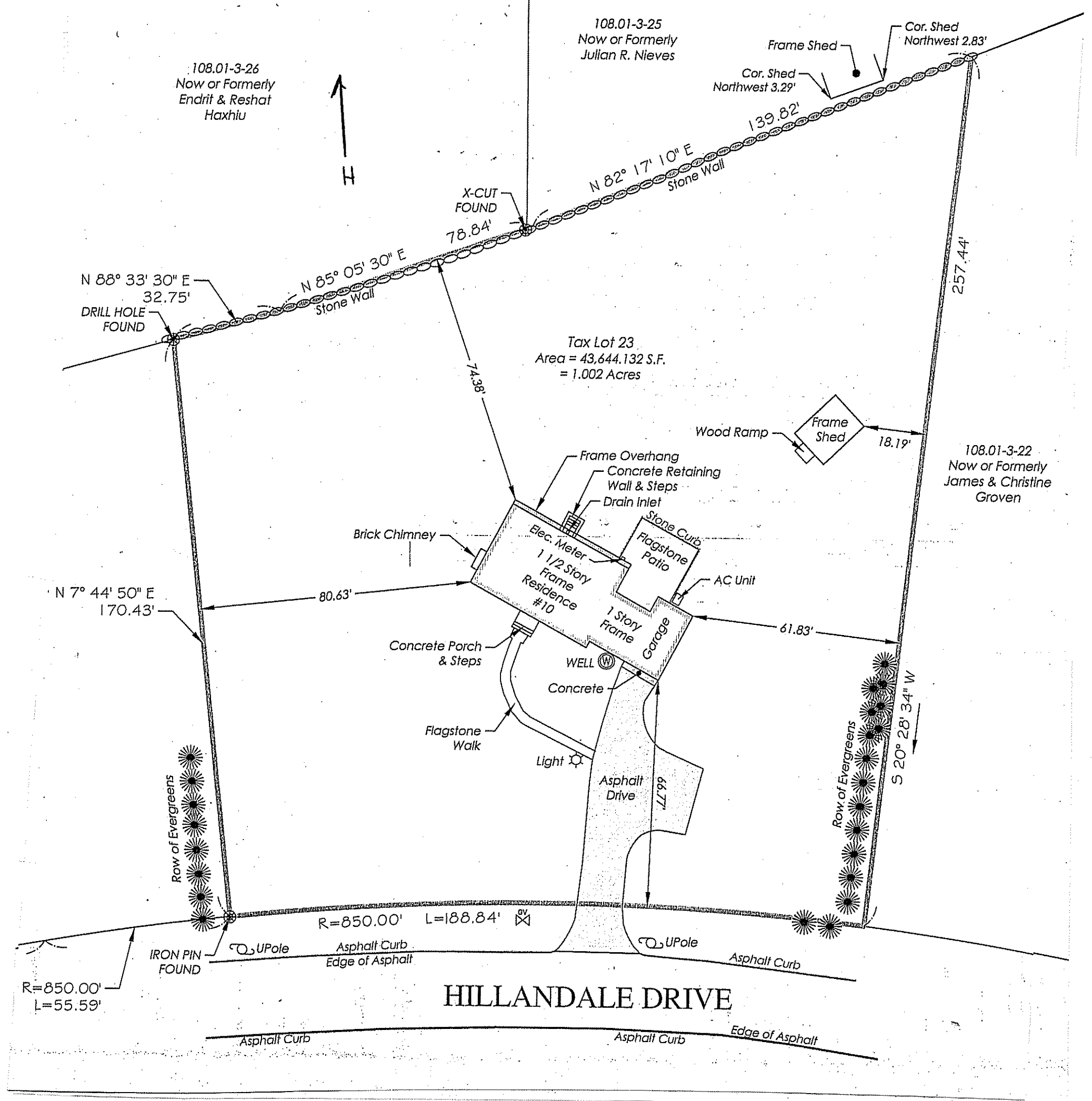
FRONT ELEVATION OF ENCLOSED BREEZEWAY
SCALE 1/4" = 1'-0"



REAR ELEVATION OF ENCLOSED BREEZEWAY
SCALE 1/4" = 1'-0"

