



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 7 EVERGREEN ROW, ARMONK, NEW YORK, 10504

Section III- DESCRIPTION OF WORK:

INTERIOR RENOVATION OF THE EXISTING FIRST FLOOR AND PARTIAL
2ND FLOOR ADDITION (ENLARGEMENT OF EXISTING BEDROOM) AND
NEW FRONT PORCH

Section III- CONTACT INFORMATION:

APPLICANT: LUPPINO BUILDERS CORP.

ADDRESS: 135 CROW HILL PATH, MT. KISCO, NEW YORK, 10549

PHONE: (914) 804-6743 MOBILE: _____ EMAIL: joe@luppinobuilders.com

PROPERTY OWNER: JORDAN KOSTERICH

ADDRESS: 7 EVERGREEN ROW, ARMONK, N.Y. 10504

PHONE: _____ MOBILE: (914) 879-5334 EMAIL: jbkosterich@gmail.com

PROFESSIONAL: FERNANDO PEÑA

ADDRESS: 213A ROUTE 100, KATONAH, N.Y. 10536

PHONE: (914) 232-0517 MOBILE: _____

EMAIL: sdndesign@gmail.com

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 101.02-3-56



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

PROPOSED FIRS FLOOR RENOVATION AND PARTIAL 2ND FLOOR ADDITION TO EXISTING HOUSE
 Initial Submittal Revised Preliminary

Street Location:

7 EVERGREEN ROW, ARMONK, N.Y. 10504

Zoning District: R-1A Property Acreage: 1.017 Tax Map Parcel ID: 101,02-3-56

Date: 1/12/24

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

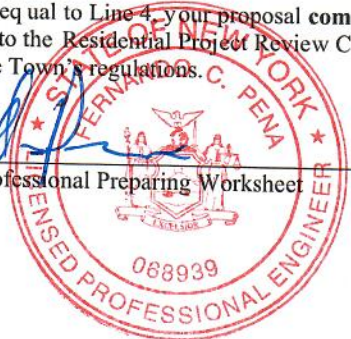
Application Name or Identifying Title: 7 EVERGREEN ROW Date: 1/12/24
 Tax Map Designation or Proposed Lot No.: 101.02-3-56

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 44,301 ft²
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 9,417 ft²
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
100 ft x 10 = 1,000 ft²
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 10,417 ft²
5. Amount of lot area covered by **principal building**:
2,675 ft² existing + 0 proposed = 2,675 ft²
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:
177 ft² existing + 0 proposed = 177 ft²
8. Amount of lot area covered by **porches**:
24 ft² existing + 200 ft² proposed = 224 ft²
9. Amount of lot area covered by **driveway, parking areas and walkways**:
3,269 ft² existing + 0 proposed = 3,269 ft²
10. Amount of lot area covered by **terraces**:
0 existing + 0 proposed = 0
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 0 proposed = 0
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 - 12 = 6,345 ft²

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

[Signature]
 Signature and Seal of Professional Preparing Worksheet



1/12/24
 Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
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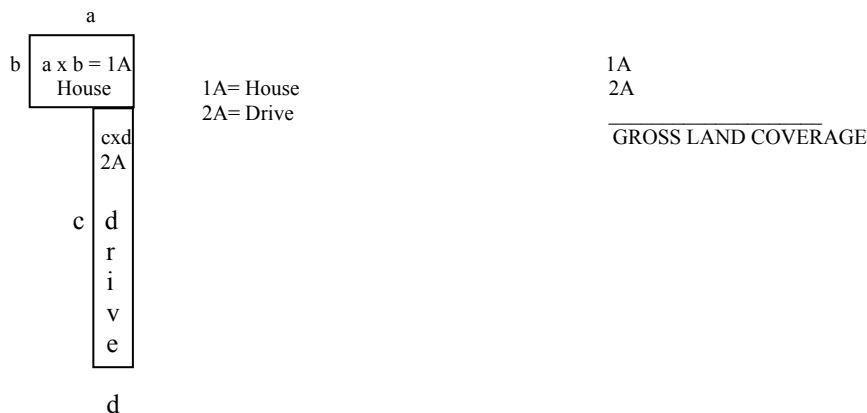
PLANNING DEPARTMENT
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GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
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PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 7 EVERGREEN ROW Date: 1/12/24

Tax Map Designation or Proposed Lot No.: 101.02-3-56

Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 44,301 ft²
2. Maximum permitted floor area (per Section 355-26.B(4)): 7,772 ft²
3. Amount of floor area contained within first floor:
 - 1,737 ft² existing + 0 proposed = 1,737 ft²
4. Amount of floor area contained within second floor:
 - 1,169 ft² existing + 332 ft² proposed = 1,501 ft²
5. Amount of floor area contained within garage:
 - 736 ft² existing + 0 proposed = 736 ft²
6. Amount of floor area contained within porches capable of being enclosed:
 - 177 existing + 224 proposed = 401 ft²
7. Amount of floor area contained within basement (if applicable – see definition):
 - _____ existing + _____ proposed = 0
8. Amount of floor area contained within attic (if applicable – see definition):
 - _____ existing + _____ proposed = 0
9. Amount of floor area contained within all accessory buildings:
 - _____ existing + _____ proposed = 0
10. Proposed floor area: Total of Lines 3 – 9 = 4,375 ft²

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



1/12/24
 Date



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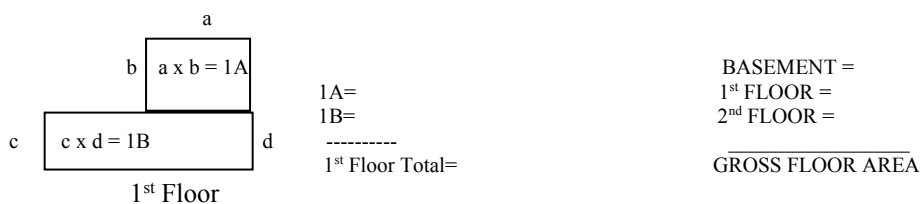
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GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



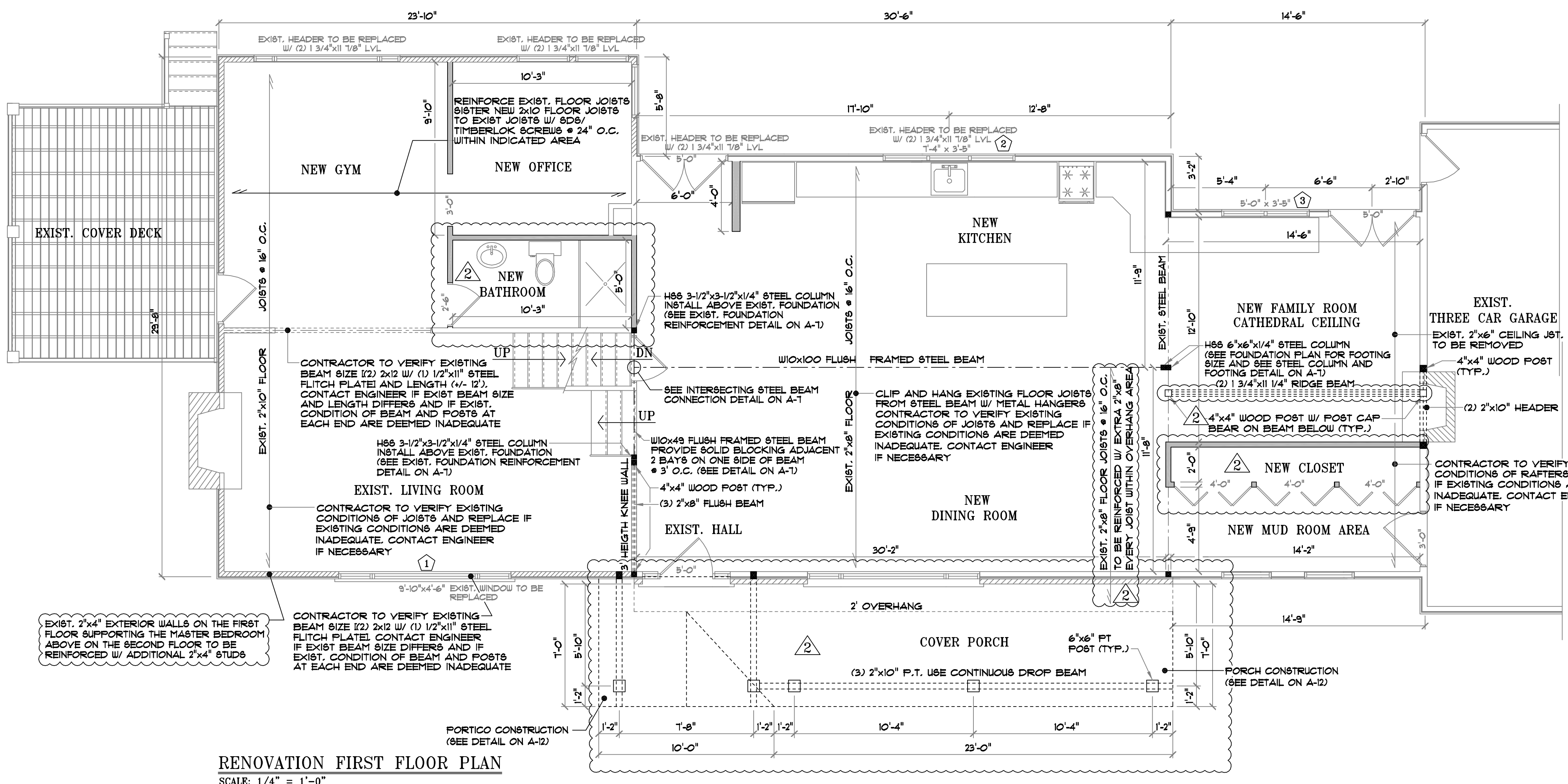
LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.



RENOVATION FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTES:

- PARALLEL TO FRAMING.
- DOUBLE JOIST UNDER ALL PARTITIONS
- LEGEND:**
 - (3) 2"x6" WOOD POST OR AS NOTED
 - REMOVED WALLS
 - NEW FRAMING

WOOD HEADER SCHEDULE

SPAN	HEADER SIZE
UP TO 30"	(2) 2" x 8" HDR.
UP TO 30"-48"	(2) 2" x 10" HDR.
UP TO 48"-72"	(2) 2" x 10" HDR.
UP TO 72"-96"	(3) 2" x 10" HDR.

NOTE:

ALL HEADERS FOR EXTERIOR OPENINGS TO BE (3) 2x10'S
(3) 2"x6" POST EACH SIDE TO SUPPORT HEADER FOR ALL WINDOWS AND DOOR UNLESS OTHERWISE NOTED ON PLANS

LVL HANGER SCHEDULE

- (2) 1-3/4" LVL- MGU3.63-SDS
- (3) 1-3/4" LVL- HGU5.50-SDS
- (4) 1-3/4" LVL- HHGU7.25-SDS

HANGER NOTES

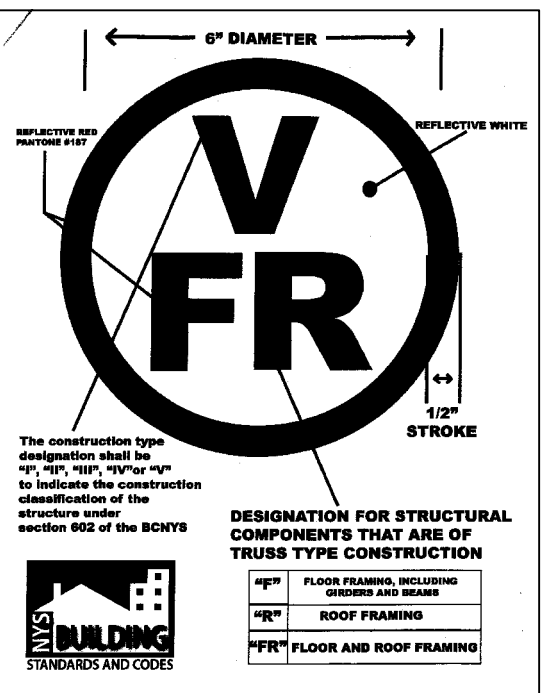
- FOR ALL LVL HANGERS, USE SCREWS LONG ENOUGH TO ENGAGE ALL PLYS OF THE LVL BEING CONNECTED INTO
- ALL CONVENTIONAL LUMBER USE FULLY NAILED METAL JOIST HANGERS
- LVLs THAT FRAME AROUND STAIR OPENING MAY USE NAILED LVL HANGERS INSTEAD OF SCREWED HANGERS AS SHOWN IN HANGER SCHEDULE

TERMITE PROTECTION

- NOTE:**
- A. WHERE REQUIRED UTILIZE CONTINUOUS METAL SHIELD AND PRESSURE TREATED SILL PLATES.
- FULL SEAL FIRE STOP SHALL BE INSTALLED IN ALL HORIZONTAL AREAS WHERE THERE AREA CHASES OR FURRED OUT WALLS AND INCLUDE ALL FRAMED BAYS EVERY 10' PER CODE.

SECTION 382-B OF THE EXECUTIVE LAW

PROVIDES THAT AS A CONDITION OF THE FINAL RECEIPT OF A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLETION, A SIGN OR SYMBOL DESIGNED AND APPROVED BY THE CODE COUNCIL SHALL BE AFFIXED TO ANY ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE STRUCTURE, IF SUCH AN ELECTRIC BOX EXISTS.



DESIGN DATA

- A. ROOF - 30 #/ SF SNOW LOAD, 15 #/ SF DEAD LOAD
- B. FLOOR - 40#/SF LIVE LOAD, 20 #/ SF DEAD LOAD

SPECIAL NOTES

- A. ENGINEER NOT RESPONSIBLE FOR OMISSIONS CHANGES OR ADD UNLESS VER. BY SAME
- B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS OF 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE AND 2020 NEW YORK STATE PLUMBING CODE
- C. ALL DESIGN ELEMENTS MEET OR EXCEEDS 2020 NYS RESIDENTIAL CODES.

GENERAL NOTES

- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND LICENSES, REQUIRED TO COMPLETE ALL WORK AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING THE BUILDING PERMIT ON THE SITE AND PROVIDING A CERTIFICATE OF OCCUPANCY.
- CONTRACTOR OR SUB-CONTRACTOR TO VISIT SITE TO CONFIRM ALL SIZES AND EXAMINE ALL EXISTING CONDITIONS, AND MEASUREMENTS PRIOR TO SUBMITTING A BID. ANY DISCREPANCIES MUST BE REPORTED.
- CONTRACTOR AND/OR SUBCONTRACTORS ARE TO PERFORM ALL WORK AS SHOWN IMPLIED OR THAT IS REQUIRED TO PROVIDE A COMPLETE AND FINISHED KEY IN LOCK JOB EVEN IF EACH AND EVERY SPECIFIC ITEM IS NOT SPECIFICALLY CALLED FOR.
- ANYTHING NOT SPECIFICALLY SHOWN ON THE DRAWINGS, BUT WHICH IS REASONABLY IMPLIED, SHALL BE FURNISHED AS THOUGH SET FORTH IN THE PLANS.
- ALL WRITTEN NOTES AND DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY DRAWN FIGURES. DO NOT SCALE PRINTS. ANY QUESTIONS OR DISCREPANCIES REGARDING THE DRAWINGS OR DIMENSIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER FOR INTERPRETATION BEFORE PROCEEDING.
- ALL WORK AND MATERIALS MUST CONFORM TO THE LOCAL BUILDING CODES, PLUMBING CODE, AND NATIONAL BOARD OF FIRE UNDERWRITERS CODE AND REQUIREMENTS OF THE BOARD OF HEALTH WITH ENERGY CONSERVATION CODE.
- BLOWER DOOR TEST REQUIRED TO BE PERFORMED WITHIN THE RESIDENCE.
- SITE WORK INCLUDES ALL NECESSARY DEMOLITION, SITE CLEARING, EXCAVATION, FILLING GRADING AND RELATED ITEMS TO COMPLETE THE WORK INDICATED ON THE DRAWINGS. EXCAVATE FOR ALL UTILITIES AS REQUIRED.
- BUILDING CODE COMPLIANCE - TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THIS ADDITION TO A SINGLE FAMILY RESIDENCE HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW STATE CONSERVATION CONSTRUCTION CODE.

DESIGNED WITH 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE
APPLICABLE SECTIONS: APPENDIX J EXISTING BUILDINGS AND STRUCTURES;
ALTERATIONS-LEVEL 2; ADDITIONS

DATA: USE CLASSIFICATION (R-3), CONSTRUCTION TYPE (TYPE 5B)

R301.1.2 CONSTRUCTION SYSTEMS

THE REQUIREMENTS OF THIS CODE ARE BASED ON PLATFORM AND BALLOON-FRAME CONSTRUCTION FOR LIGHT-FRAME BUILDINGS. THE REQUIREMENTS FOR CONCRETE AND MASONRY BUILDINGS ARE BASED ON A BALLOON FRAMING SYSTEM. OTHER FRAMING SYSTEMS MUST HAVE EQUIVALENT DETAILING TO ENSURE FORCE TRANSFER, CONTINUITY AND COMPATIBLE DEFORMATIONS

R317.1 LOCATION REQUIRED

PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE

- WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18 INCHES OR WOOD GIRDERS WHEN CLOSER THAN 12 INCHES TO THE EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION
- WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES FROM THE EXPOSED GROUND
- SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER
- THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 1/2 INCH ON TOPS, SIDES, AND ENDS
- WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS PATIO SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER
- WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER
- WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OR EXTERIOR MASONRY WALLS OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FURRING STRIPS OR GRAMING MEMBERS

CONTRACTOR SHALL CONFIRM EXTERIOR WALL, FLOOR JOIST AND ANY OTHER STRUCTURAL ELEMENTS WITHIN PROJECT AREA ARE IN SOUND CONDITION. CONTRACTOR SHALL CONTACT ENGINEER OF ANY STRUCTURAL ELEMENTS THAT ARE NOT IN SOUND CONDITION.

NOTE:
DOUBLE ALL JOISTS UNDER PARALLEL PARTITIONS.
DOUBLE RIM JOISTS WHICH RUN PARALLEL TO FLOOR JOISTS.

LUMBER AND FRAMING

- A. ALL FRAMING TO BE IN ACCORDANCE TO THE 2020 RESIDENTIAL CODE OF THE STATE OF NEW YORK
- B. ALL FRAMING LUMBER TO BE A MIXTURE OF CONSTRUCTION GRADES #1 AND #2 DOUGLAS FIR HAVING MODULUS OF ELASTICITY OF 1,700,000 AND NORMAL DURATION DESIGN VALUE OF (F=1450) WITH MAXIMUM MOISTURE TREATED LUMBER CONTENT 19 % ALL PRESSURE TO BE SOUTHERN YELLOW PINE WHICH TO BE USED FOR PLATES AND ALL DECK STRUCTURAL ELEMENTS. ANCHOR ALL SILL PLATES WITH 1/2" X 15" STEEL ANCHOR BOLTS AT 6' O.C. USING MINIMUM TWO BOLTS PER PLATE. WHERE LPI JOIST ARE USE TO BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS
- C. AT ALL BEARING POINTS PROVIDE STUDDING 4" WIDER THAN THICKNESS OF HEADER OR GIRDER
- D. ALL STUDS IN BEARING WALLS ARE TO BE TOE NAILED ON TOP AND BOTTOM WITH MINIMUM SIX 12D COMMON NAILS
- E. INTERIOR HEADERS AS NOTED OR SPANS UP TO 30" USE (2) 2x8; 30"-48" USE (2) 2x8; 48"-72" USE (2) 2x10; 72"-96" USE (2) 2x12'S. ALL HEADERS FOR EXTERIOR OPENINGS TO BE (3) 2x10'S UNLESS OTHERWISE NOTED.
- F. ALL EXTERIOR AND INTERIOR WINDOW AND DOOR OPENINGS ARE TO BE 6'-8" ABOVE FINISHED FLOOR
- G. WHERE JOISTS MEET A FLUSH GRID OF LEDGER, TECO JOIST HANGERS MUST BE USED. ALL DECK LEDGERS TO BE BOLTED TO WALL WITH 1/2" STEEL 16" O.C
- H. PROVIDE SOLID WOOD BRIDGING AT MID-SPAN OF ALL JOISTS.
- I. USE VINYL TO TRIM ALL SOFFITS AND PROVIDE A 2" CONTINUOUS SOFFIT VENT.
- J. USE ALUMINUM TO TRIM ALL SOFFITS AND SOFFIT VENT. PROVIDE A 2" CONTINUED
- K. GLULAM BEAM: SHALL BE DOUGLAS FOR #1 (MIN. F1-2200 P.S.I.) LAMINATED VENEER BEAM: SHALL BE "GP-LAM" GEORGIA PACIFIC OR EQUAL. MINIMUM Fb. 2850. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.
- L. LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURED TREATED.
- M. DOUBLE ALL JOISTS UNDER PARALLEL PARTITIONS. DOUBLE RIM JOISTS WHICH RUN PARALLEL TO FLOOR JOISTS.
- N. PROVIDE 2x10 TIMBER BRIDGING FOR FLOOR JOISTS AT 8 FT. O.C. OR MIDSPAN, WHICHEVER IS LESS
- O. PROVIDE FIRESTOPPING AT ALL JOIST SUPPORTS.
- P. PROVIDE GALVANIZED JOIST HANGERS FOR ALL JOISTS BEARING ON THE FACE OF A FLUSH HEADER OR BEAM.
- Q. 2.0E LVL = LAMINATED VENEER LUMBER. ALL LVL'S TO BE 1-3/4" THICK
- R. 1.8E PSL = PARALLEL STRAND LUMBER

COPIES OF THE PLANS MAY NOT BE TO SCALE

OWNER:
KOSTERICH RESIDENCE

PROJECT:
**7 EVERGREEN ROW
ARMONK, NEW YORK**

CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

THE ARCHITECT OR ENGINEER WILL NOT BE PROVIDING CONSTRUCTION SUPERVISION

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

MARK	DATE	REVISION
REVIEW COMMENTS	10-15-23	# 1
NEW CHANGES	12-15-23	# 2

JOB #. SCALE: DATE:
023-31 AS NOTED 9-14-23

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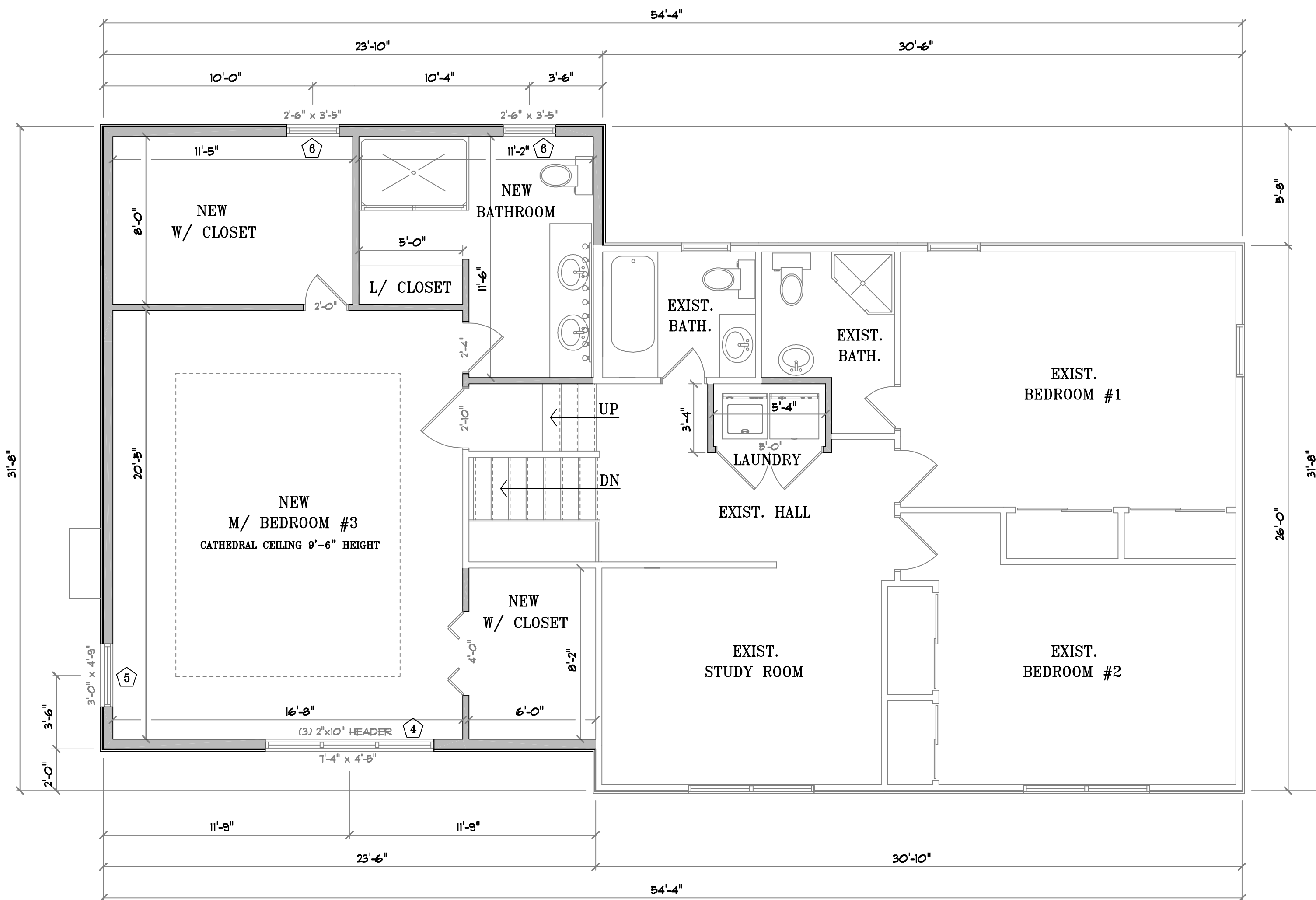
CONTACT INFORMATION:
213 Route 100 Katonah, N.Y. 10536
Tel. 914-232-0517

SHEET TITLE:

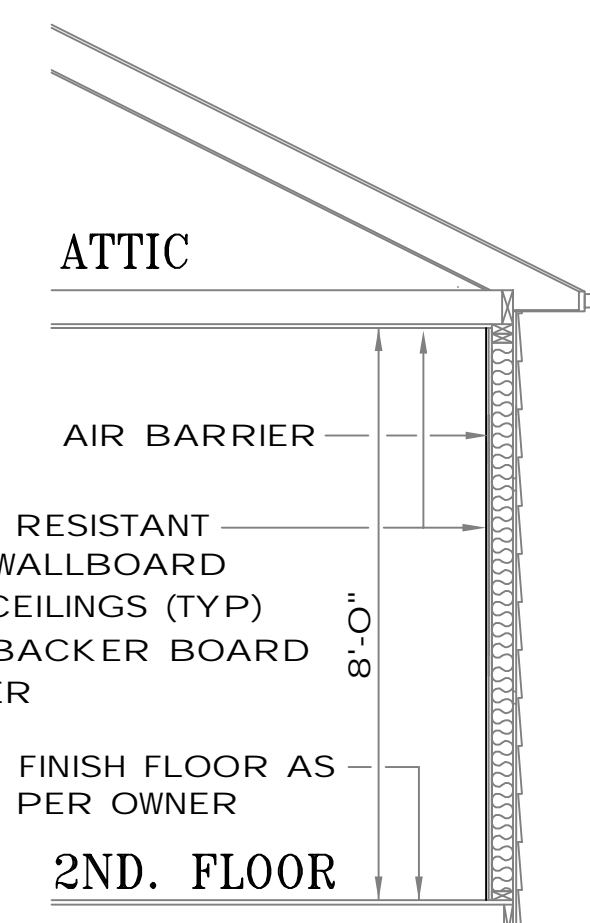
PROPOSED FIRST FLOOR RENOVATION AND PARTIAL 2ND FLOOR ADDITION TO THE EXISTING HOUSE

DRAWING NO.

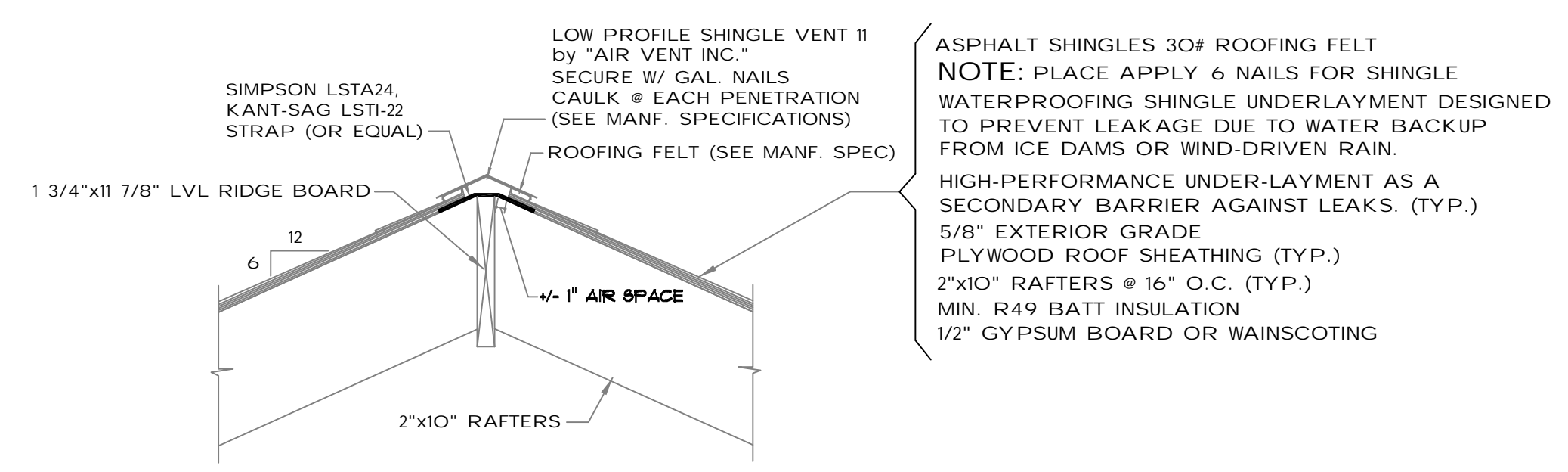
A-1



RENOVATION SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



BATHROOM TYPICAL SECTION



TYPICAL ROOF DETAIL
NOT TO SCALE

ROOFING

- A. PROVIDE 24" ALUMINUM FLASHING AT ALL VALLEYS
- B. WHERE ROOF MEETS ANY PORTION OF WALL, FLASHING MUST BE USED
- C. ALL RIDGES MUST BE CAPPED WITH BLIND CONTINUOUS RIDGE VENT

SECTION R302 FIRE-RESISTANT CONSTRUCTION

R302.5.1 OPENING PROTECTION

OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8 INCHES IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES THICK OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC-CLOSING DEVICE.

SECTION R308 GLAZING

R308.4.5 GLAZING AND WET SURFACES.

GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.

R308.4.3 GLAZING IN WINDOWS

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION:

1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET
2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR
3. THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR
4. ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING

ROOM FINISH

- A. WALLS AND CEILINGS: ALL ROOMS TO HAVE 1/2" GYPSUM BRD, GARAGE AND BOILER ROOM 5/8" SHEETROCK BRAND FIRECODE GYPSUM PANELS TYPE X FOR WALLS AND CEILING.
- B. FLOORS: ALL ROOMS TO BE FINISHED AS PER CONTRACT
- C. INTERIOR TRIM: WINDOW AND DOOR CASING AND BASEBOARD TRIM TO BE COLONIAL OR CLAMSHELL
- D. DRYWALL (USE PRODUCTS ONLY): ALL GYPSUM BOARD MUST BE SECURED TO WOOD MEMBERS WITH TWO-INCH LONG SCREWS. ALL JOINTS AND NAIL HOLES TO RECEIVE THREE COATS OF TAPE AND SPACKLE SANDED SMOOTH IN PREPARATION FOR PAINT. ADEQUATE DRYING MUST OCCUR BETWEEN COATS. ALL OUTSIDE CORNERS TO RECEIVE METAL CORNER BEADS.
- E. CABINETS AND VANITIES: DETERMINE THE EXACT SIZE ON THE JOB AFTER THE WALLS HAVE BEEN FRAMED.

TILE WORK

- A. CERAMIC TILE: SET IN THIN-SET GROUT. INSTALLATION TO BE AS PER LATEST EDITION OF THE TILE COUNCIL OF AMERICA SPECIFICATIONS. CONSULT SDN IF OTHER SETTING METHODS ARE TO BE USED TO VERIFY FLOOR STRUCTURE. PROVIDE WATER-RESISTANT CEMENT BACKER BOARDS TO TUB AND SHOWER WALLS.

THERMAL AND MOISTURE PROTECTION

- A. ROOFING SHALL BE 235# ASPHALT SHINGLES (25 YEAR LIFE). FOLLOW MANUFACTURER'S SPECIFICATIONS AND DETAILS FOR INSTALLATION AND FLASHING. IF MANUFACTURER'S DETAILS DIFFER FROM THE DRAWING, CONSULT WITH ENGINEER AND OWNER TO RESOLVE DIFFERENCES.
- B. INSULATION SHALL BE INSTALLED IN A MANNER THAT PROVIDES CONTINUITY OF INSULATION AT PLATE LINES, BAND JOISTS, AND CORNERS.
- C. ALL JOINTS AND OPENINGS IN BUILDING ENVELOPE SYSTEMS INCLUDING THOSE AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALLS AND ROOF/CEILINGS, BETWEEN WALLS AND FLOORS OR FOUNDATIONS, AT UTILITY SERVICE PENETRATIONS, AND BETWEEN DISSIMILAR MATERIALS SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED.

N. Y. S. ENERGY CONSERVATION CODE WESTCHESTER COUNTY
FOR CLIMATE ZONE 4A

DESIGN DATA

HEATING DESIGN TEMP: THE INTERIOR DESIGN TEMPERATURES USED FOR HEATING AND COOLING LOAD CALCULATIONS SHALL BE A MAXIMUM OF 72°F (22°C) FOR HEATING AND MINIMUM OF 75°F (24°C) FOR COOLING.

2020 RESIDENTIAL CODE OF NEW YORK STATE
TABLE N1102.1.2 (R402.1.2)
RESIDENTIAL INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

	FENESTRATION U-FACTOR ^a	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
REQUIRED	0.32	0.55	.40	49	20 or 13+5	13/17	30	15/19	10, 2 ft	15/19
PROVIDE	0.32	N/A	.40	49	21	N/A	30	15	10, 2 ft	15

FOR 2"x4" EXTERIOR WALLS (R-VALUE 15) OR 3" CLOSED CELL SPRAY FOAM INSULATION
FOR 2"x6" EXTERIOR WALLS (R-VALUE 21) OR 4" CLOSED CELL SPRAY FOAM INSULATION
FOR FLOOR JOISTS (R-VALUE 30) OR 5" CLOSED CELL SPRAY FOAM INSULATION
FOR CEILING JOISTS (R-VALUE 49) OR 7" CLOSED CELL SPRAY FOAM INSULATION

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (Effective 05/12/2020)

TABLE R301.2 (1)

GROUND SNOW LOAD	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (mph)	TOPOGRAPHIC EFFECTS		WEATHERING	FROST LINE DEPTH	TERMITE					
30	115	NO	B	SEVERE	42"	VERY HEAVY	10	YES	YES	1500 OR LESS	50

OWNER:
KOSTERICH RESIDENCE

PROJECT:
7 EVERGREEN ROW
ARMONK, NEW YORK

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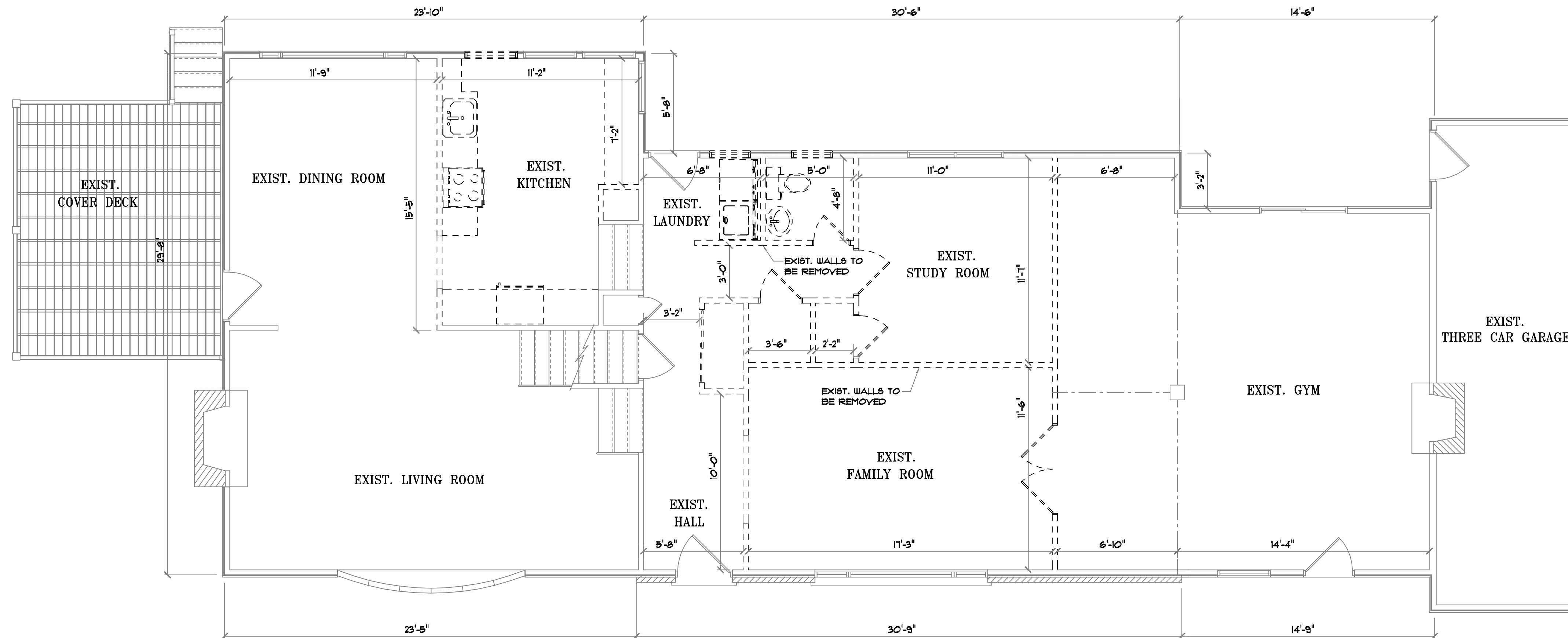
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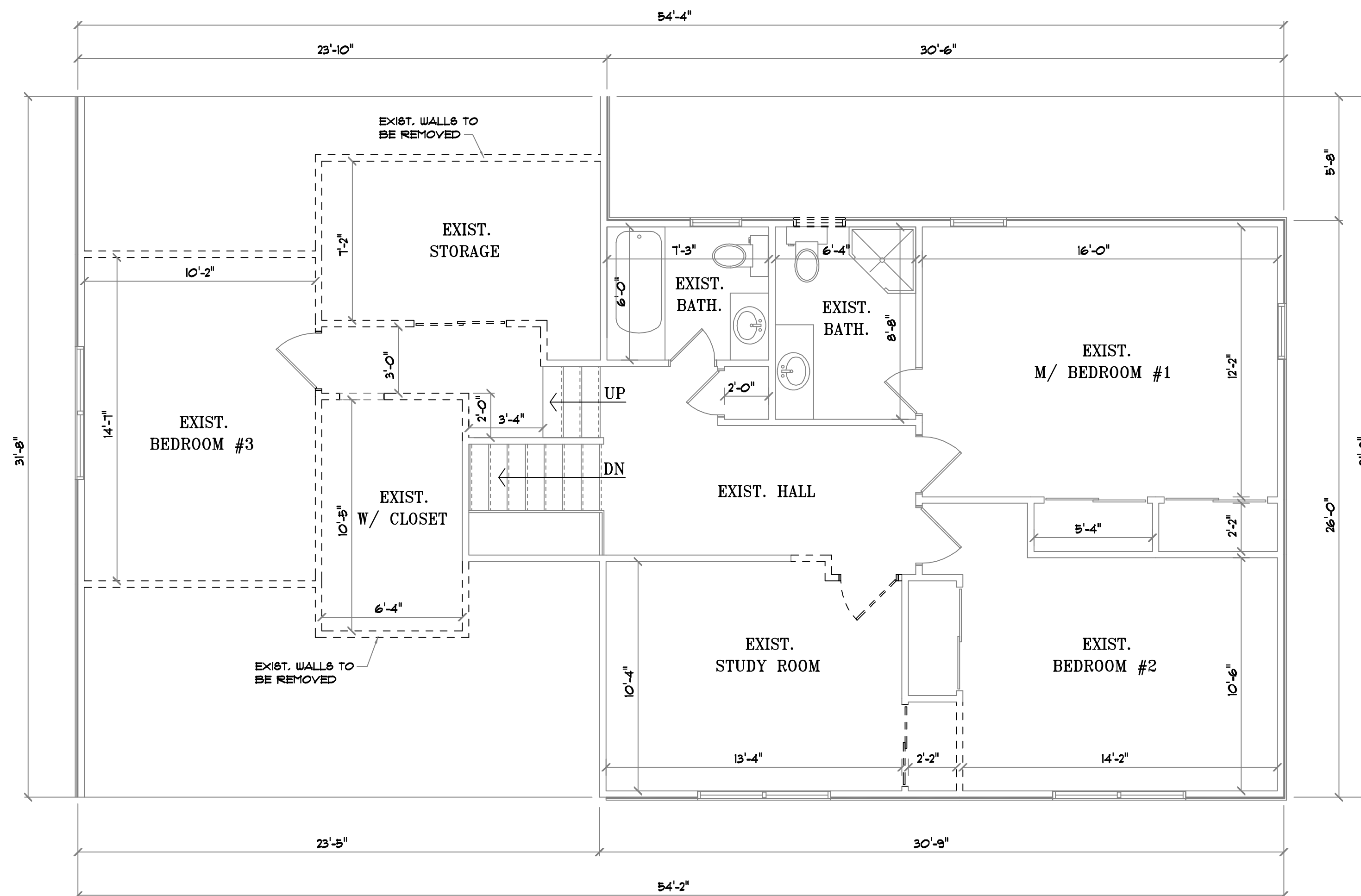
SHEET TITLE:
PROPOSED FIRST FLOOR RENOVATION AND PARTIAL 2ND FLOOR ADDITION TO THE EXISTING HOUSE

DRAWING NO.
A-2



DEMOLITION FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



DEMOLITION SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

- A. THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS AND RULES HAVING JURISDICTION WITH THE AREA OF THE PROJECT.
- B. THE G.C. IS RESPONSIBLE TO REVIEW AND VERIFY THE EXISTING CONDITIONS OF THE BUILDING PRIOR TO STARTING THE WORK.
- C. THE G.C. SHALL LOCATE AND IDENTIFY ALL UNDERGROUND UTILITY LINES, IF ANY, BEFORE THE START OF THE EXCAVATION. THE G.C. IS RESPONSIBLE TO REPAIR ANY INTERRUPTED OR DAMAGED SERVICES AS A RESULT OF THE WORK PERFORMED.
- D. THE G.C. MUST PROVIDE TEMPORARY SUPPORT TO ANY AND ALL LOAD BEARING WALLS THAT ARE TO BE REMOVED.
- E. THE G.C. SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES.
- F. ANY LUMBER THAT IS FOUND TO BE DAMAGED OR ROTTEN MUST BE REMOVED AND REPLACED, ANY QUESTIONABLE CONDITIONS SHALL BE DIRECTED TO THE ENGINEER.
- G. THE G.C. IS RESPONSIBLE TO REMOVE ALL CONSTRUCTION DEBRIS FROM THE JOB SITE IN ACCORDANCE TO THE LOCAL MUNICIPAL ORDINANCES.
- H. THE G.C. SHALL ENSURE THAT NO DAMAGE OR DUST OCCURS TO AREAS THAT ARE NOT WITHIN THE SCOPE OF WORK DURING THE DEMOLITION AND CONSTRUCTION.
- I. ALL DOORS AND WINDOWS INCLUDING THE FRAMING MUST BE REMOVED AS NOTED WITHIN THE PLANS.
- J. ALL ABANDONED ELECTRICAL LINES AND PLUMBING MUST BE REMOVED.
- K. ANY ELECTRICAL LINES AND/OR PLUMBING REMOVED DURING DEMOLITION MUST BE REPLACED DURING CONSTRUCTION.
- L. ALL EXISTING SIDING AS SHOWN ON THE PLANS FROM THE HOUSE MUST BE REMOVED AND REPLACED.
- M. THE EXISTING ROOF OF THE HOUSE MUST BE REMOVED AS SHOWN ON THE PLANS, ANY AREA IN WHICH THE ROOF REMAINS THE G.C. MUST ENSURE THAT THE ROOF IS IN GOOD CONDITION OR NOTIFY THE ENGINEER IF THE ROOF NEEDS TO BE REPLACED.