TOWN OF NORTH CASTLE ZONING COMPARISON CHART

ADDRESS:	SECTION/BLOCK/LOT:	ZONE:
10 HILLDALE DRIVE ARMONE	108.01-3-23	R-1A
	REQUIRED	EXISTING
MINIMUM LOT AREA	43560	43644
FRONTAGE	125	188.4
WIDTH	125	188.4
DEPTH	150	257
MINIMUM SETBACK FRONT	50	66.77
SIDE	25	61.85
REAR	40	74.38
MAXIMUM BLDG HGT. STORES	2 1/2 STORY	1 1/2 STORY
FEET	30 FT	18 FT
MAXIMUM BLDG COVERAGE		
MINIMUM DRUG UNIT SIZE	1200	2253
BASIC PERMITTED MAX AREA	7727	2253
MAX PERMITTED FLOOR AREA	7732	2253
BASIC PERMITTED GROSS LAND COV.	9357	3707
MAX PERMITTED GROSS LAND COV.	9517	3707



PLOT PLAN
SCALE 1" = 30'-0"

REVISED PERMIT LETTER
ISSUED FOR BLDG PERMIT 11/27/2023

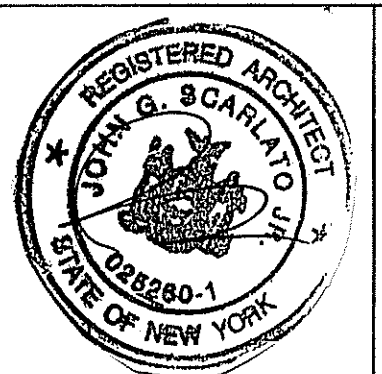
JDH G
SCARF JR
ARCHITECT
33 BYRAN HILL RD
ARMONK, NY 10504

PHONE (914) 273-7350

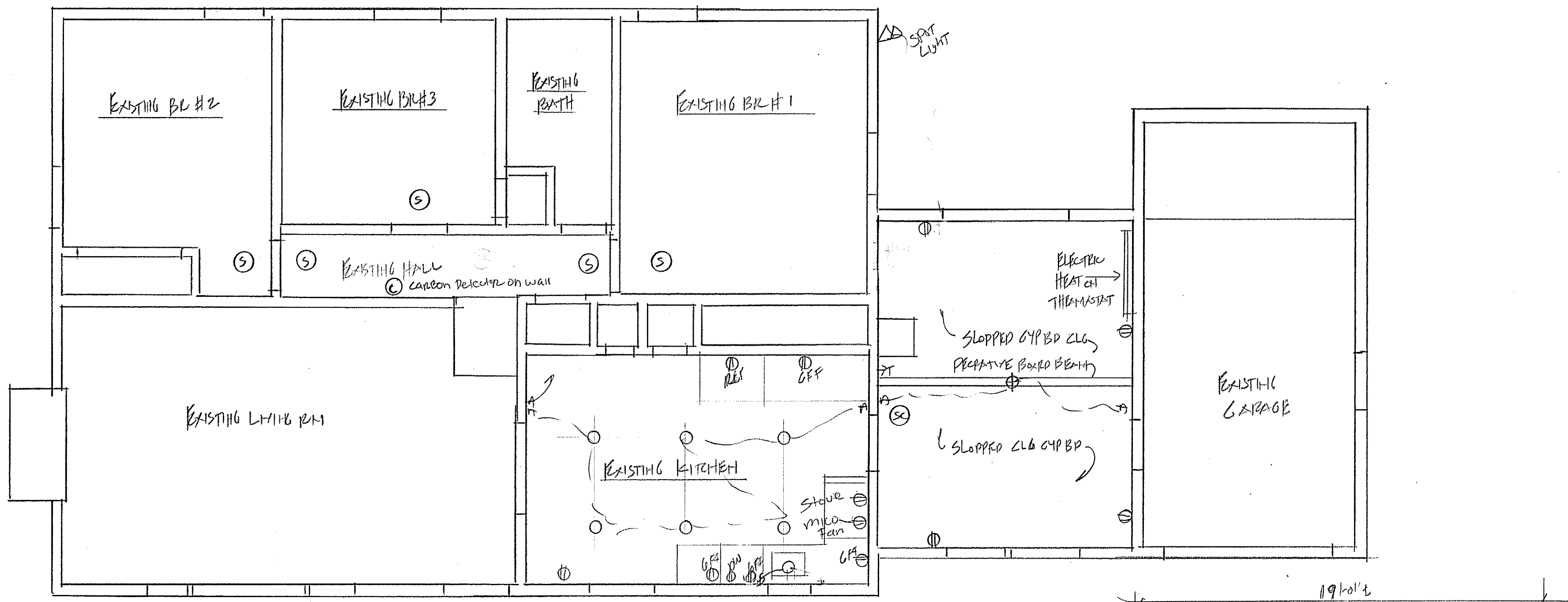
PHOTO RESIDENCE
10 HILLDALE DRIVE
ARMONK, NY 10504