ANDERSEN WINDOWS SCHEDULE

ID	MANUFACTURER	QTY.	R.O. SIZE	GRILL	U-VALUE	SHGC	AREA PER UNIT	NOTE/ REMARKS
①	CUSTOM	1	9'-10"x4'-6"	NONE	.30	.31	44.24	CUSTOM FIXED WIND. WHITE EXTERIOR
②	TW2432-3	1	2'-5 5/8"x3'-4 7/8"	1/2	.30	.31	24.89	DOUBLE HUNG WHITE EXTERIOR
③	TW2432-2	1	2'-5 5/8"x3'-4 7/8"	1/2	.30	.31	16.65	DOUBLE HUNG WHITE EXTERIOR
④	TW2446-3	1	2'-5 5/8"x4'-8 7/8"	1/2	.30	.31	35.10	DOUBLE HUNG WHITE EXTERIOR
⑤	TW21046	1	2'-11 7/8"x4'-8 7/8"	1/2	.30	.31	14.16	DOUBLE HUNG WHITE EXTERIOR
⑥	TW2432	2	2'-5 5/8"x3'-4 7/8"	2/1	.30	.31	8.40	DOUBLE HUNG WHITE EXTERIOR

OWNER:

KOSTERICH RESIDENCE

PROJECT:

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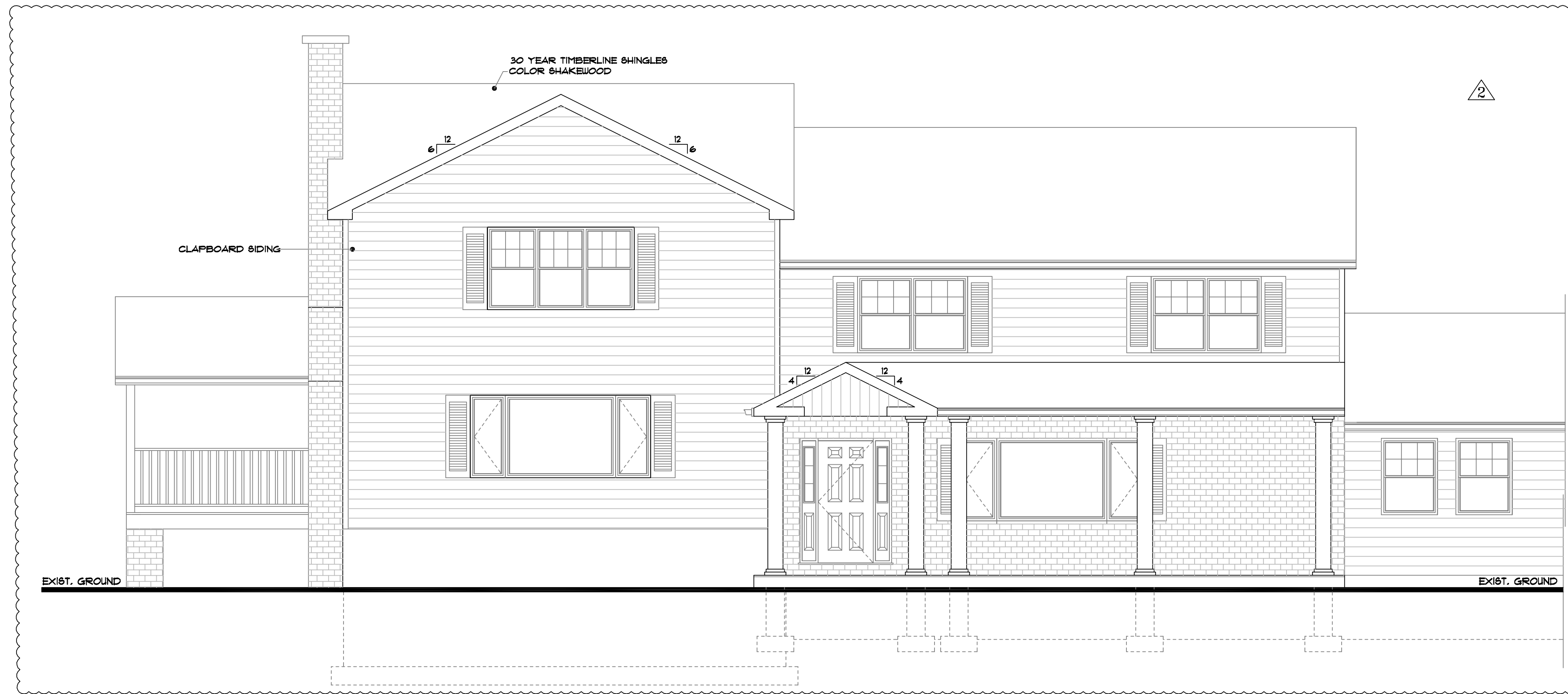
213 Route 100 Katonah, N.Y. 10536
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SHEET TITLE:

PROPOSED FIRST FLOOR RENOVATION AND PARTIAL 2ND FLOOR ADDITION TO THE EXISTING HOUSE

DRAWING NO.

A-3



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

OWNER:

KOSTERICH RESIDENCE

PROJECT:

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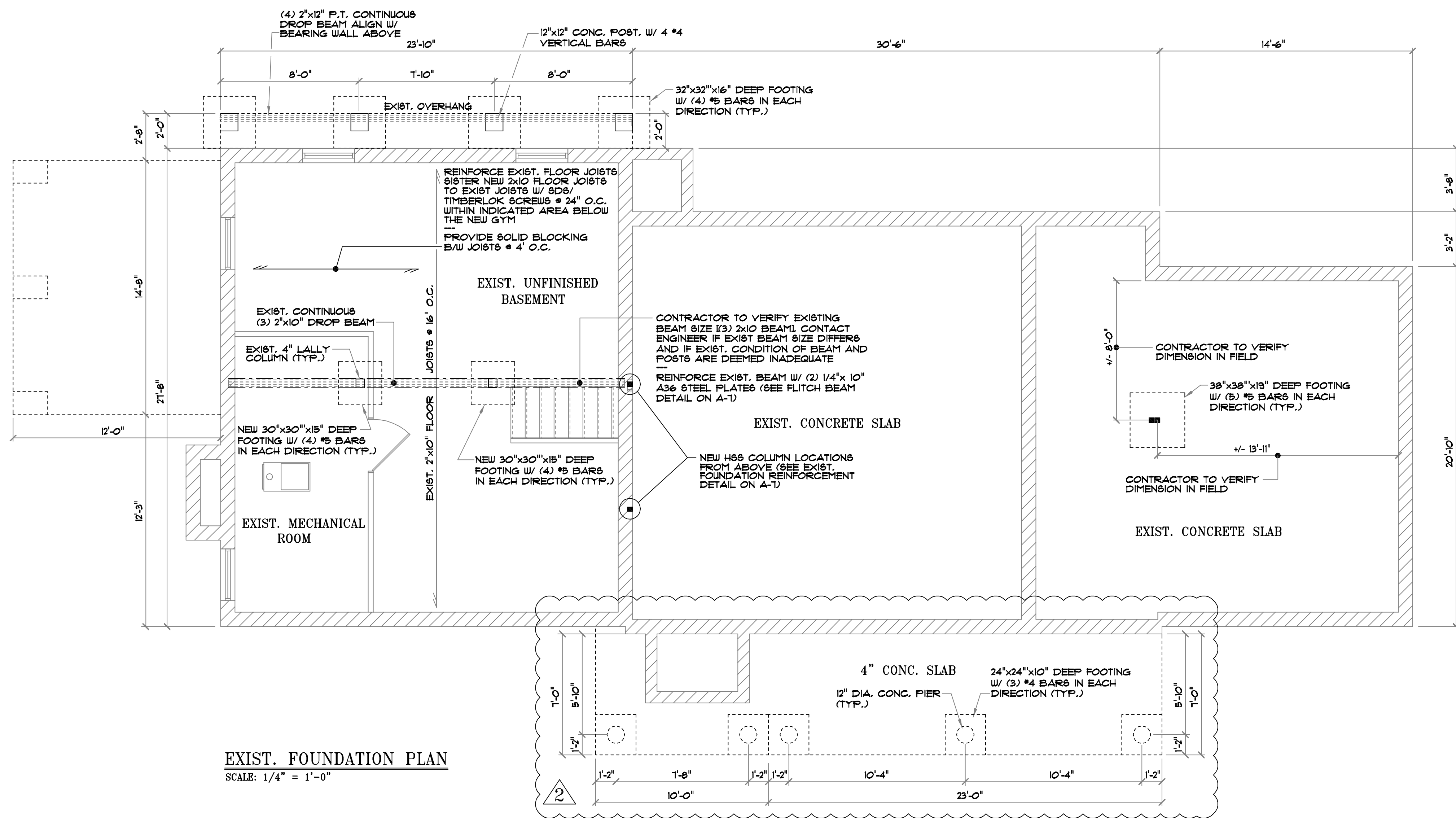
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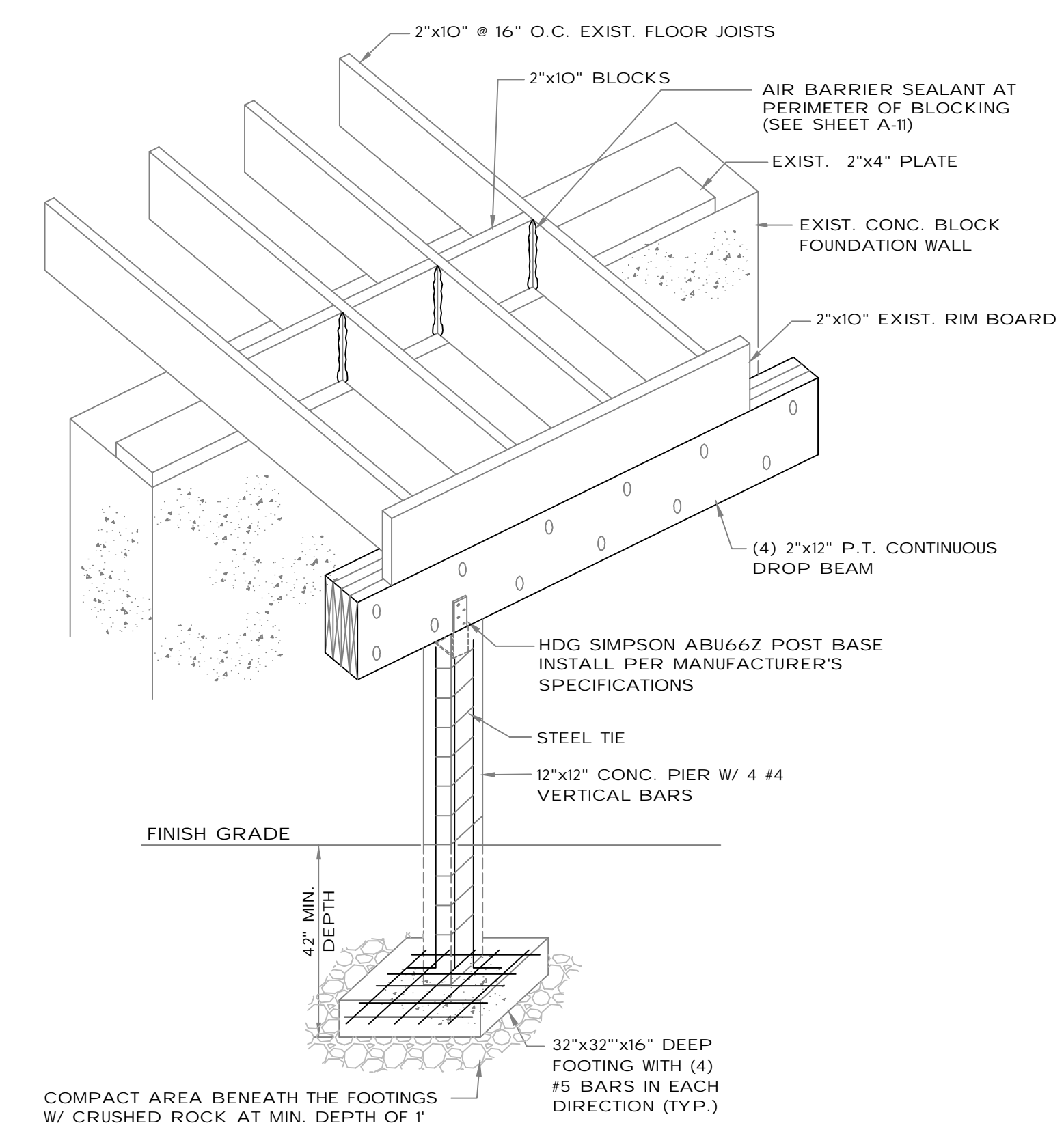
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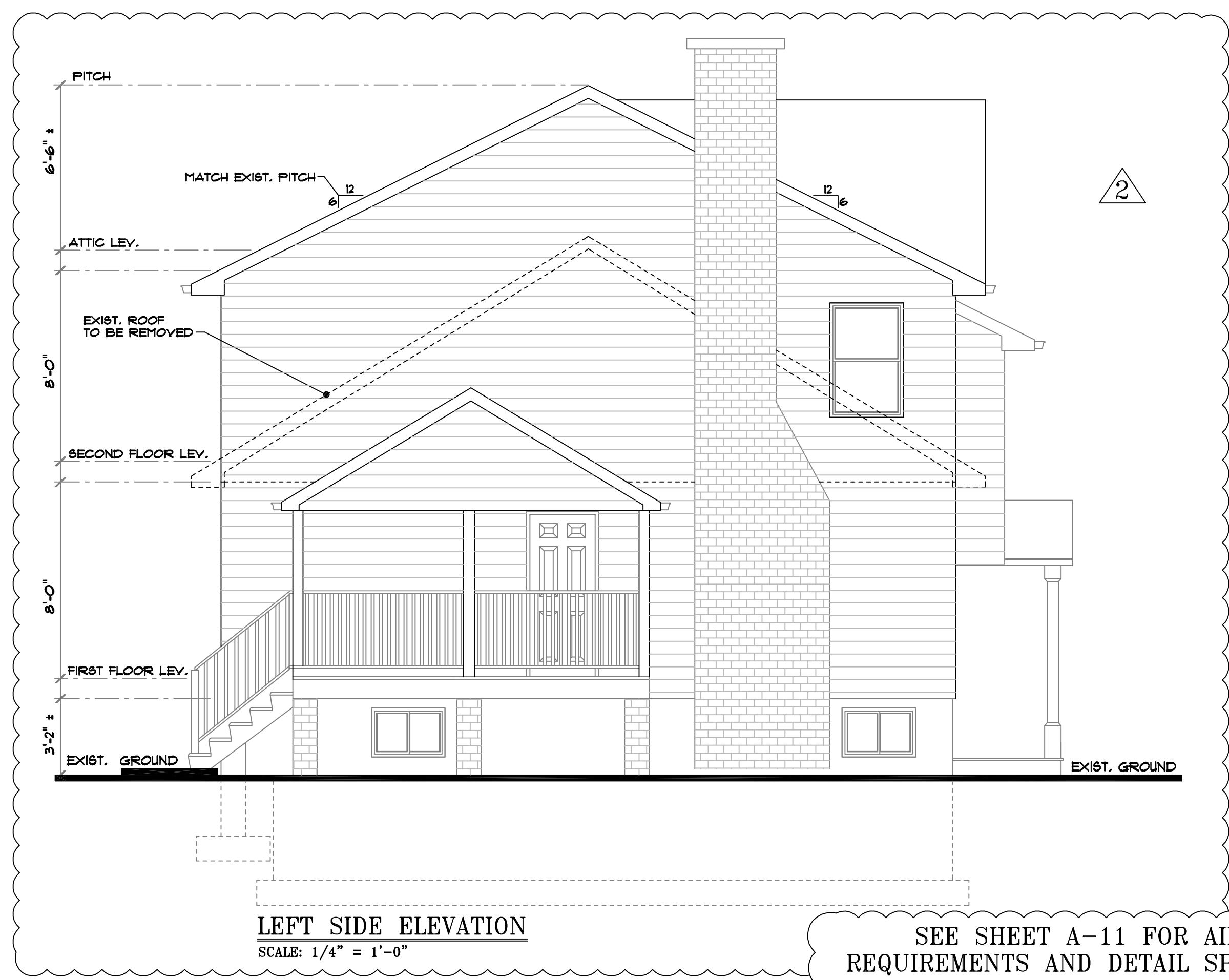
A-4



EXIST. FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



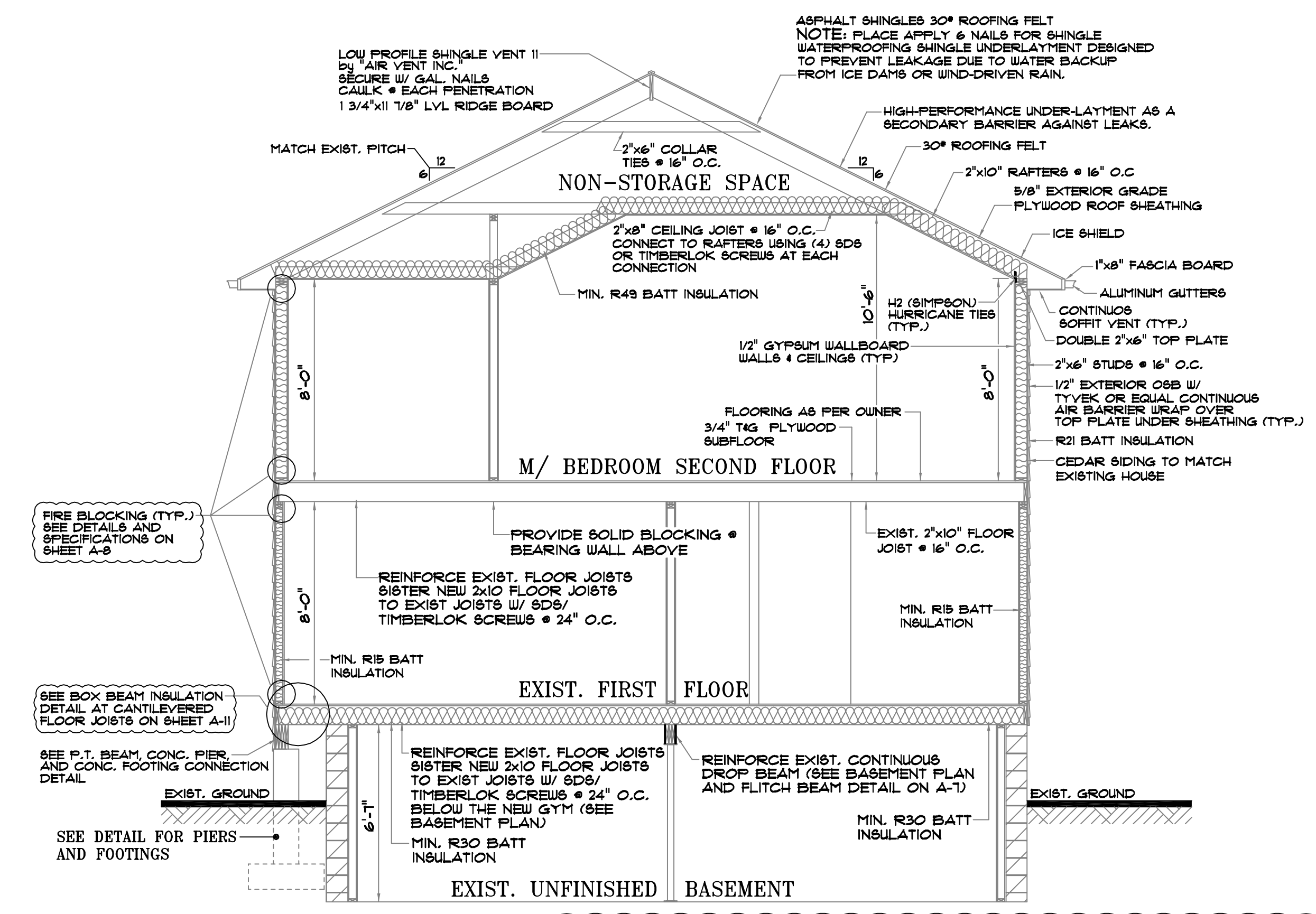
P.T. BEAM, CONC. PIER AND CONC FOOTING CONNECTION DETAIL
NOT TO SCALE



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

SEE SHEET A-11 FOR AIR BARRIER REQUIREMENTS AND DETAIL SPECIFICATIONS

SEE SHEET A-8 FOR FIRE BLOCKING DETAILS



TYPICAL SECTION
SCALE: 1/4" = 1'-0"

ENERGY CODE COMPLIANCE PATH: PRESCRIPTIVE METHOD

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DRAWING NO.

A-5

SECTION N1108 (R502) ADDITIONS

N1108.1.1.2 (R502.1.1.2) HEATING AND COOLING SYSTEMS
 NEW HEATING, COOLING AND DUCT SYSTEMS THAT ARE PART OF THE ADDITION SHALL COMPLY WITH SECTION N1103
 EXCEPTION: WHERE DUCTS FROM AN EXISTING HEATING AND COOLING SYSTEM ARE EXTENDED TO AN ADDITION, DUCT SYSTEMS WITH LESS THAN 40 LINEAR FEET IN UNCONDITIONED SPACES SHALL NOT BE REQUIRED TO BE TESTED IN ACCORDANCE WITH SECTION N1103.3.3

EXISTING HEATING AND COOLING SYSTEMS ARE TO REMAIN AND BE EXTENDED INTO THE ADDITION PORTION OF THE ENLARGED EXISTING BEDROOM #3 (NEW W/ BEDROOM); LESS THAN 40 LINEAR FT WITHIN UNCONDITIONED ATTIC SPACE

N1108.1.1.4 (R502.1.1.4) LIGHTING
 NEW LIGHTING SYSTEMS THAT ARE PART OF OF THE ADDITION SHALL COMPLY WITH SECTION N1104.1

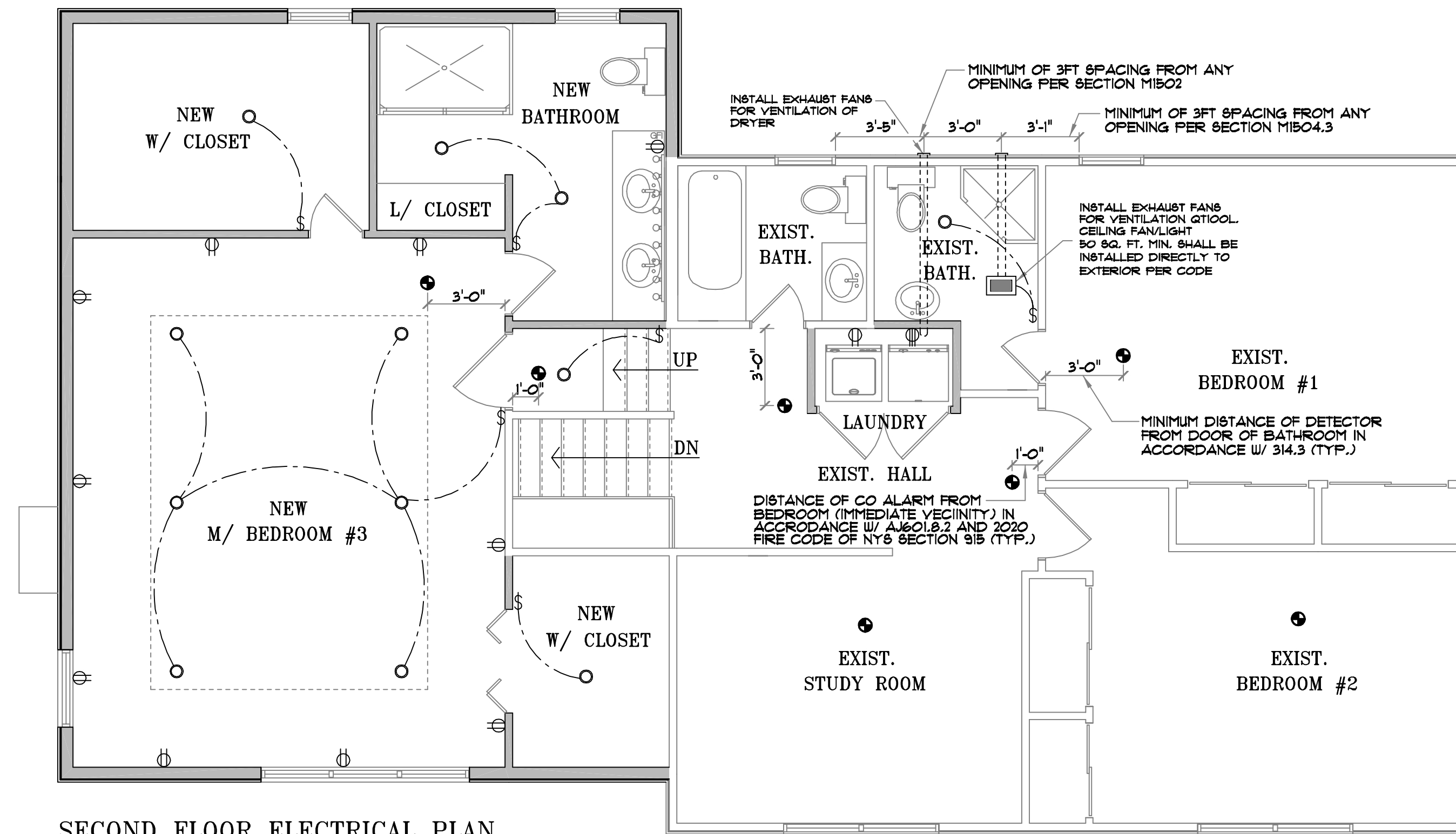
SECTION N1104 (R404) ELECTRICAL POWER AND LIGHTING SYSTEMS (MANDATORY)

N1104.1 (R404.1) LIGHTING EQUIPMENT (MANDATORY)
 NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS

APPLICABLE TO ALTERATIONS WITHIN THE EXISTING HOME AND TO ADDITION OF THE HOME

SECTION N1103 (R403) SYSTEMS

N1103.5.3 (R403.5.3) HOT WATER PIPE INSULATION
 INSULATION FOR HOT WATER PIPING WITH A THERMAL RESISTANCE, R-VALUE, OF NOT LESS THAN R-3 SHALL BE APPLIED TO THE FOLLOWING:
 1) PIPING 3/4 INCH AND LARGER IN NOMINAL DIAMETER



SECOND FLOOR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

TABLE M1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

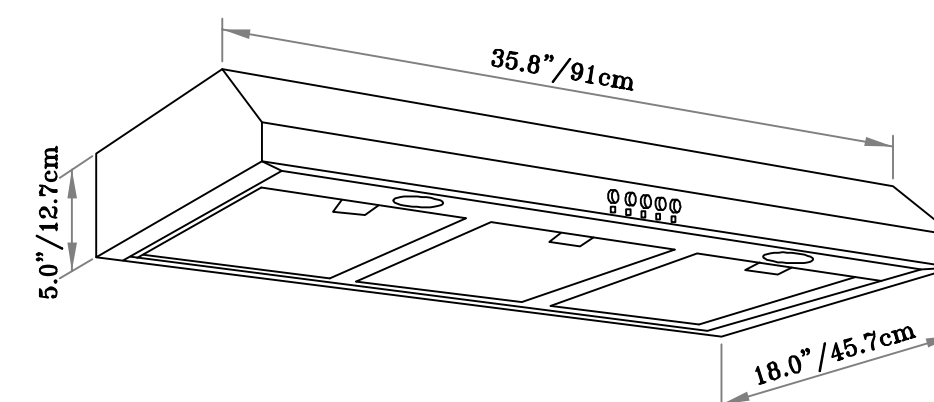
AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 CFM INTERMITTENT OR CFM CONTINUOUS
BATHROOMS-TOILET	MECHANICAL EXHAUST CAPACITY OF 50 CFM

ELECTRICAL FIXTURE LEGEND:

- ⊙ LIGHT
- ⌘ SWITCH
- ⊕ SMOKE DETECTORS & CARBON MONOXIDE SHALL BE HARD WIRED. INTER CONNECTED W/ BATTERY BACK-UP AS PER CODE
- ⊖ OUTLET
- 220 OUTLET
- GFI OUTLET

LIGHTING IN ACCORDANCE W/ SECTION N1108.1.1.4 AND SECTION N1104.1

SMOKE DETECTOR/CARBON MONOXIDE DETECTOR IN ACCORDANCE W/ SECTIONS AJ601.8.1, AJ601.3.1, R314 AND 2020 FIRE CODE OF NEW YORK STATE SECTION 915

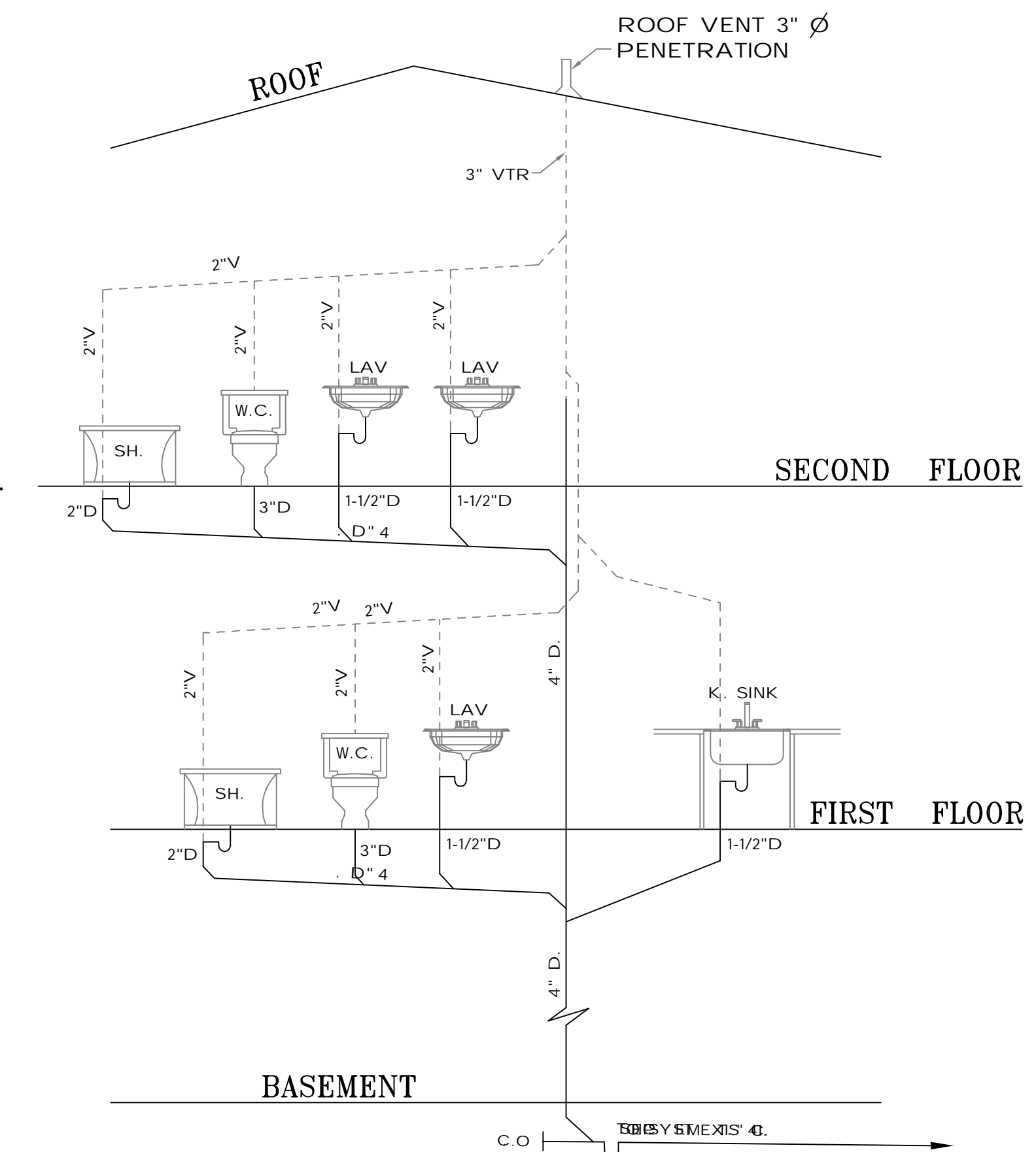


EXHAUST HOOD SPECIFICATIONS

EXHAUST IN ACCORDANCE W/ SECTION M1503

MODEL	DIMENSIONS	RATING	CONTROL TYPE	CFM	SPEEDS	LIGHT BULB WATTAGE	VENTING OPTIONS
QR354 SERIES	35.8 in (910 mm) W 18 in (457 mm) D 5 in (127 mm) H	120V-60Hz 1.0A	PUSH BUTTON	320± 10% MAX	3	2x5W LED GU10 base light bulb	TOP VENTING BACK VENTING RECIRCULATING/ INSIDE VENTING

VISSANI 36" RANGE HOOD QR354 SERIES



PLUMBING RISER DIAGRAM

NOT TO SCALE

PLUMBING:

- A) ALL PLUMBING TO BE IN ACCORDANCE WITH 2020 NEW YORK STATERESIDENTIAL CODE.
- B) ALL UNDERGROUND WASTE LINES SHALL BE PLASTIC (SVR). WASTE LINES ABOVE GROUND MAY BE APPROVED COPPER, COPPER ALLOY, OR PVC PIPE.
- C) ALL WATER LINES SHALL BE COPPER OR COPPER ALLOY PIPE.
- D) THERE SHALL BE SHUT-OFFS PROVIDED FOR ALL FIXTURES. ALL EXPOSED PIPES IN BATHROOMS TO BE CHROME, BRASS OR GOLD PLATED TO MATCH FAUCETS.
- E) PROVIDE AND INSTALL ALL FIXTURE AS MANUFACTURED BY "KOHLER" OR "ELJER" UNLESS OTHERWISE DIRECTED.
- F) PROVIDE ALL SUPPLY PIPES, WASTE PIPES, TRAPS, CLEAN OUTS, AND VENTING NECESSARY FOR THE SUCCESSFUL OPERATION OF ALL PLUMBING FIXTURES. A WET PLUMBING TEST SHALL BE COMPLETED SUCCESSFULLY PRIOR TO INSTALLING DRYWALL.

ELECTRICAL

- A. ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND CERTIFICATE OF INSPECTION OF THE LOCAL AGENCY SHALL BE ISSUED
 - B. PROVIDE MINIMUM 200 AMP. SERVICE WITH CIRCUIT BREAKERS PANEL. MINIMUM WORKING SPACE FROM ENERGIZED PARTS (PANEL BOARD) SHALL BE NOT LESS THAN 36" ON HIGH, 30" WIDE AND 65" FROM THE FLOOR
 - C. PROVIDE FAN-LIGHT COMBINATIONS IN ALL BATHROOMS
 - D. PROVIDE SINGLE STATION HARD WIRED SMOKE DETECTORS LOCATED IN ALL HALLWAYS AND BEDROOMS
 - E. PROVIDE DOOR BELL AT MAIN ENTRANCE
 - G. PROVIDE TELEPHONE AND CABLE WIRING AND OUTLETS. QUANTITIES AND LOCATIONS AS PER CONTRACT
- HEATING**
- A. HEATING SHALL BE GAS FIRED HOT WATER BASEBOARD SYSTEM WITH ADEQUATE HEAT SUPPLY TO EACH ROOM TO PROVIDE 72 DEGREES F. INDOOR WHEN OUTDOORS TEMPERATURE IS ZERO DEGREES FAHRENHEIT
 - B. PROVIDE MINIMUM TWO ZONES WITH HONEY-WELL CALIBRATED THERMOSTAT PROPERLY LOCATED
 - C. INSTALLATION TO BE IN ACCORDANCE WITH LOCAL CODES, NATIONAL BOARD OF FIRE UNDERWRITERS, AND MANUFACTURES INSTRUCTIONS.
 - D. PROVIDE ELECTRICAL OR INDIRECT FIRE "AMTROL" HOT WATER FOR DOMESTIC HOT WATER USE 50 GALLON MINIMUM (OPTIONAL)
 - E. INSULATION: SHALL BE FIBERGLASS BATTS WITH VAPOR BARRIER AS PER LATEST EDITION OF 2015 INTERNATIONAL ENERGY CONSERVATION CODE.
 - F. PROVIDE FRESH AIR INTAKE OF 1 SF MIN. PER 3,000 BTU/H. AND A CIRCULATION OPENING OF 1 SF MIN. SHALL BE PROVIDED

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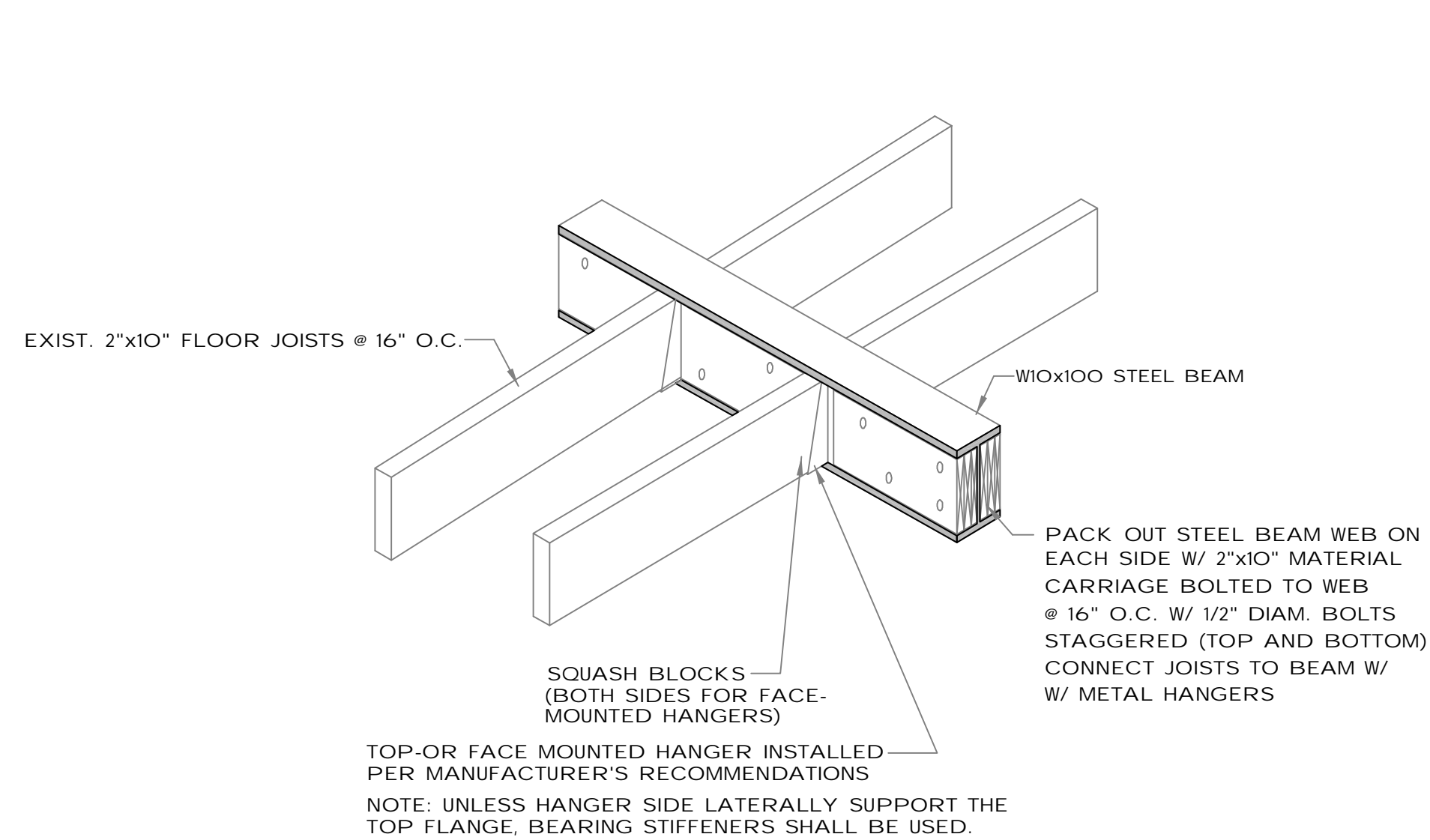
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 FERNANDO C. PENA
 NYS LIC. 068939

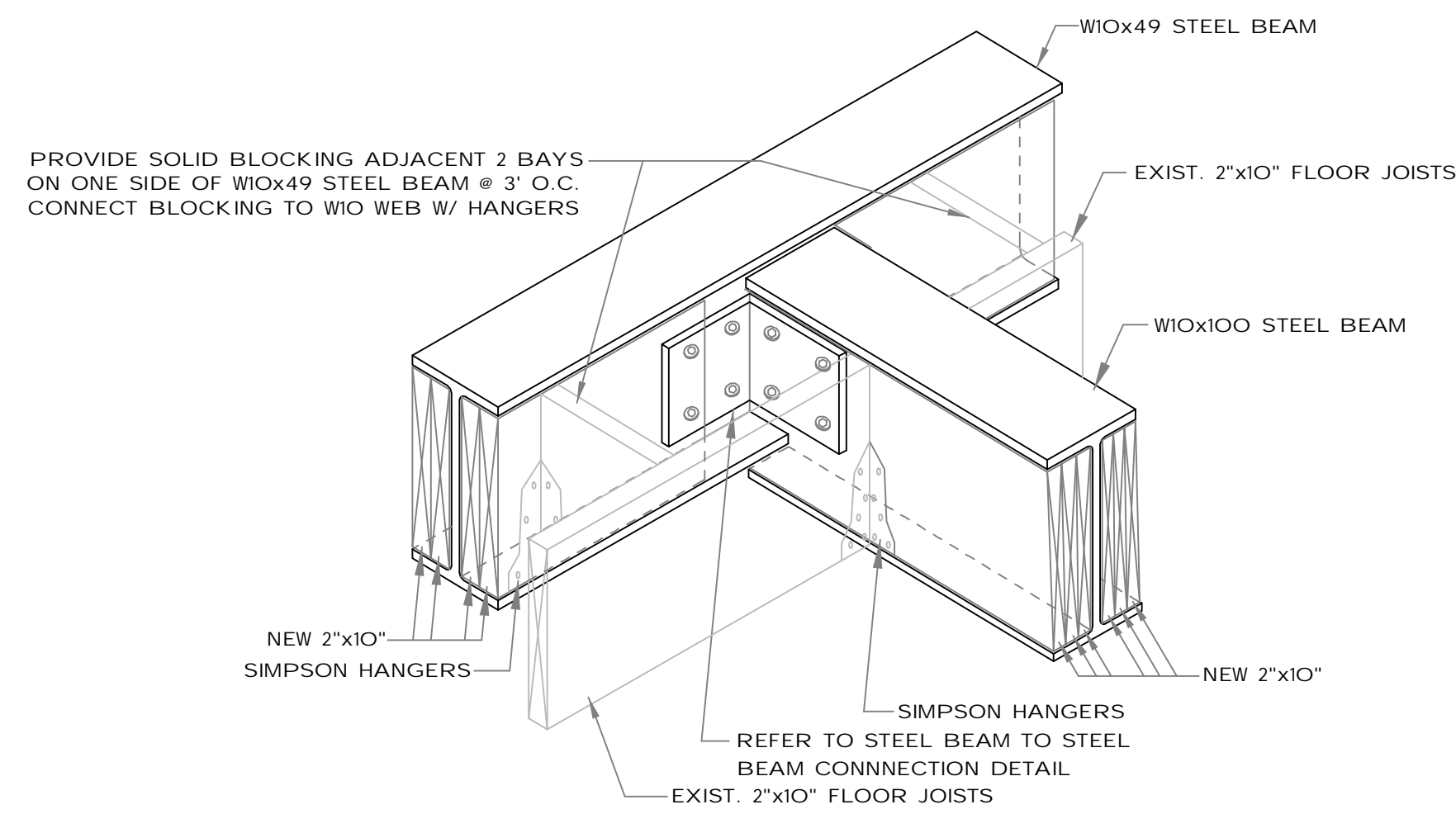
CONTACT INFORMATION:
 213 Route 100 Katonah, N.Y. 10536
 Tel. 914-232-0517