ENCLOSED 1 1/2 BREEZEWAY, LOWER
LEVEL 1/2 BATH TO FULL BATH
& REAR PATIO LEGALIZATION

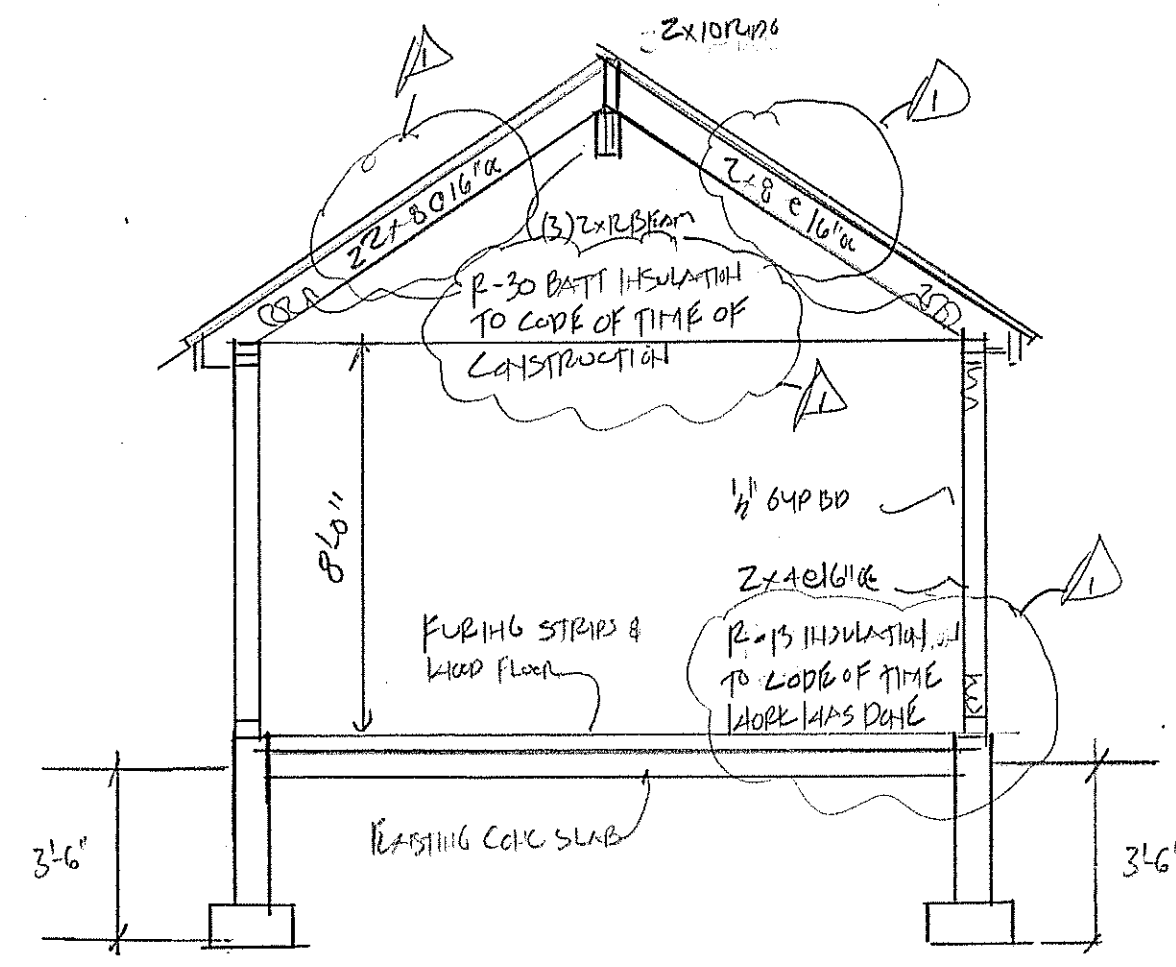
PLOT PLAN, NOTES EXTERIOR
ELEVATIONS



A-1



First Floor REPEATED CEILING & ELECTRICAL PLAN
SCALE 1/4" = 1'-0"