SHEET TITLE:
PROPOSED FIRST FLOOR RENOVATION AND PARTIAL 2ND FLOOR ADDITION TO THE EXISTING HOUSE

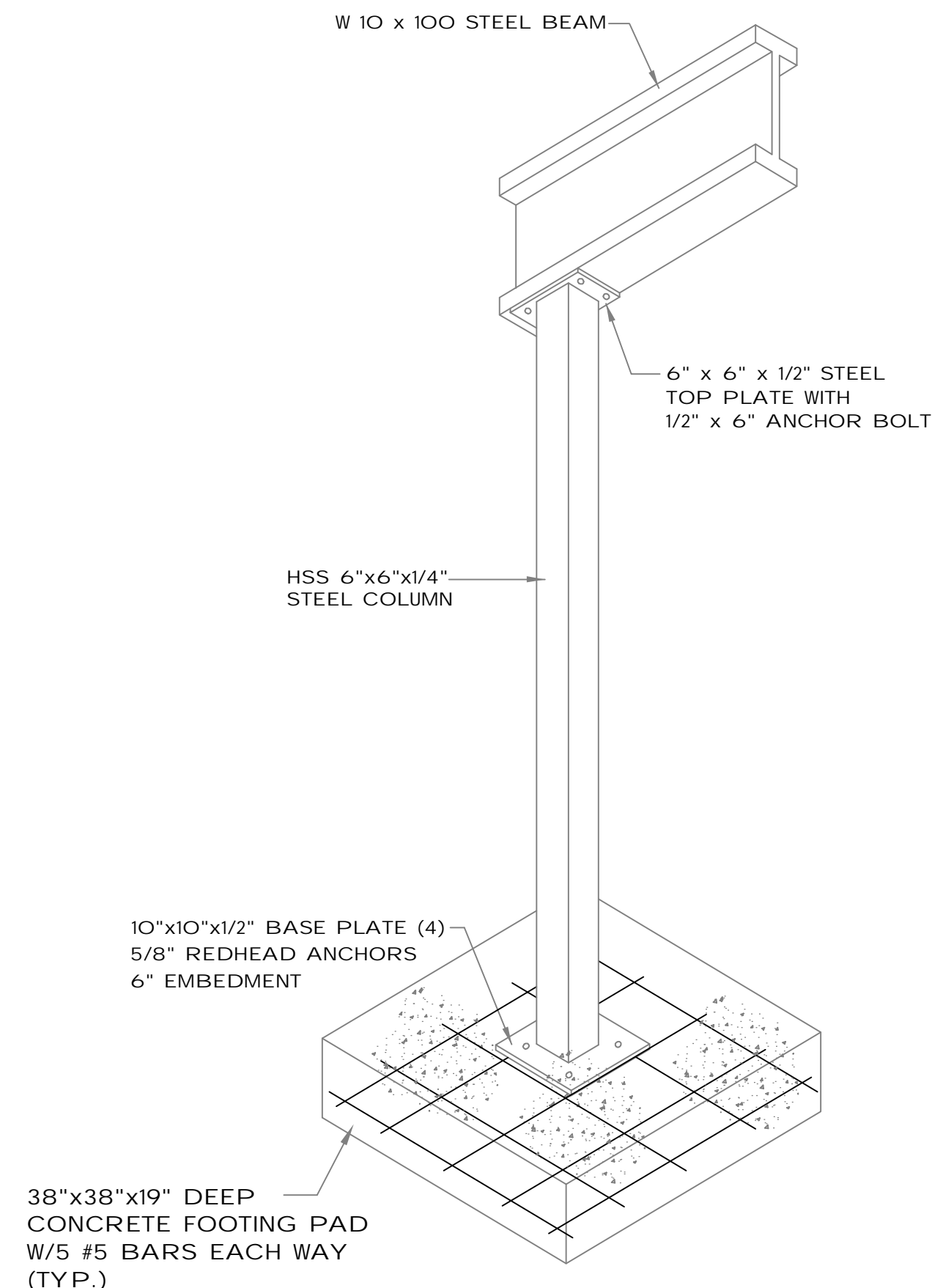
DRAWING NO.
A-6



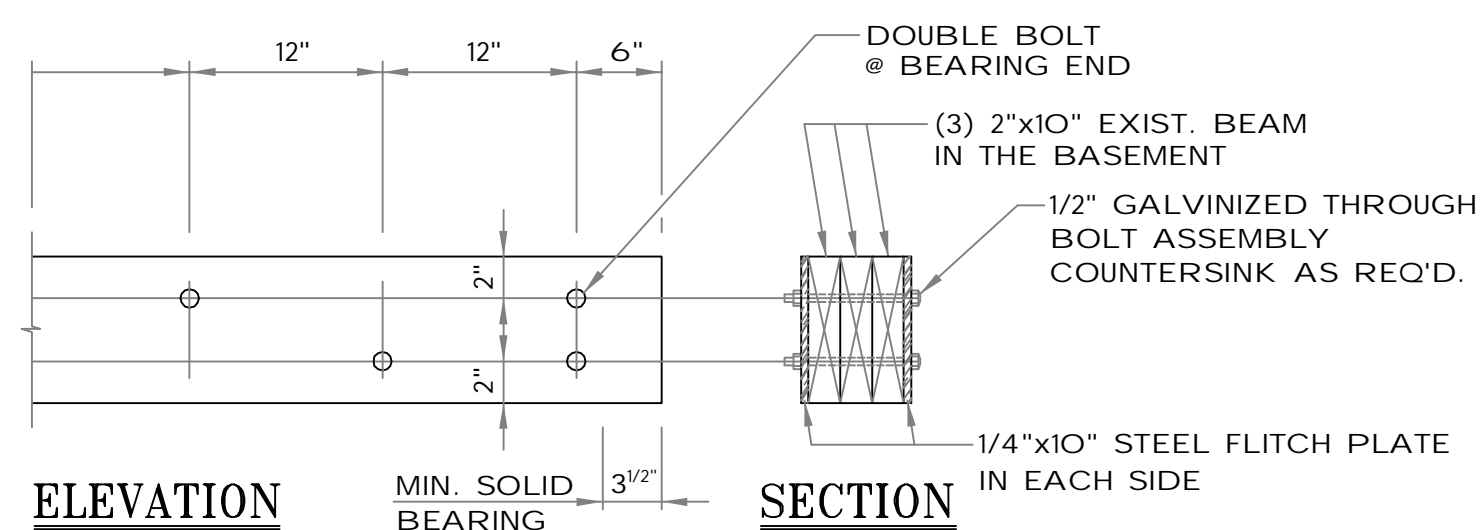
STEEL BEAM PACK OUT CONNECTION DETAIL
NOT TO SCALE



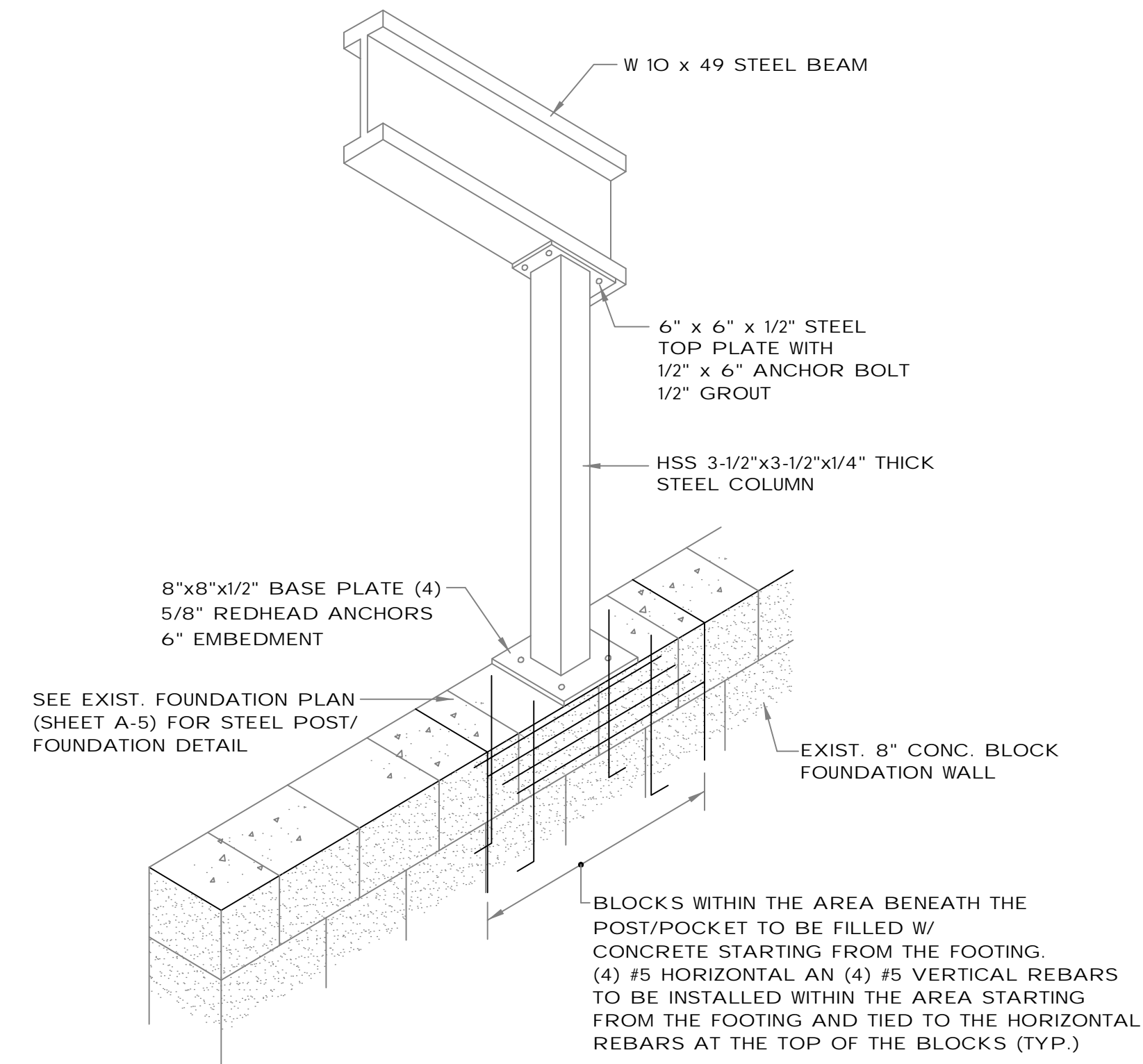
INTERSECTING STEEL BEAM CONNECTION DETAIL
NOT TO SCALE



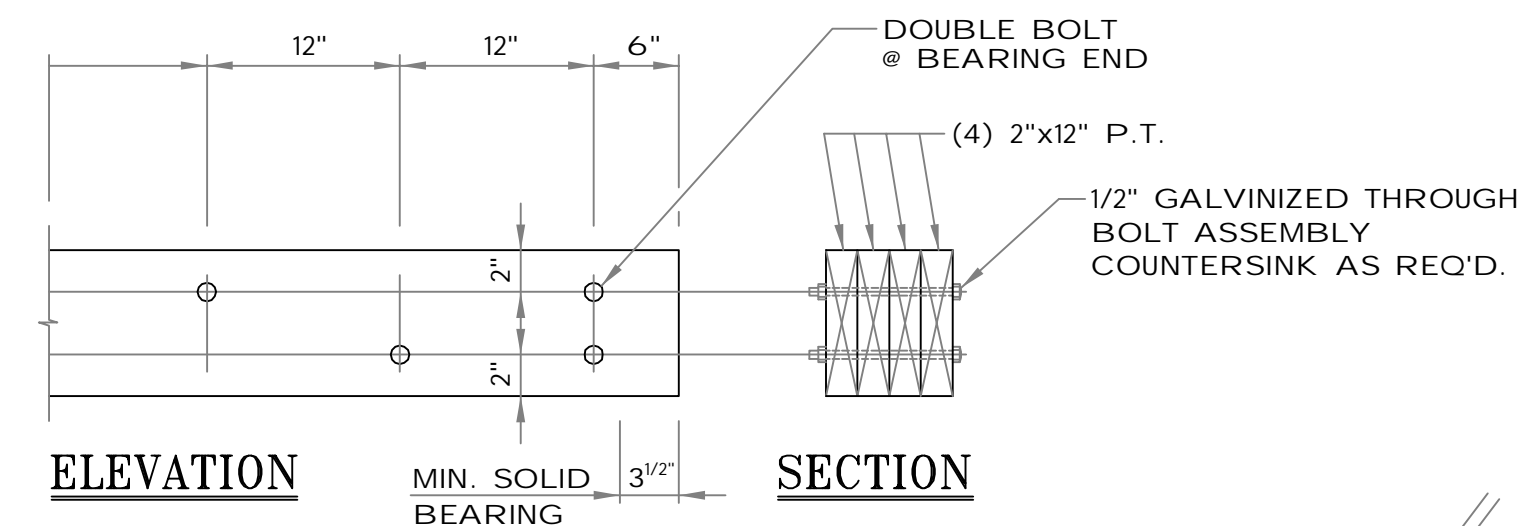
STEEL COLUMN AND FOOTING DETAIL
NOT TO SCALE



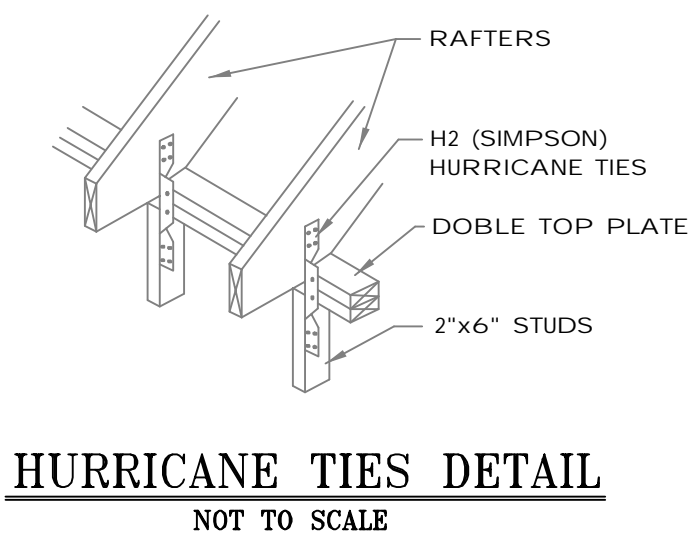
SUPPORT BEAM DETAIL
NOT TO SCALE



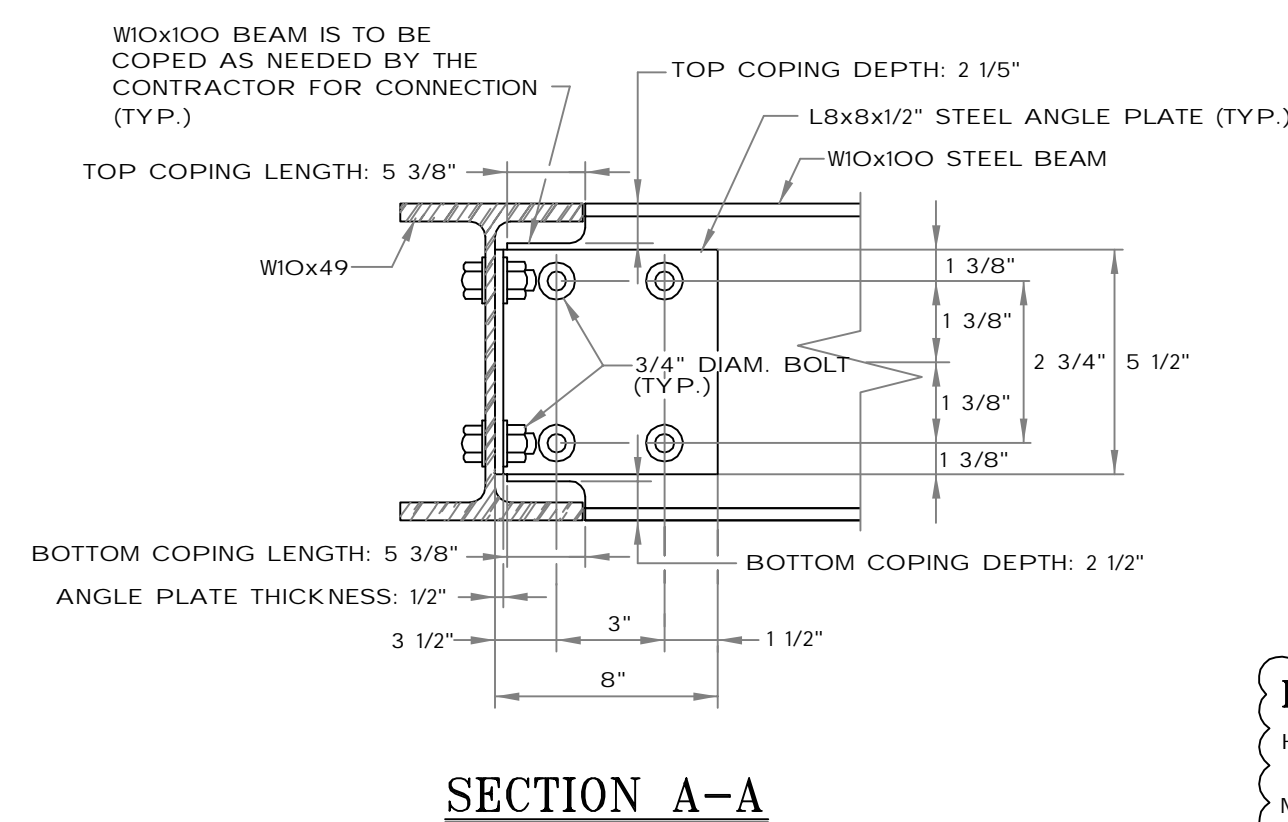
STEEL COLUMN, STEEL BEAM AND EXISTING FOUNDATION REINFORCEMENT DETAIL
NOT TO SCALE



SUPPORT BEAM DETAIL
NOT TO SCALE

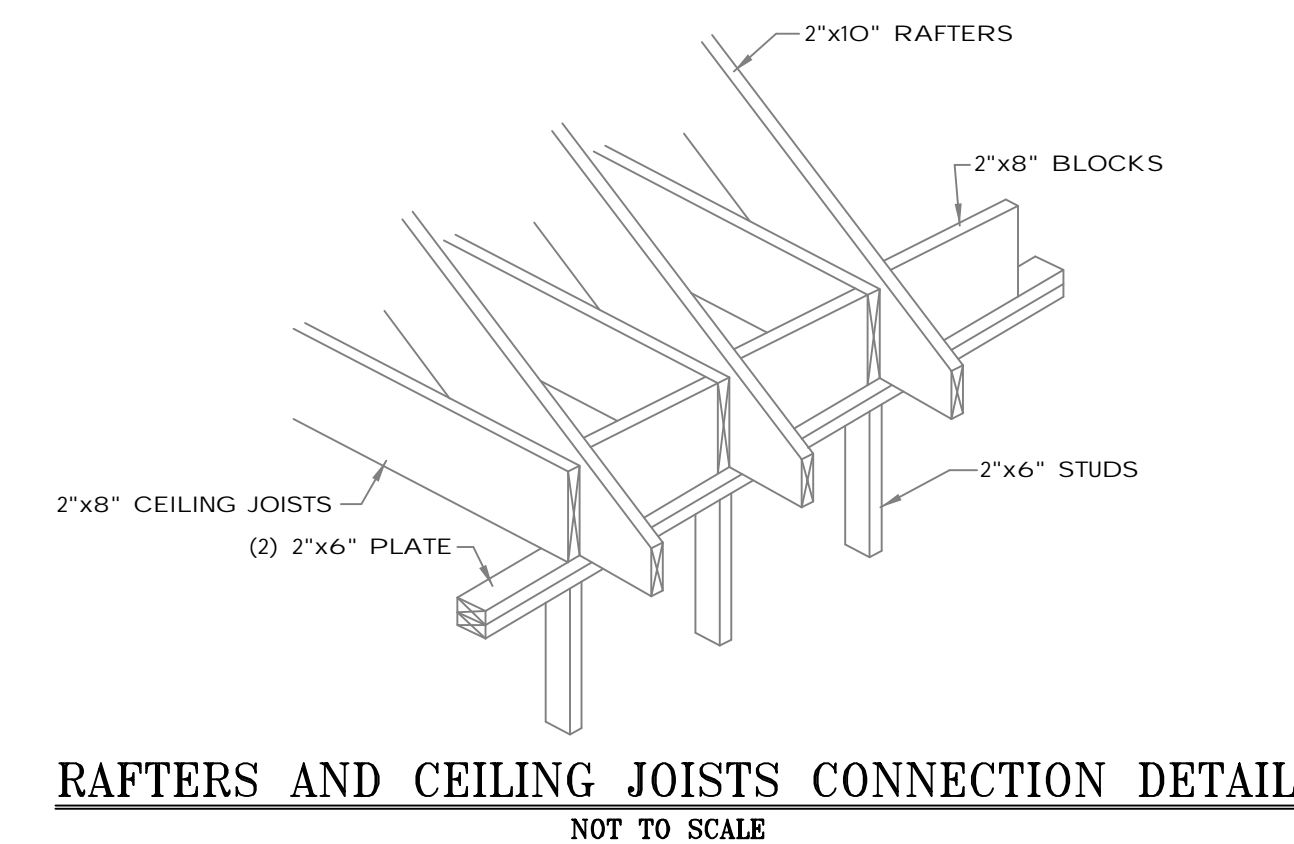
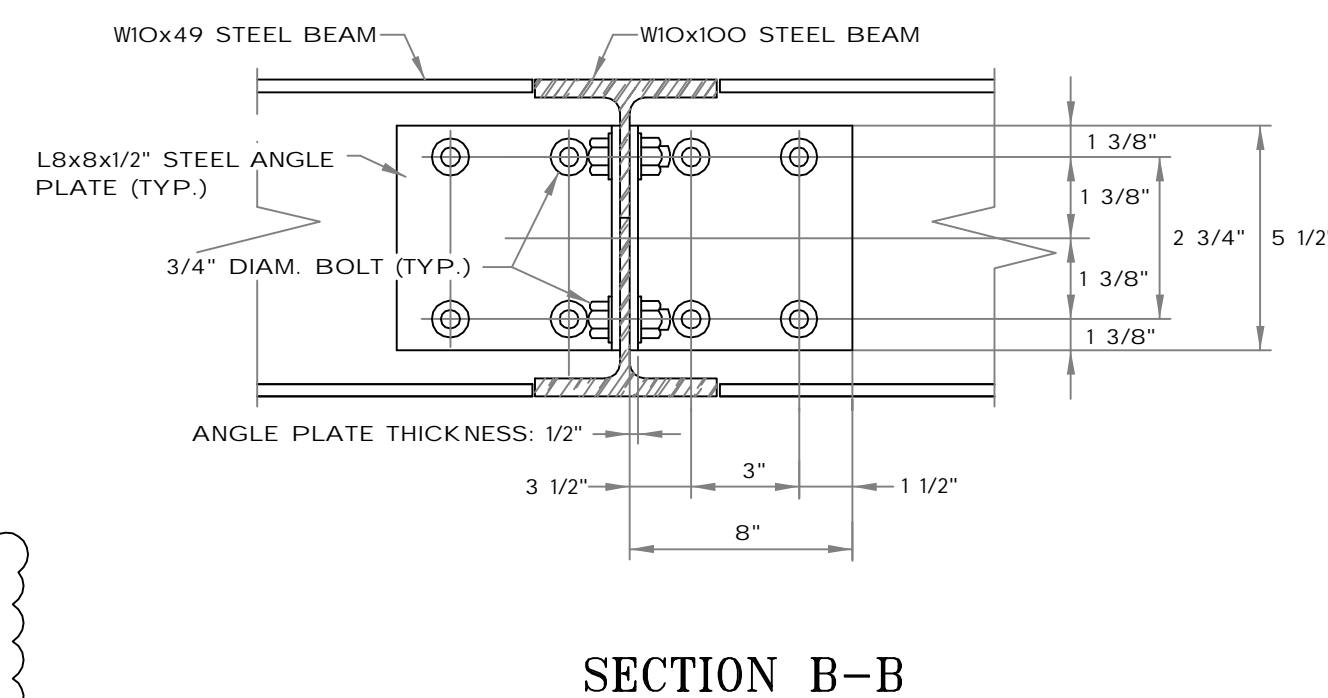


HURRICANE TIES DETAIL
NOT TO SCALE



STEEL BEAM TO STEEL BEAM CONNECTION (TYP.)
NOT TO SCALE

BOLT SPECIFICATIONS
HOLE SIZE: STANDARD @ BEAM AND ANGLE
MATERIAL: A325N
SIZE: 3/4" DIAMETER



RAFTERS AND CEILING JOISTS CONNECTION DETAIL
NOT TO SCALE

OWNER:
KOSTERICH RESIDENCE

PROJECT:
**7 EVERGREEN ROW
ARMONK, NEW YORK**

CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.