SECTION THRU ENCLOSED BREEZEWAY
SCALE 1/4" = 1'-0"

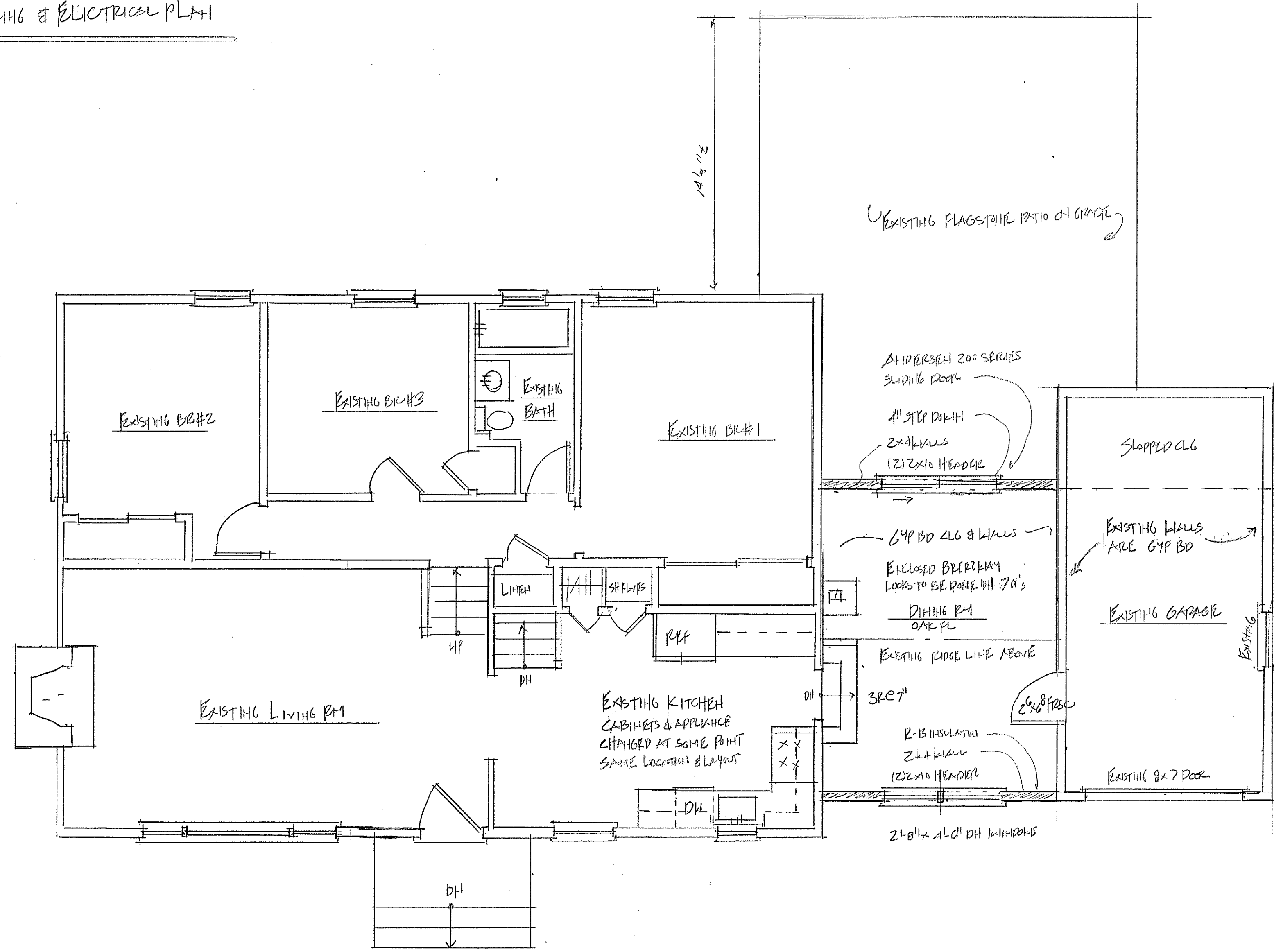
ELECTRICAL LEGEND

- ⚡ NEW DECORA SWITCH (SINGLE POLE TO MULTI-WAY AS DIAGRAMED)
- ⚡ NEW DECORA DIMMER SWITCH
- ⊕ NEW DECORA RECEPTACLE
- ⊕ GFCI NEW DECORA GROUND FAULT CIRCUIT INTERRUPT RECEPTACLE
- ⊕ AFCI NEW DECORA ARC FAULT CIRCUIT INTERRUPT RECEPTACLE (SHOWN AS REMINDER OF CODE REQUIREMENT)
- ⊕ NEW DECORA GUPD RECEPTACLE
- ☎ NEW PHONE OUTLET
- 📺 NEW TV CABLE OUTLET
- 📶 NEW CAT 6 ETHERNET PORT OUTLET
- ⊕ NEW RECESSED LED DOWN LIGHT 5" W/ 1" BAFFLE
- ⊕ NEW LED UNDER-CAB LIGHT PICK OR STRIP VERIFY WITH OWNER
- ⊕ NEW RECESSED W/RE DOWN LIGHT 5" BAFFLE WITH LENS
- ⊕ W/RE SMOKE DETECTOR
- ⊕ W/RE CARBON MONOXIDE DETECTOR
- ⊕ W/RE SMOKE / CARBON MONOXIDE COMBO DETECTOR
- ⊕ W/RE HEAT DETECTOR
- ⊕ BATTERY OPERATED SMOKE / CARBON MONOXIDE COMBO DETECTOR
- ⊕ JUNCTION BOX FOR LIGHT FIXTURE
- ⊕ WALL SCONCE JUNCTION BOX
- ⊕ WALL LIGHT JUNCTION BOX
- ⊕ CEILING FAN REINFORCED JUNCTION BOX

LEGEND

- ▬ NEW CONSTRUCTION
- ▬ NEW FOUNDATION
- ▬ EXISTING CONSTRUCTION TO STAY
- - - EXISTING TO BE REMOVED
- Ⓝ DOOR NUMBER
- Ⓧ WINDOW LETTER
- Ⓧ ELEVATION LOCATION

WARNING:
THESE DOCUMENTS ARE NOT VALID UNLESS SEALED AND SIGNED IN INK, NO SCANS, REPRODUCTIONS OR COPIES ARE AUTHORIZED BY WITHOUT WRITTEN AUTHORIZATION OF JOHN G. SCARLATO JR., ARCHITECT. FURTHERMORE, IT IS A VIOLATION OF NEW YORK STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER IN ANY WAY THESE SEALED AND SIGNED DOCUMENTS WITHOUT THE EXPRESS AND CONDITIONED PERMISSION OF THE ARCHITECT.