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MARK	DATE	REVISION
REVIEW COMMENTS	15-10-23	# 1
NEW CHANGES	12-15-23	# 2

JOB #.	SCALE	DATE
023-31	AS NOTED	9-14-23

DWG. BY:
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SHEET TITLE:
PROPOSED FIRST FLOOR RENOVATION AND PARTIAL 2ND FLOOR ADDITION TO THE EXISTING HOUSE

DRAWING NO.
A-7

SECTION R302 FIRE-RESISTANT CONSTRUCTION

R302.11 FIREBLOCKING

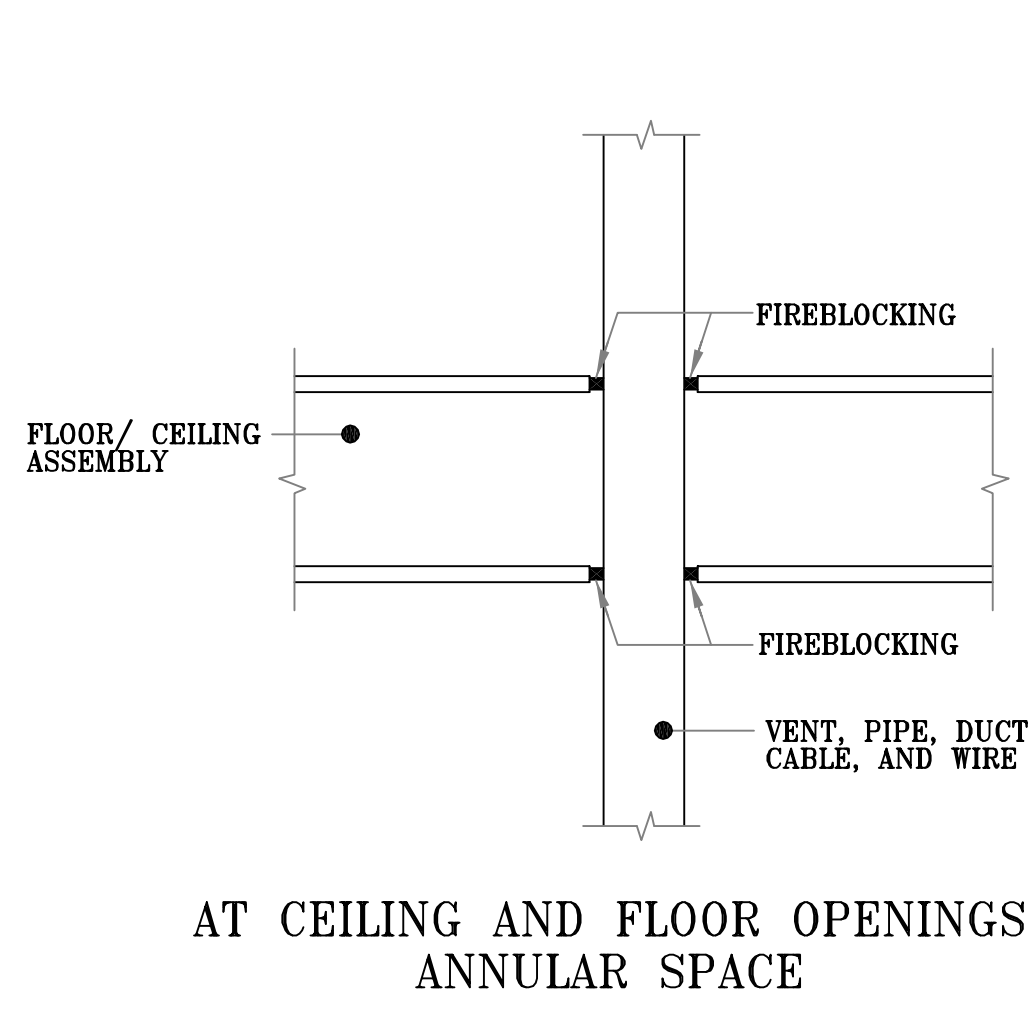
IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).
- AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM

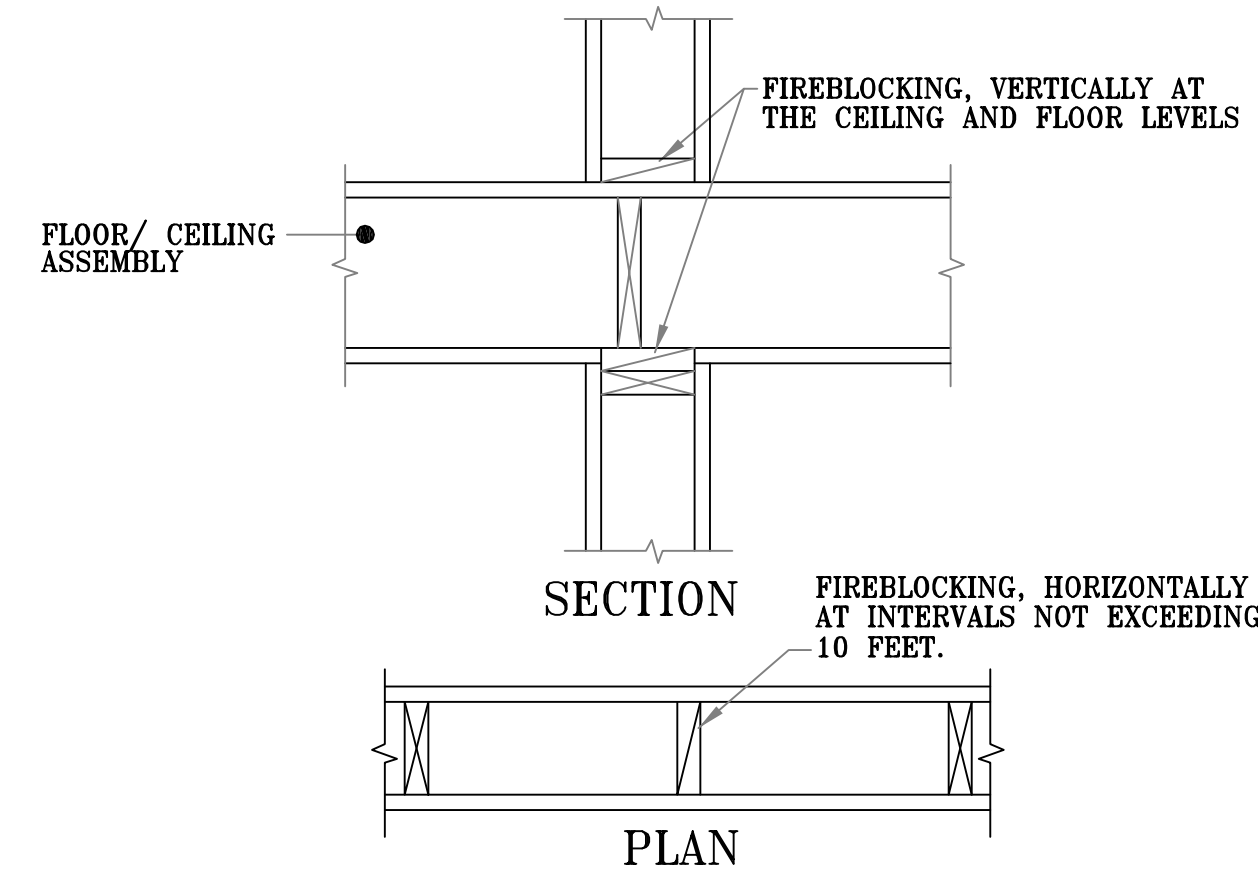
R302.11.1 FIREBLOCKING MATERIALS

EXCEPT AS PROVIDED IN SECTION R302.11, ITEM 4, FIREBLOCKING SHALL CONSIST OF THE FOLLOWING MATERIALS:

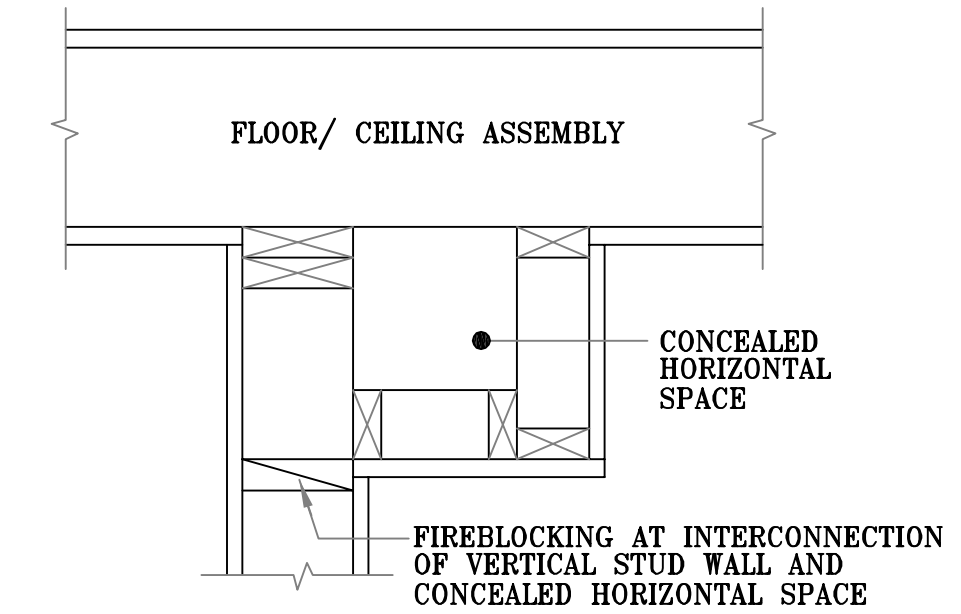
- TWO-INCH NOMINAL LUMBER
- TWO THICKNESSES OF 1-INCH (25.4 MM) NOMINAL LUMBER WITH BROKEN LAP JOINTS.
- ONE THICKNESS OF 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS.
- ONE THICKNESS OF 3/4-INCH (19.1 MM) PARTICLEBOARD WITH JOINTS BACKED BY 3/4-INCH (19.1 MM) PARTICLEBOARD.
- ONE-HALF-INCH (12.7 MM) GYPSUM BOARD.
- ONE-QUARTER-INCH (6.4 MM) CEMENT-BASED MILLBOARD.
- BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
- CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.



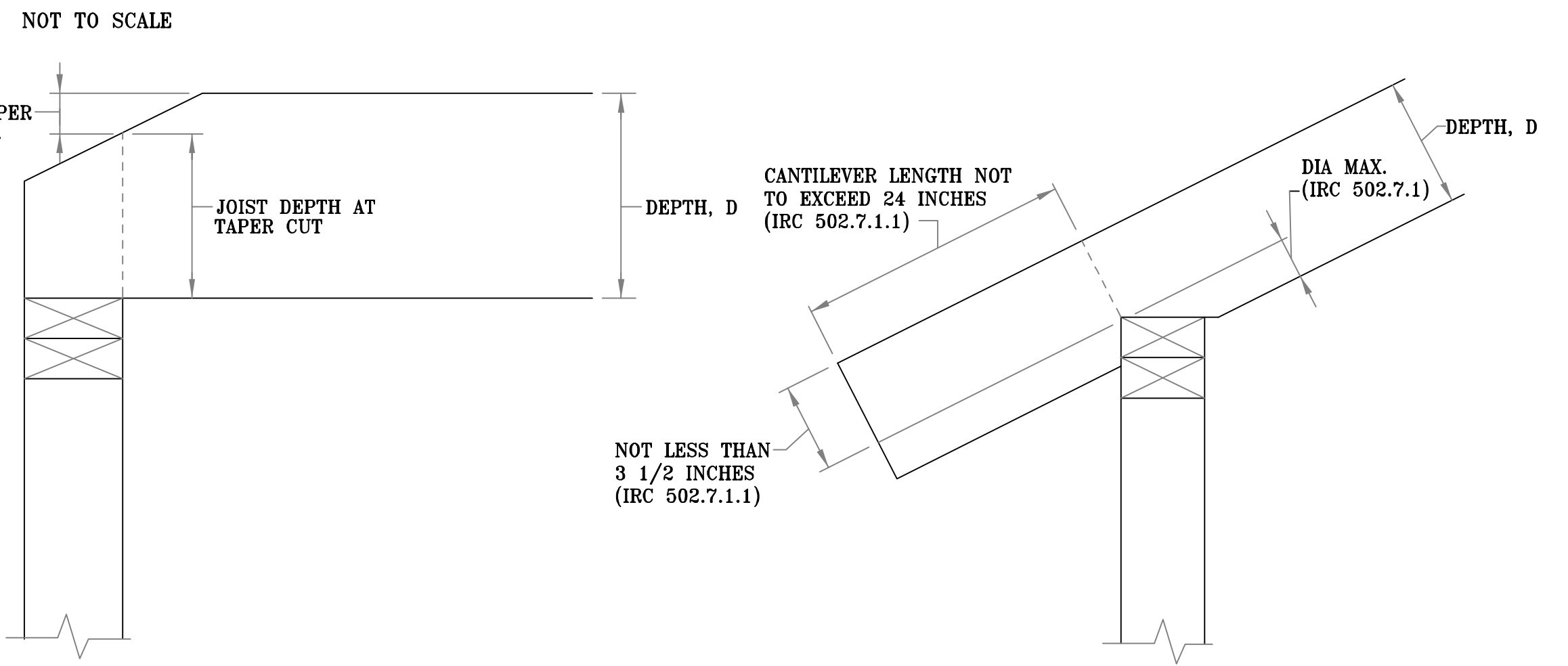
AT CEILING AND FLOOR OPENINGS ANNULAR SPACE



AT CONCEALED WALL SPACES FIRE BLOCKING DETAILS (TYP.)



AT CONNECTION BETWEEN HORIZONTAL AND VERTICAL SPACES



ROOF RAFTER/CEILING CUTTING, DRILLING, AND NOTCHING DETAILS (TYP.)

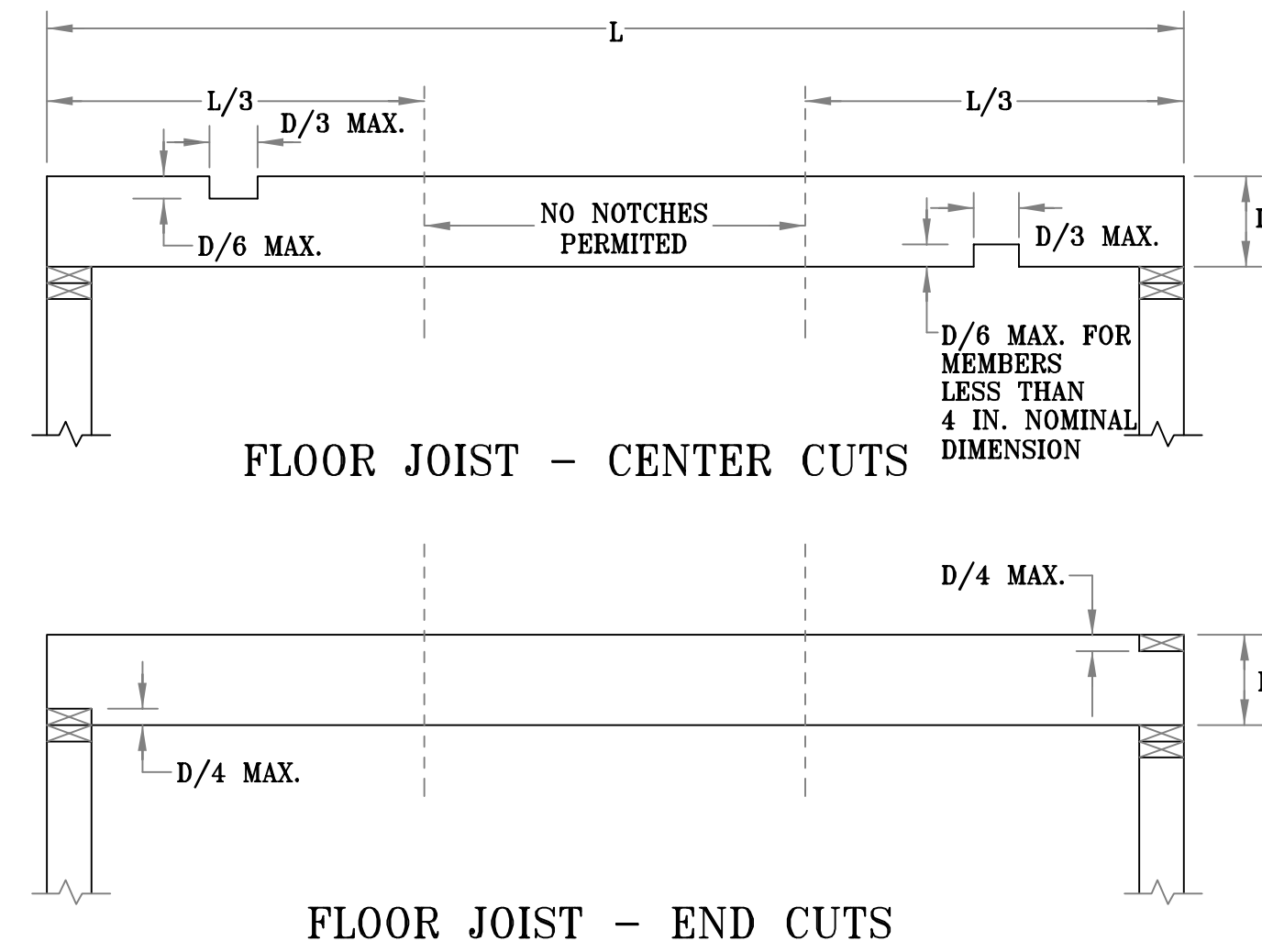
SECTION R502 WOOD FLOOR FRAMING

R502.8 CUTTING, DRILLING, AND NOTCHING

STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN THIS SECTION. SEE FIG. R502.8

R502.8.1 SAWN LUMBER

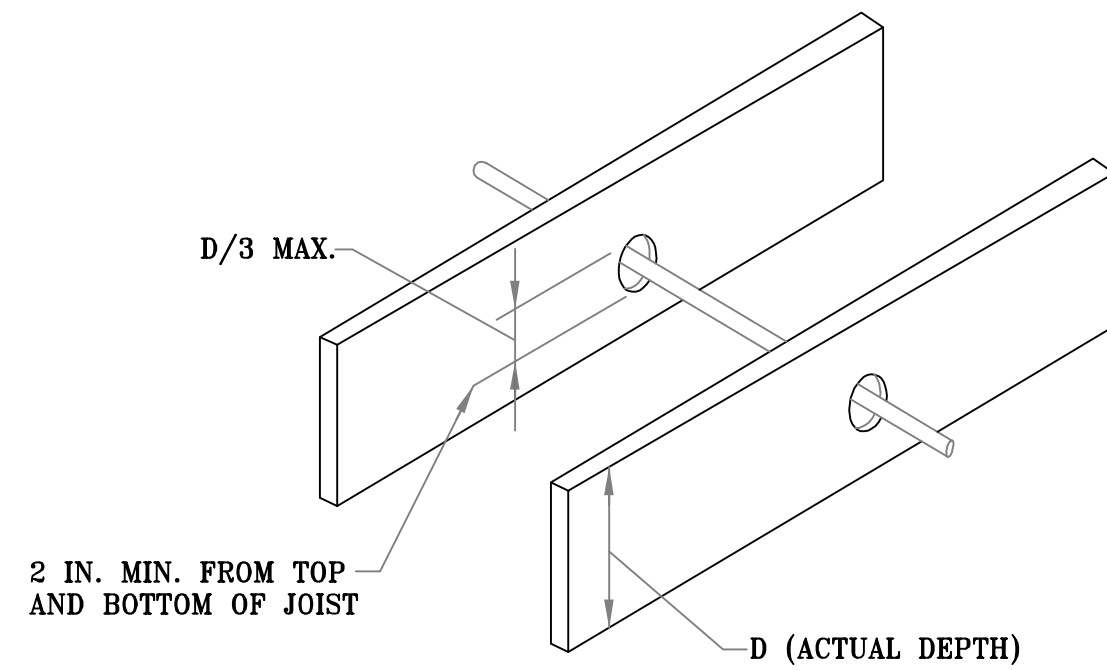
NOTCHES IN SOLID LUMBER JOISTS, RAFTERS, AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER. SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4 INCHES OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIAMETER OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2 INCHES (51 MM) TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE LOCATED IN THE MEMBER. WHERE THE MEMBER IS NOTCHED, THE HOLE SHALL NOT BE CLOSER THAN 2 INCHES (51 MM) TO THE NOTCH.