EXISTING FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

REVISED PER REVIEW LETTER 12/7/23
ISSUED FOR BLDG PERMIT 11-27-23
JCS

JOHN G. SCARLATO JR.
ARCHITECT
33 BRYANT HILL RD
ARMONK, NY 10504
PHONE (914) 273-7350

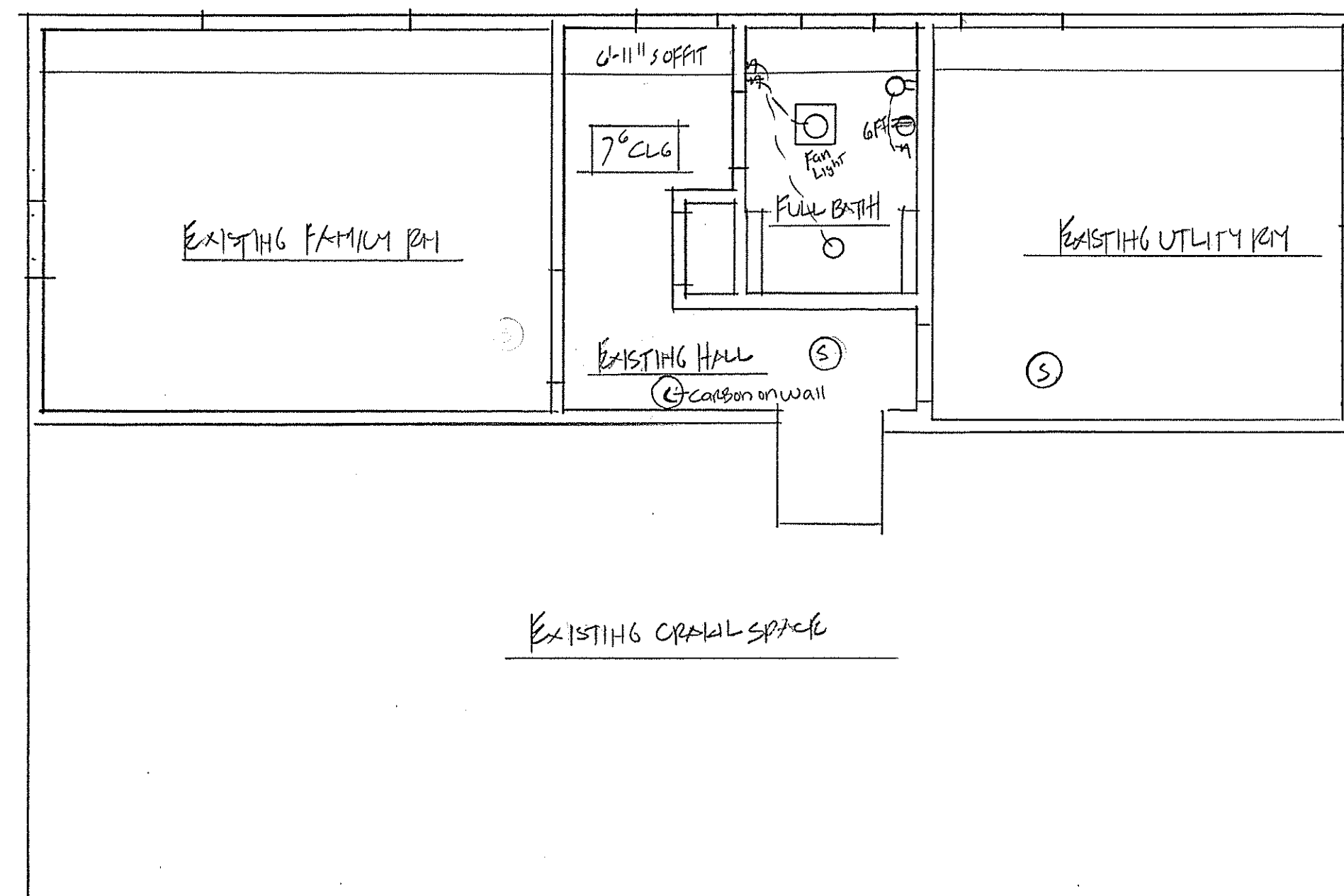
PIHTO RESIDENCE
10 HILLSHADE DRIVE
ARMONK, NY 10504

ENCLOSED 1st BREEZEWAY & LOWER LEVEL 1/2 BATH TO FULL BATH LEGALIZATION

FIRST FLOOR PLAN



A-2

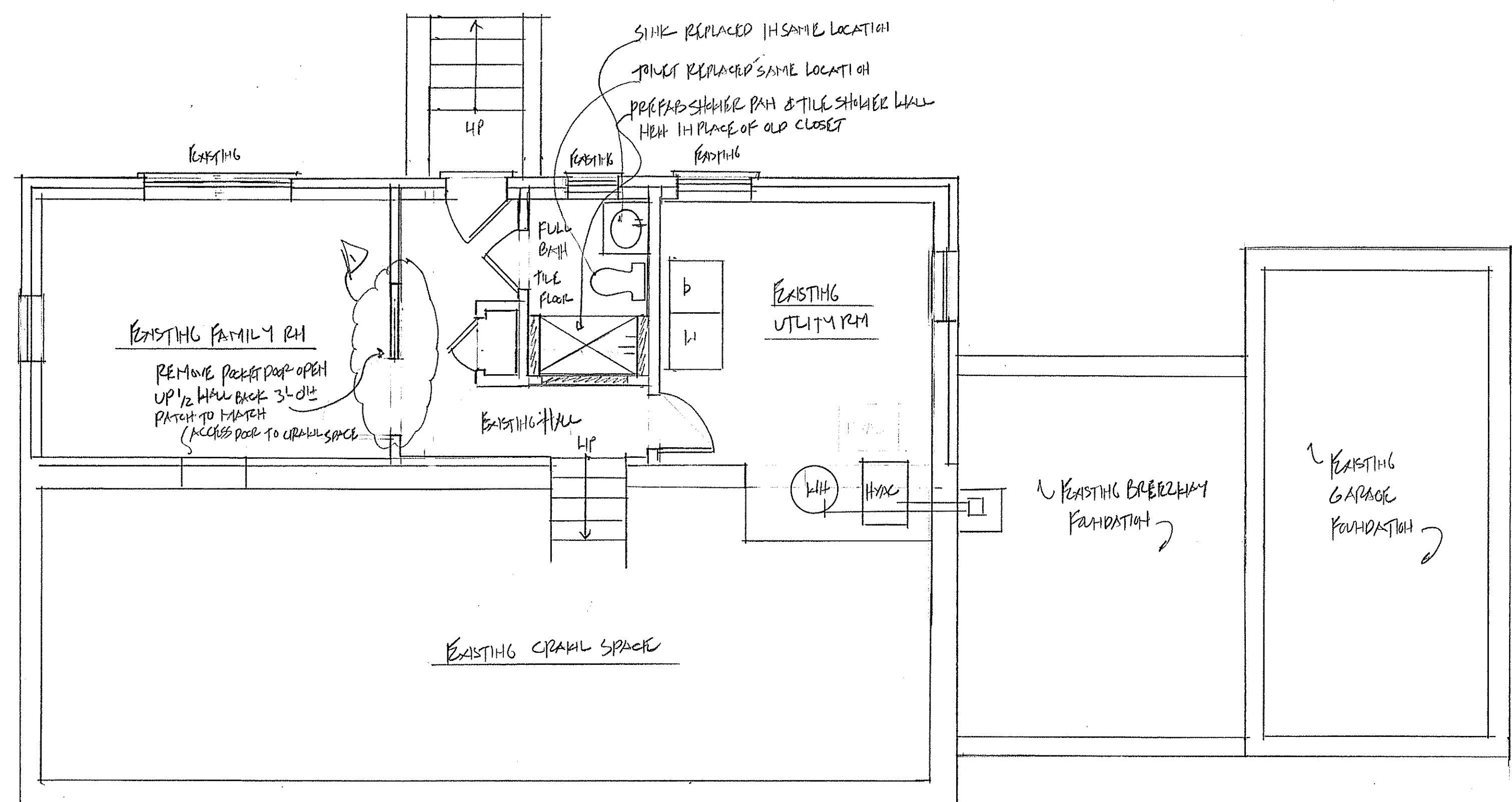


LOWER LEVEL REFLECTED CEILING & ELECTRICAL PLAN
SCALE 1/4" = 1'-0"