WOOD FLOOR FRAMING CUTTING, DRILLING, AND NOTCHING DETAILS (TYP.)

R502.8.2 ENGINEERED WOOD PRODUCTS

CUTS, NOTCHES AND HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE-LAMINATED MEMBERS, CROSS-LAMINATED TIMBER MEMBERS OR I-JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS OR WHERE THE EFFECTS OF SUCH ALTERATIONS ARE SPECIFICALLY CONSIDERED IN THE DESIGN OF THE MEMBER BY A REGISTERED DESIGN PROFESSIONAL.



SECTION R602 WOOD WALL FRAMING

R602.6 DRILLING AND NOTCHING OF STUDS

DRILLING AND NOTCHING OF STUDS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

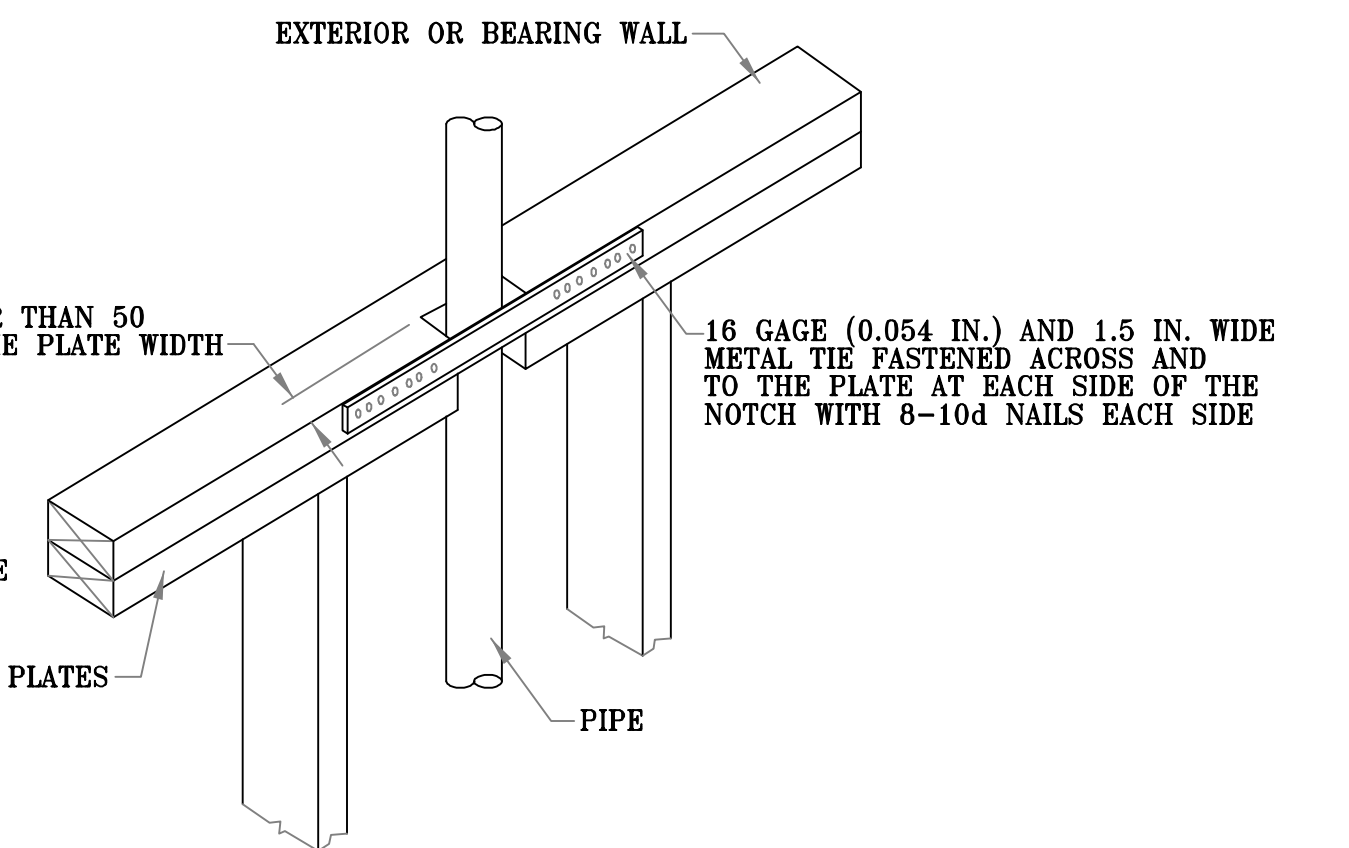
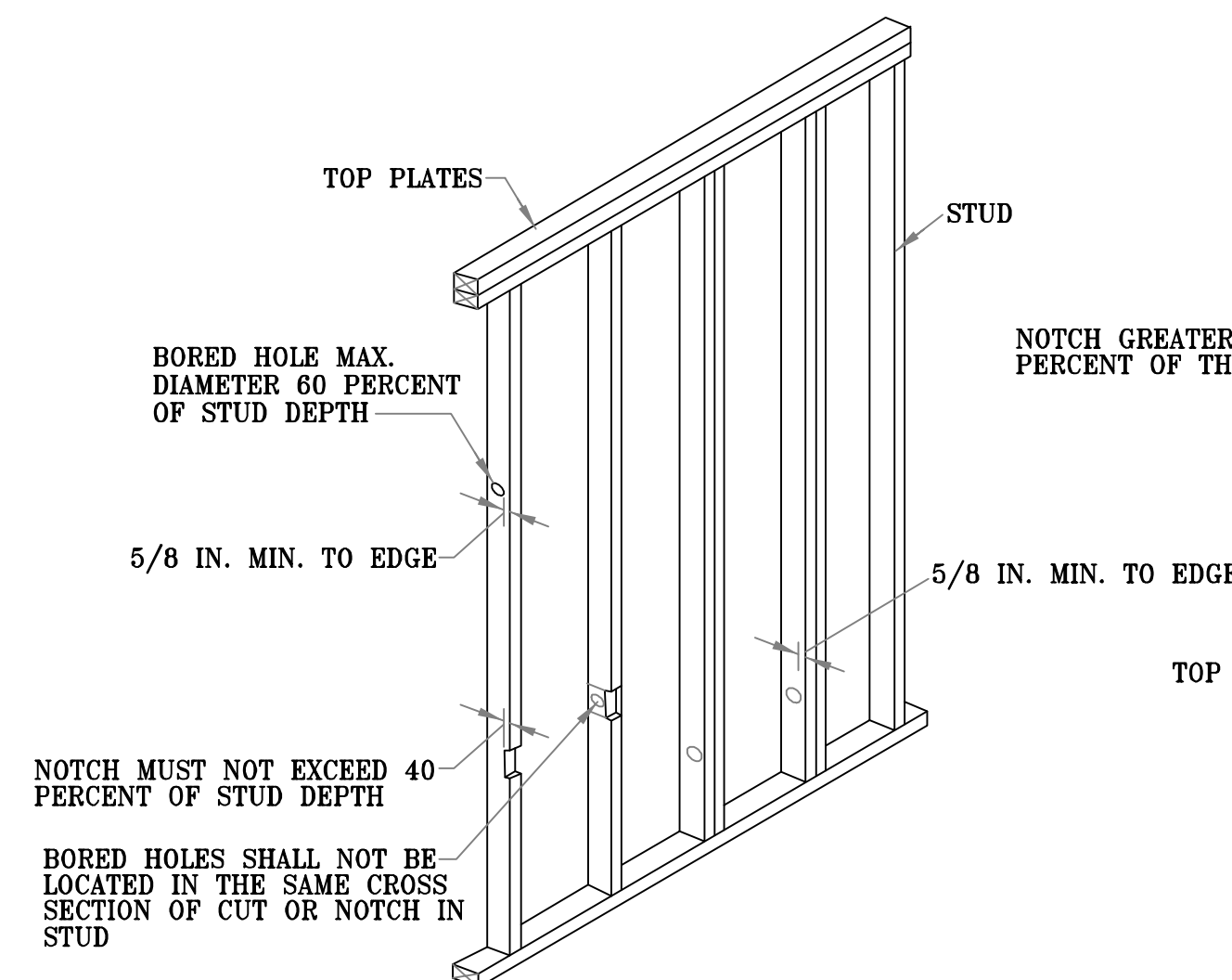
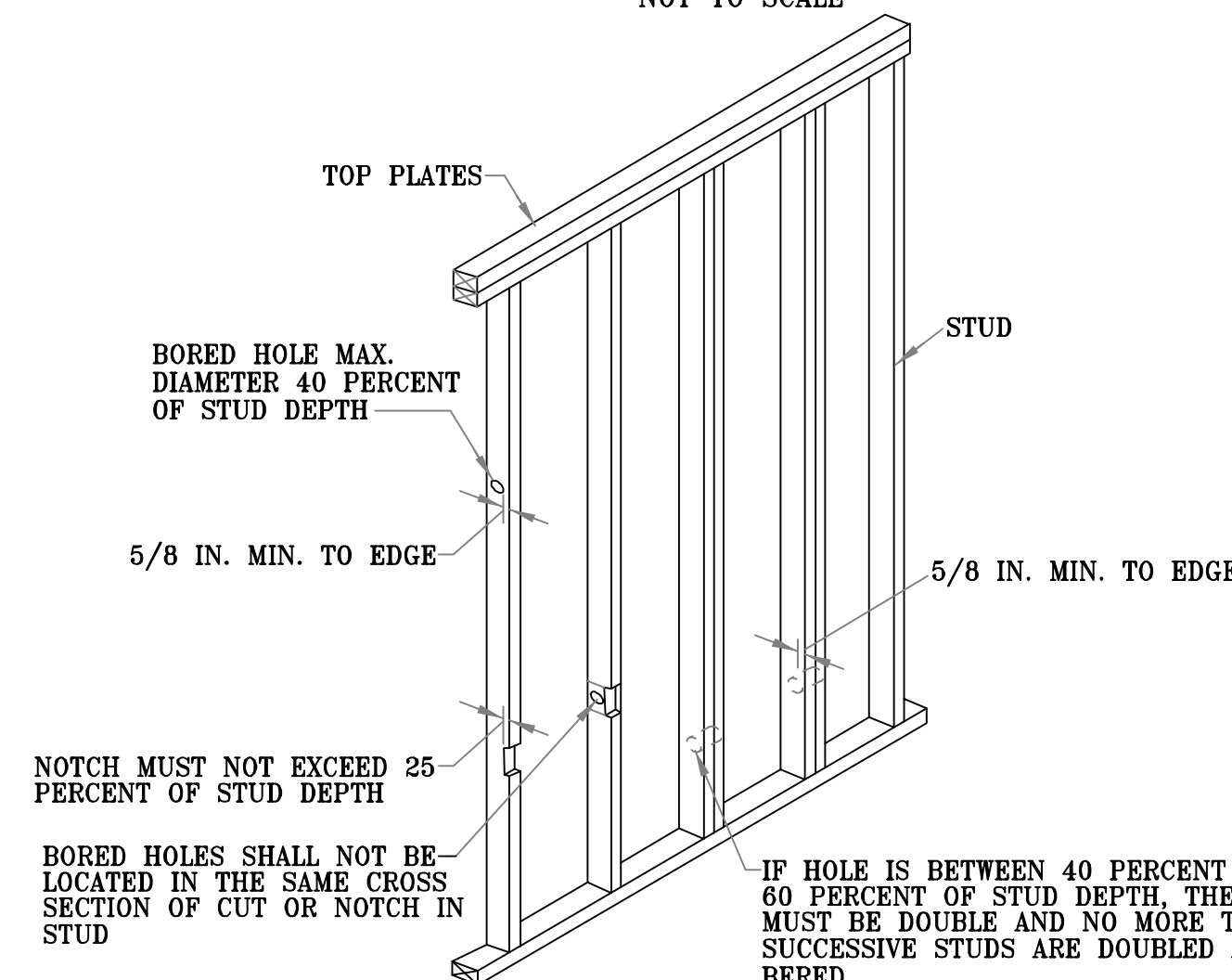
- NOTCHING. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION SHALL BE PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS SHALL BE PERMITTED TO BE NOTCHED TO A DEPTH NOT TO EXCEED 40 PERCENT
- DRILLING. ANY STUD SHALL BE PERMITTED TO BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NOT MORE THAN 60 PERCENT OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NOT LESS THAN 5/8 INCH (16 MM) TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS DRILLED OVER 40 PERCENT AND UP TO 60 PERCENT SHALL BE DOUBLED WITH NOT MORE THAN TWO SUCCESSIVE DOUBLED STUDS BORED. SEE FIGURES R602.6(1) AND R602.6(2).

EXCEPTIONS: USE OF APPROVED STUD SHOES IS PERMITTED WHERE THEY ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

R602.6.1 DRILLING AND NOTCHING OF TOP PLATE

WHERE PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING OR NOTCHING OF THE TOP PLATE BY MORE THAN 50 PERCENT OF ITS WIDTH, A GALVANIZED METAL TIE NOT LESS THAN 0.054 INCH THICK (1.37 MM) (16 GA) AND 1 1/2 INCHES (38 MM) WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN EIGHT 10D (0.148 INCH DIAMETER) NAILS HAVING A MINIMUM LENGTH OF 1 1/2 INCHES (38 MM) AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND NOT LESS THAN 6 INCHES PAST THE OPENING. SEE FIGURE R602.6.1.

EXCEPTIONS: WHERE THE ENTIRE SIDE OF THE WALL WITH THE NOTCH OR CUT IS COVERED BY WOOD STRUCTURAL PANEL SHEATHING.



WOOD WALL FRAMING DRILLING AND NOTCHING DETAILS (TYP.)

OWNER:

KOSTERICH RESIDENCE

PROJECT:

**7 EVERGREEN ROW
ARMONK, NEW YORK**

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DWG. BY:

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**FERNANDO C. PENA
NYS LIC. 068939**

CONTACT INFORMATION:

213 Route 100 Katonah, N.Y. 10536
Tel. 914-232-0517

SHEET TITLE:

PROPOSED FIRST FLOOR RENOVATION AND PARTIAL 2ND FLOOR ADDITION TO THE EXISTING HOUSE

DRAWING NO.

A-8

**2020 FIRE CODE OF NEW YORK STATE
SECTION 915 CARBON MONOXIDE DETECTION**

915.3 DETECTION LOCATIONS

CARBON MONOXIDE DETECTION SHALL BE INSTALLED IN THE LOCATIONS SPECIFIED IN SECTIONS 915.3 THROUGH 915.3.3 PLUS ANY ADDITIONAL LOCATIONS AS REQUIRED BY THE MANUFACTURER OF THE CARBON MONOXIDE DETECTION DEVICE. ALL CARBON MONOXIDE DETECTORS SHALL BE INSTALLED

EXCEPTION: WHERE SECTIONS 915.3 THROUGH 915.3.3 REQUIRE A ROOM OR AREA TO BE PROTECTED BY MULTIPLE CARBON MONOXIDE DETECTORS, ONE CARBON MONOXIDE DETECTOR MAY BE PROVIDED IN AN APPROVED LOCATION THAT SATISFIES ALL APPLICABLE REQUIREMENTS OF SECTIONS 915.3 THROUGH 915.3.3 OR OTHERWISE PROVIDES THE ROOM OR AREA WITH ADEQUATE PROTECTION. THE LEVEL OF PROTECTION IN ADJACENT ROOMS SHALL NOT BE REDUCED BY THE ELIMINATION OF AN OTHERWISE REQUIRED DETECTOR.

915.4.1 CARBON MONOXIDE ALARMS

CARBON MONOXIDE ALARMS SHALL ONLY BE INSTALLED IN DWELLING UNITS, SLEEPING AREAS, AND SLEEPING UNITS AND SHALL NOT BE INSTALLED IN LOCATIONS WHERE THE CODE REQUIRES CARBON MONOXIDE DETECTORS TO BE USED. CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTIONS 915.4.1 THROUGH 915.5.4. EXCEPTIONS: CARBON MONOXIDE ALARMS SHALL BE ALLOWED IN BUILDINGS AND SPACES OTHER THAN DWELLING UNITS, SLEEPING AREAS, AND SLEEPING UNITS IN ACCORDANCE WITH THE EXCEPTION TO SECTION 915.4.1.1.

915.4.1.1 POWER SOURCE

CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THAT REQUIRED FOR OVERCURRENT PROTECTION

EXCEPTION:
1. CARBON MONOXIDE ALARMS POWERED BY A 10-YEAR BATTERY SHALL BE AN ACCEPTABLE ALTERNATIVE IN RESIDENTIAL BUILDINGS AND COMMERCIAL BUILDINGS WITHOUT COMMERCIAL POWER.

915.4.1.3 COMBINATION ALARMS

A COMBINATION CARBON MONOXIDE/SMOKE ALARM SHALL BE AN ACCEPTABLE ALTERNATIVE TO A CARBON MONOXIDE ALARM, PROVIDED THAT:

1. THE COMBINATION ALARM IS INSTALLED IN A LOCATION AND IN A MANNER THAT SATISFIES THE UNIFORM CODE REQUIREMENTS FOR BOTH CARBON MONOXIDE ALARMS AND SMOKE ALARMS, OR
2. THE ROOM(S), AREA(S), OR SPACE(S) THAT THE COMBINATION ALARM SERVES ARE ALSO SERVED BY A CODE COMPLIANT SMOKE ALARM OR FIRE ALARM SYSTEM IN THE INSTANCES THAT A SMOKE ALARM OR FIRE ALARM SYSTEM IS REQUIRED BY THE UNIFORM CODE.

SECTION AJ601 ALTERATIONS- LEVEL 2

AJ601.8.1 SMOKE ALARMS

WHEN INTERIOR ALTERATIONS OCCUR, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE PROVIDED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS; THE SMOKE ALARMS SHALL BE INTERCONNECTED IN ACCORDANCE WITH SECTION 314.4

AJ601.8.1.1 POWER SOURCE

SMOKE ALARMS SHALL BE PERMITTED TO BE BATTERY OPERATED WHEN INSTALLED IN BUILDINGS WITHOUT COMMERCIAL POWER OR AN ON-SITE ELECTRICAL POWER SYSTEM, OR IN BUILDINGS WHERE EXISTING INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE.

AJ601.8.1.2 INTERCONNECTION

SMOKE ALARMS SHALL NOT BE REQUIRED TO BE INTERCONNECTED WHERE BATTERY OPERATED ALARMS ARE PERMITTED.

AJ601.8.2 CARBON MONOXIDE ALARMS

WHERE A LEVEL 2 ALTERATION IS MADE TO AN EXISTING DWELLING UNIT, THE DWELLING UNIT SHALL BE PROVIDED WITH CARBON MONOXIDE ALARMS THAT COMPLY WITH THE REQUIREMENTS FOR NEW CONSTRUCTION. EXCEPTIONS:

1. ALTERATIONS INVOLVING THE EXTERIOR SURFACES OF BUILDINGS, SUCH AS THE REPLACEMENT OF ROOFING OR SIDING, OR THE ADDITION OR REPLACEMENT OF WINDOWS OR DOORS.
2. INSTALLATION OF, OR ALTERATION TO, PLUMBING OR MECHANICAL SYSTEMS, OTHER THAN FUEL-BURNING APPLIANCES.

AJ601.8.2.2 POWER SUPPLY AND INTERCONNECTION

CARBON MONOXIDE ALARMS POWERED BY A 10-YEAR BATTERY SHALL BE ALLOWED AND INTERCONNECTION OF ALARMS SHALL NOT BE REQUIRED IN:

1. WORK AREAS WHERE THE ALTERATION DOES NOT RESULT IN THE REMOVAL OR EXPOSURE OF INTERIOR WALL OR CEILING FINISHES THAT REVEAL THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE, BASEMENT, OR SIMILAR SPACE AVAILABLE THAT COULD PROVIDE ACCESS FOR POWER
2. EXISTING PORTIONS OF A DWELLING UNIT THAT ARE PROVIDED WITH ADDITIONAL CARBON MONOXIDE ALARMS AS REQUIRED BY AJ601.8.2.1. AND DWELLING UNITS WITHOUT COMMERCIAL POWER.

**SECTION M1503 DOMESTIC COOKING
EXHAUST EQUIPMENT**

M1503.1 GENERAL

DOMESTIC COOKING EXHAUST EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION.

M1503.2 DOMESTIC COOKING EXHAUST

WHERE DOMESTIC COOKING EXHAUST EQUIPMENT IS PROVIDED, IT SHALL COMPLY WITH ONE OF THE FOLLOWING:

1. THE FAN FOR OVERHEAD RANGE HOODS AND DOWNDRAFT EXHAUST EQUIPMENT NOT INTEGRAL WITH THE COOKING APPLIANCE SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 507
2. OVERHEAD RANGE HOODS AND DOWNDRAFT EXHAUST EQUIPMENT WITH INTEGRAL FANS SHALL COMPLY WITH UL 507
3. DOMESTIC COOKING APPLIANCES WITH INTEGRAL DOWNDRAFT EXHAUST EQUIPMENT SHALL BE LISTED AND LABELED IN ACCORDANCE WITH ANSI Z21.1 OR UL 858
4. MICROWAVE OVENS WITH INTEGRAL EXHAUST FOR INSTALLATION OVER THE COOKING SURFACE SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 923

M1503.3 EXHAUST DISCHARGE

DOMESTIC COOKING EXHAUST EQUIPMENT SHALL DISCHARGE TO THE OUTDOORS THROUGH A DUCT THE DUCT SHALL HAVE A SMOOTH INTERIOR SURFACE, SHALL BE AIRTIGHT, SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS. DUCTS SERVING DOMESTIC COOKING EXHAUST EQUIPMENT SHALL NOT TERMINATE IN AN ATTIC OR CRAWL SPACE OR AREAS INSIDE THE BUILDING

EXCEPTION: WHERE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, AND WHERE MECHANICAL OR NATURAL VENTILATION IS OTHERWISE PROVIDED, LISTED AND LABELED DUCTLESS RANGE HOODS SHALL NOT BE REQUIRED TO DISCHARGE TO THE OUTDOORS

M1503.4 DUCT MATERIAL

DUCTS SERVING DOMESTIC COOKING EXHAUST EQUIPMENT SHALL BE CONSTRUCTED OF GALVANIZED STEEL, STAINLESS STEEL OR COPPER

M1503.5 EXHAUST KITCHEN RATES

WHERE DOMESTIC KITCHEN COOKING APPLIANCES ARE EQUIPPED WITH DUCTED RANGE HOODS OR DOWN-DRAFT EXHAUST SYSTEMS, THE FANS SHALL BE SIZED IN ACCORDANCE WITH SECTION M1505.4

BLOWER OUTPUT IS LESS THAN 400 CFM; MAKEUP
AIR SYSTEM NOT REQUIRED

SECTION M1502 CLOTHES DRYER EXHAUST

M1502.3 DUCT TERMINATION

EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING. EXHAUST DUCT TERMINATIONS SHALL BE IN ACCORDANCE WITH THE DRYER MANUFACTURER'S INSTALLATION INSTRUCTIONS. IF THE MANUFACTURER'S INSTRUCTIONS DO NOT SPECIFY A TERMINATION LOCATION, THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 3 FT IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. EXHAUST DUCT TERMINATIONS SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION

M1502.4.1 MATERIAL AND SIZE

EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND SHALL BE CONSTRUCTED OF METAL NOT LESS THAN .0157 INCH IN THICKNESS (NO. 28 GAGE). THE DUCT SHALL BE 4 INCHES IN NOMINAL DIAMETER

**SECTION M1504 EXHAUST DUCTS
AND EXHAUST OPENINGS**

M1504.3 EXHAUST OPENINGS

AIR EXHAUST OPENINGS SHALL TERMINATE AS FOLLOWS:

1. NOT LESS THAN 3 FEET FROM PROPERTY LINES
2. NOT LESS THAN 3 FEET FROM GRAVITY AIR INTAKE OPENINGS, OPERABLE WINDOWS AND DOORS
3. NOT LESS THAN 10 FEET FROM MECHANICAL AIR INTAKE OPENINGS EXCEPT WHERE THE EXHAUST OPENING IS LOCATED NOT LESS THAN 3 FEET ABOVE THE AIR INTAKE OPENING. OPENINGS SHALL COMPLY WITH SECTIONS R303.5.2 AND R303.6

SECTION R314 SMOKE ALARMS

INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS.