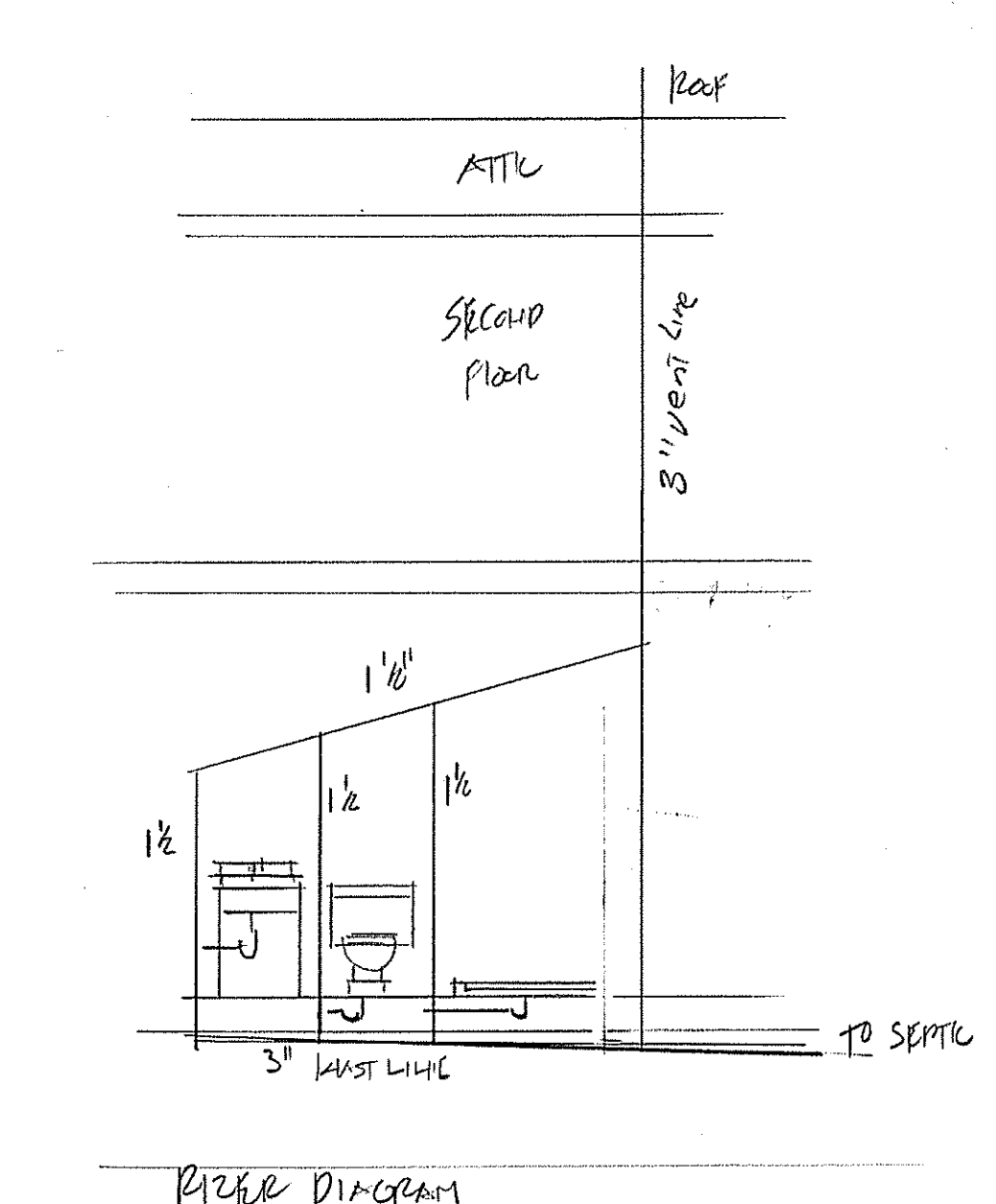
ELECTRICAL LEGEND	
⚡	NEW DECORA SWITCH (SINGLE POLE TO MULTI-WAY AS DIAGRAMED)
⚡	NEW DECORA DIMMER SWITCH
⚡	NEW DECORA RECEPTACLE
⚡	NEW DECORA GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE
⚡	NEW DECORA ARC FAULT CIRCUIT INTERRUPTER RECEPTACLE (SHOWN AS REMINDER OF CODE REQUIREMENT)
⚡	NEW DECORA QUAD RECEPTACLE
⚡	NEW PHONE OUTLET
⚡	NEW TV CABLE OUTLET
⚡	NEW CAT & ETHERNET PORT OUTLET
⚡	NEW RECESSED LED DOWN LIGHT 5" WHITE BAFFLE
⚡	NEW LED UNDER-CAB LIGHT PLUCK OR STRIP VERIFY WITH OWNER
⚡	NEW RECESSED WHITE DOWN LIGHT 5" BAFFLE WITH LENS
⚡	WIRE SMOKE DETECTOR
⚡	WIRE CARBON MONOXIDE DETECTOR
⚡	WIRE SMOKE / CARBON MONOXIDE COMBO DETECTOR
⚡	WIRE HEAT DETECTOR
⚡	BATTERY OPERATED SMOKE / CARBON MONOXIDE COMBO DETECTOR
⚡	JUNCTION BOX FOR LIGHT FIXTURE
⚡	WALL SCONCE JUNCTION BOX
⚡	WALL LIGHT JUNCTION BOX
⚡	CEILING FAN REINFORCED JUNCTION BOX

LEGEND	
[Solid Line]	NEW CONSTRUCTION
[Dashed Line]	NEW FOUNDATION
[Thin Solid Line]	EXISTING CONSTRUCTION TO STAY
[Dashed Line]	EXISTING TO BE REMOVED
(#)	DOOR NUMBER
(X)	WINDOW LETTER
(X)	ELEVATION LOCATION

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LOWER LEVEL FLOOR PLAN
SCALE 1/4" = 1'-0"



REVISOR FAMILY RM WALL OPENING 12/7/23
ISSUED TO BLDG DEPT FOR PERMIT & CO 11/27/23

John G. SCARLATO JR.
ARCHITECT
33 BYRAM HILL RD
ARMONK, NY 10504
PHONE (914) 273-7350

PIHTO RESIDENCE
10 HILLANDALE DRIVE
ARMONK, NY 10504
ENCLOSED IN BIRZELMAN & LOWLER
LEVEL 1/2 BATH TO FULL BATH
LEGALIZATION

LOWER LEVEL FLOOR PLAN

REGISTERED ARCHITECT
JOHN G. SCARLATO JR.
STATE OF NEW YORK
028280-1

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