R314.3 LOCATION

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

1. IN EACH SLEEPING ROOM
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE REQUIRED BY THIS SECTION.

R314.3.1 INSTALLATION NEAR COOKING APPLIANCES

SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING LOCATIONS UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN A LOCATION REQUIRED BY SECTION R314.3

1. IONAZTION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
2. IONAZTION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
3. PHOTOELECTRIC SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 6 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

R314.4 INTERCONNECTION

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE TO R314.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM. EXCEPTION: SMOKE ALARMS AND ALARMS INSTALLED TO SATISFY SECTION R314.4.1 SHALL NOT BE REQUIRED TO BE INTERCONNECTED TO EXISTING SMOKE ALARMS WHERE SUCH EXISTING SMOKE ALARM OR ALARM IS NOT CAPABLE OF BEING INTERCONNECTED TO THE EXISTING SMOKE ALARMS

R314.5 COMBINATION ALARMS

COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE ALARMS.

R314.6 POWER SOURCE

SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND, WHERE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.

EXCEPTIONS:

1. SMOKE ALARMS SHALL BE PERMITTED TO BE BATTERY OPERATED WHERE INSTALLED IN BUILDINGS WITHOUT COMMERCIAL POWER.
2. SMOKE ALARMS INSTALLED IN ACCORDANCE WITH SECTION R314.2.2 SHALL BE PERMITTED TO BE BATTERY POWERED.

SECTION AJ801 ADDITIONS

AJ801.3.1 SMOKE ALARMS

WHEN ADDITIONS REQUIRING A PERMIT OCCUR, THE INDIVIDUAL DWELLING UNIT SHALL BE PROVIDED WITH SMOKE ALARMS SHALL BE INTERCONNECTED IN ACCORDANCE WITH SECTION R314.4.

AJ801.3.1.1 POWER SOURCE

SMOKE ALARMS SHALL BE PERMITTED TO BE BATTERY OPERATED WHEN INSTALLED IN BUILDINGS WITHOUT COMMERCIAL POWER OR AN ON-SITE ELECTRICAL POWER SYSTEM, OR IN EXISTING AREAS OF BUILDINGS WHERE EXISTING INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE

AJ801.3.1.2 INTERCONNECTION

SMOKE ALARMS SHALL NOT BE REQUIRED TO BE INTERCONNECTED WHERE BATTERY OPERATED ALARMS ARE PERMITTED.

OWNER:

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PROJECT:

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JOB #.	SCALE:	DATE:
023-31	AS NOTED	9-14-23

DWG. BY:

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DESIGN BY:

**FERNANDO C. PENA
NYS LIC. 068939**

CONTACT INFORMATION:

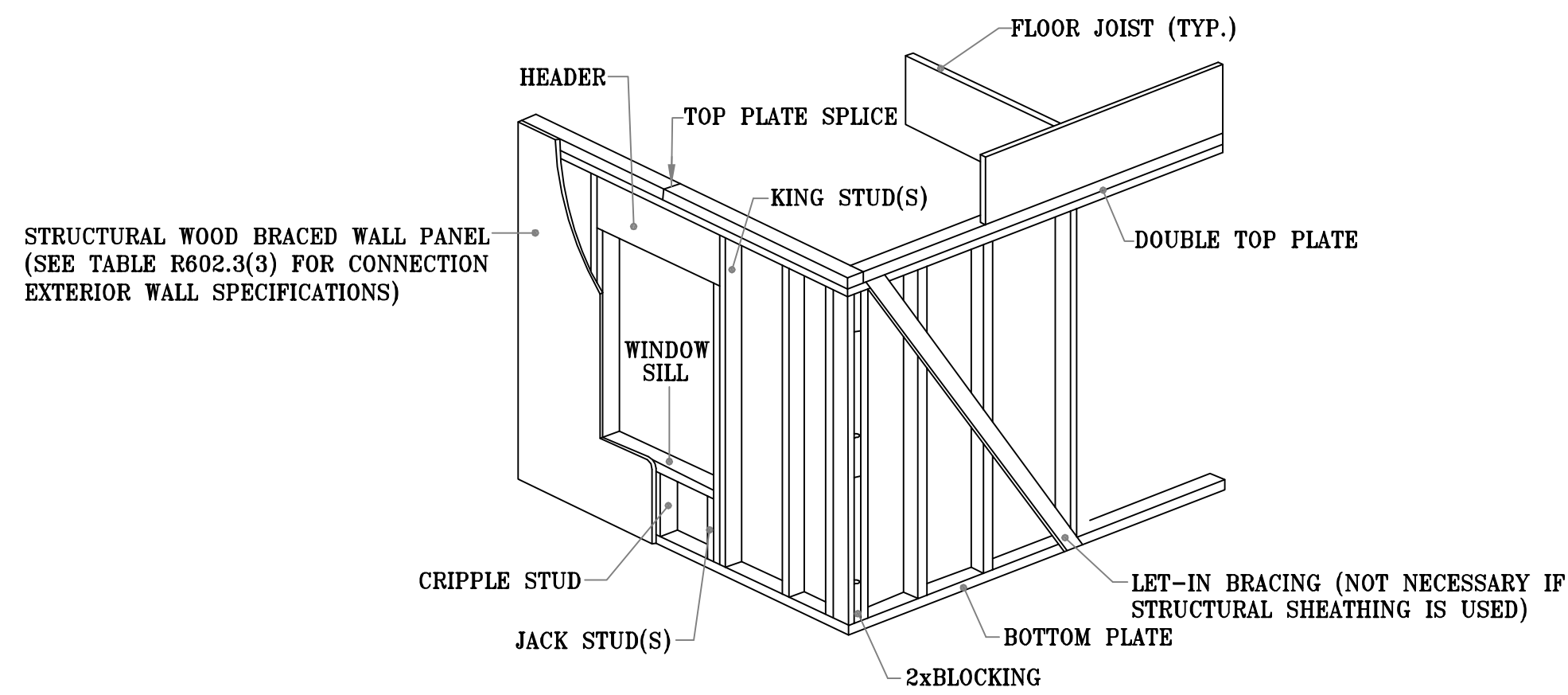
213 Route 100 Katonah, N.Y. 10536
Tel. 914-232-0517

SHEET TITLE:

**PROPOSED FIRST
FLOOR RENOVATION
AND PARTIAL 2ND
FLOOR ADDITION TO
THE EXISTING HOUSE**

DRAWING NO.

A-9



SECTION R604 WOOD STRUCTURAL PANEL

R604.1 IDENTIFICATION AND GRADE

WOOD STRUCTURAL PANELS SHALL CONFORM TO DOC PS 1, DOC PS 2 OR ANSI/AFPA PRP 210, CSA 0325 OR CSA 0437. PANELS SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY.

R604.2 ALLOWABLE SPANS

THE MAXIMUM ALLOWABLE SPANS FOR WOOD STRUCTURAL PANEL WALL SHEATHING SHALL NOT EXCEED THE VALUES SET FORTH IN TABLE R602.3(3).

R604.3 INSTALLATION

WOOD STRUCTURAL PANEL WALL SHEATHING SHALL BE ATTACHED TO FRAMING IN ACCORDANCE WITH TABLE R602.3(1) OR R602.3(3).

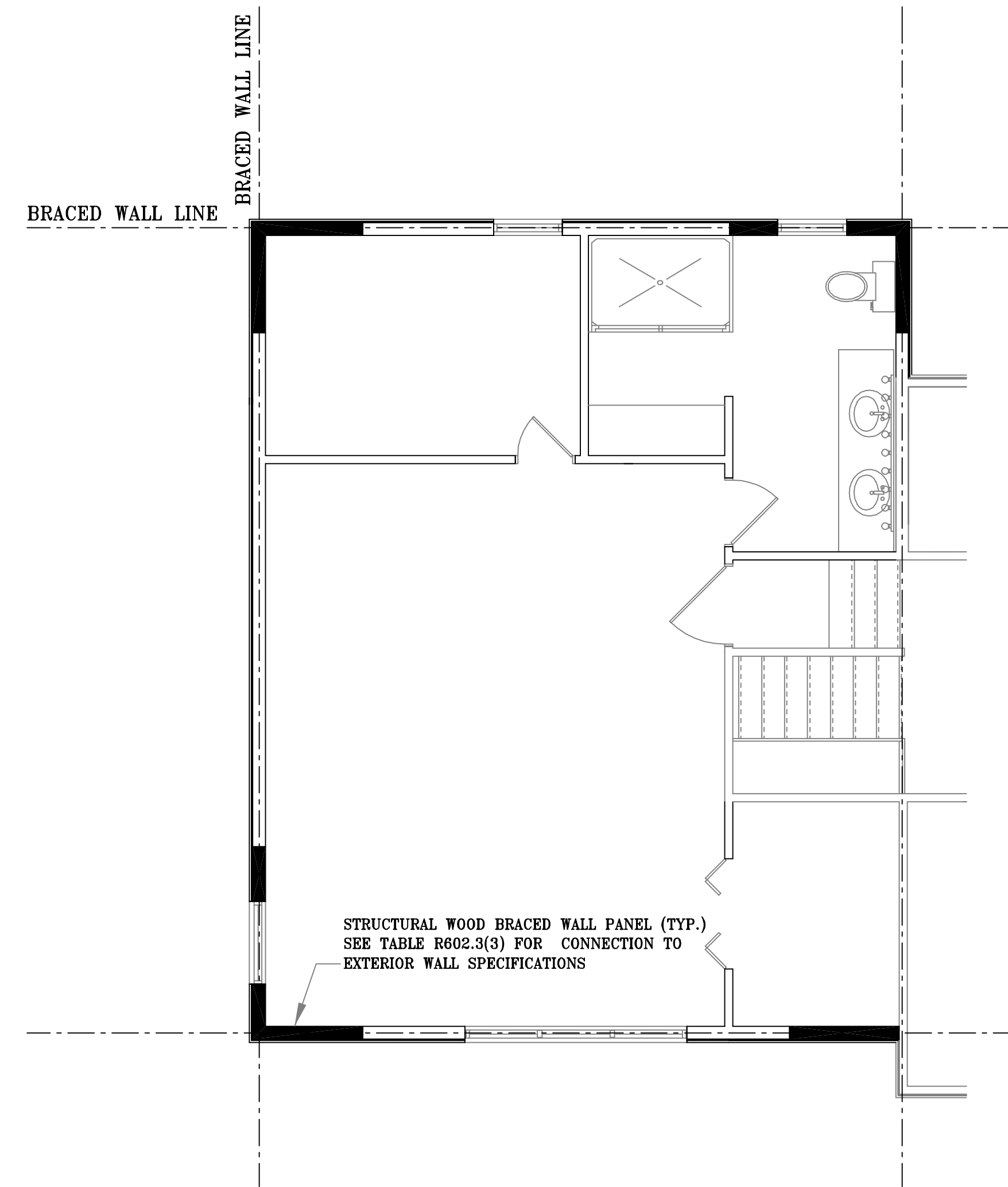
BRACED WALL REQUIREMENTS PER R602.10 FOR WSP

		REQUIRED	ACTUAL	COMPLIANCE
R602.10.1.3	MAXIMUM BRACED WALL LINE SPACING	60 FEET	30 FEET	PASS
R602.10.3(1)	BRACING REQUIREMENTS BASED ON WIND SPEED (<120 MPH)			
	# FEET OF BRACED WALL @ 2ND FLOOR (NEW)	6 FEET	8 FEET	PASS
R602.10.5	MINIMUM LENGTH OF BRACED WALL PANELS	4 FEET	4 FEET	PASS

SEE TABLE R602.3(3) FOR WALL PANEL CONNECTION TO FRAMING SPECIFICATIONS

TABLE R602.3(3)
REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING
USED TO RESIST WIND PRESSURES a,b,c.

MINIMUM NAIL		MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (INCHES)	MAXIMUM WALL STUD SPACING (INCHES)	PANEL NAIL SPACING		ULTIMATED DESIGN WIND SPEER Vult (mph)		
SIZE	PENETRATION (inches)				EDGE (inches o.c.)	FIELD (inches o.c.)	WIND EXPOSURE CATEGORY		
							B	C	D
6d COMMON (2.0"x0.113")	1.5	24/0	3/8	16	6	12	140	115	110
6d COMMON (2.5"x0.131")	1.75	24/16	7/16	16	6	12	170	140	135
				24	6	12	140	115	110



BRACED WALL PLAN

SCALE: 1/4" = 1'-0"

SECTION R602 WOOD WALL FRAMING

R602.10 WALL BRACING

BUILDINGS SHALL BE BRACED IN ACCORDANCE WITH THIS SECTION OR, WHEN APPLICABLE, SECTION R602.12. WHERE A BUILDING, OR PORTION THEREOF, DOES NOT COMPLY WITH ONE OR MORE OF THE BRACING REQUIREMENTS IN THIS SECTION THOSE PORTIONS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH SECTION R301.1.

R602.10.2 BRACED WALL PANELS

BRACED WALL PANELS SHALL BE FULL-HEIGHT SECTIONS OF WALL THAT SHALL NOT HAVE VERTICAL OR HORIZONTAL OFFSETS. BRACED WALL PANELS SHALL BE CONSTRUCTED AND PLACED ALONG A BRACED WALL LINE IN ACCORDANCE WITH THIS SECTION AND THE BRACING METHODS SPECIFIED IN SECTION R602.10.4.

R602.10.2.2 LOCATION OF BRACED WALL PANELS

A BRACED WALL PANEL SHALL BEGIN WITHIN 10 FEET (3010 MM) FROM EACH END OF A BRACED WALL LINE AS DETERMINED IN SECTION R602.10.1.1. THE DISTANCE BETWEEN ADJACENT EDGES OF BRACED WALL PANELS ALONG A BRACED WALL LINE SHALL BE NOT GREATER THAN 20 FEET (6096 MM) AS SHOWN IN FIGURE R602.10.2.2.

R602.10.2.3 MINIMUM NUMBER OF BRACED WALL PANELS

BRACED WALL LINES WITH A LENGTH OF 16 FEET (4877 MM) OR LESS SHALL HAVE NOT LESS THAN TWO BRACED WALL PANELS OF ANY LENGTH OR ONE BRACED WALL PANEL EQUAL TO 48 INCHES (1219 MM) OR MORE. BRACED WALL LINES GREATER THAN 16 FEET (4877 MM) SHALL HAVE NOT LESS THAN TWO BRACED WALL PANELS.

R602.10.3 REQUIRED LENGTH OF BRACING

THE REQUIRED LENGTH OF BRACING ALONG EACH BRACED WALL LINE SHALL BE DETERMINED AS FOLLOWS:

1. ALL BUILDINGS IN SEISMIC DESIGN CATEGORIES A AND B SHALL USE TABLE R602.10.3(1) AND THE APPLICABLE ADJUSTMENT FACTORS IN TABLE R602.10.3(2).

ONLY BRACED WALL PANELS PARALLEL TO THE BRACED WALL LINE SHALL CONTRIBUTE TOWARD THE REQUIRED LENGTH OF BRACING OF THAT BRACED WALL LINE.

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SHEET TITLE:

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DRAWING NO.

A-10

TABLE N1102.4.1.1 (R402.4.1.1)
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING OR SOFFIT SHALL BE ALIGNED WITH INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED THE JUNCTION OF THE TOP PLATE AND THE TOP PLATE OF EXTERIOR WALLS SHALL BE SEALED KNEE WALLS SHALL BE SEALED	CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF NOT LESS THAN R-3 PER INCH EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND IN CONTINUOUS ALIGNMENT WITH THE AIR BARRIER
WINDOWS/SKYLIGHTS/DOORS	THE SPACE BETWEEN FRAMING AND SKYLIGHTS AND THE JAMBS OF WINDOWS AND DOORS, SHALL BE SEALED	
RIM JOISTS	RIM JOISTS SHALL INCLUDE AIR BARRIER	RIM JOISTS SHALL BE INSULATED
FLOORS INCLUDING CANTILEVERED FLOORS	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING
SHAFT PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED	
NARROW CAVITIES		BATTS TO BE INSTALLED IN NARROW CAVITIES SHALL BE CUT TO FIT OR NARROW CAVITIES SHALL BE FILLED WITH INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE FINISHED SURFACE	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIRTIGHT AND IC RATED
PLUMBING AND WIRING		IN EXTERIOR WALLS, BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING OR INSULATION THAT ON INSTALLATION, READILY CONFORMS TO AVAILABLE SPACE, SHALL EXTEND BEHIND PIPING AND WIRING
SHOWER/TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THE WALL FROM THE SHOWER OR TUB	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED

SECTION N1102 (R402) BUILDING THERMAL ENVELOPE

N1102.4 (R402.4) AIR LEAKAGE (MANDATORY)
THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS N1102.4.1 THROUGH N1102.4.6.

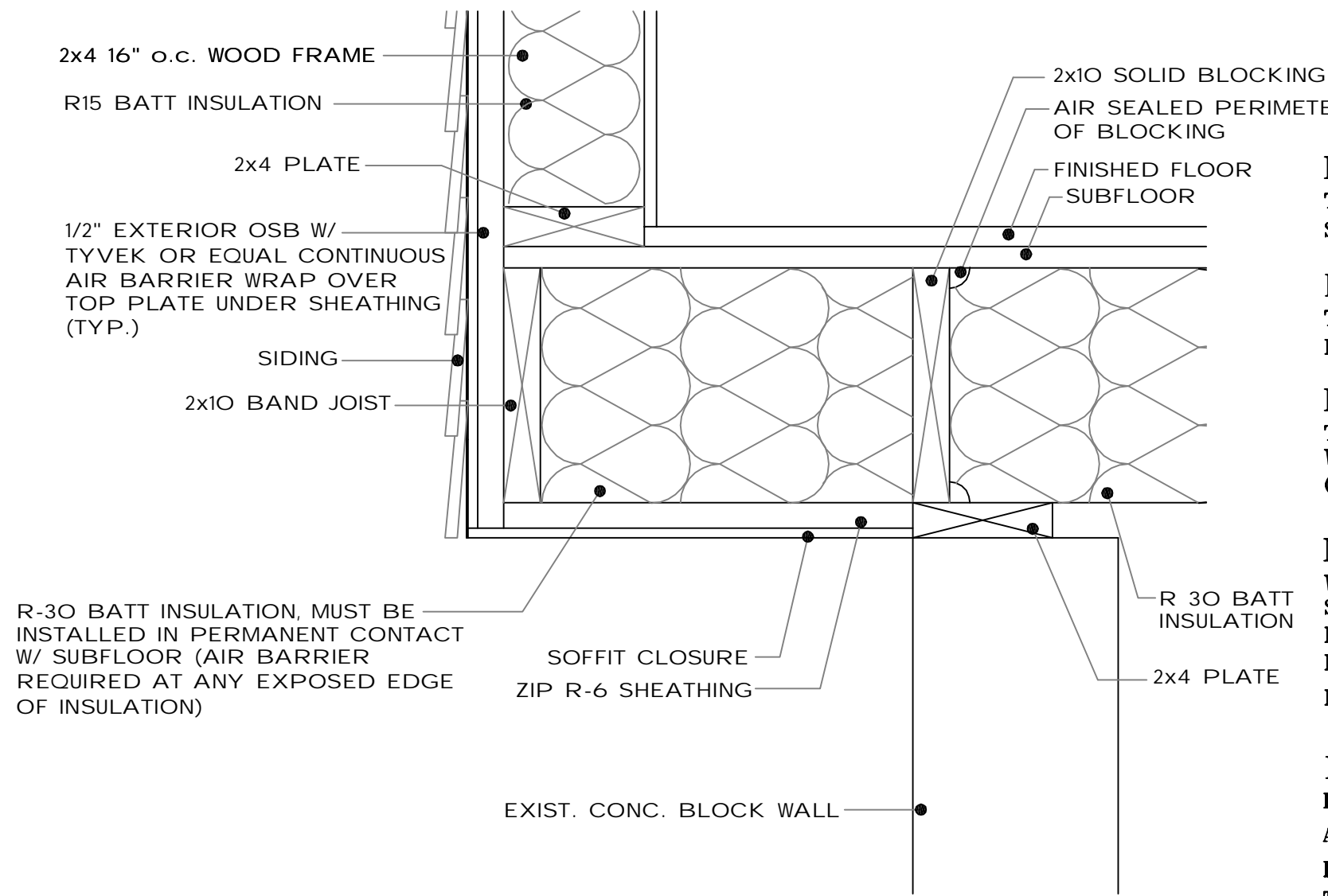
N1102.4.1 (R402.4.1) BUILDING THERMAL ENVELOPE
THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS N1102.4.1.1 AND N1102.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

N1102.4.1.1 (R402.4.1.1) INSTALLATION
THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS INDICATED IN TABLE N1102.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA INDICATED IN TABLE N1102.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION.

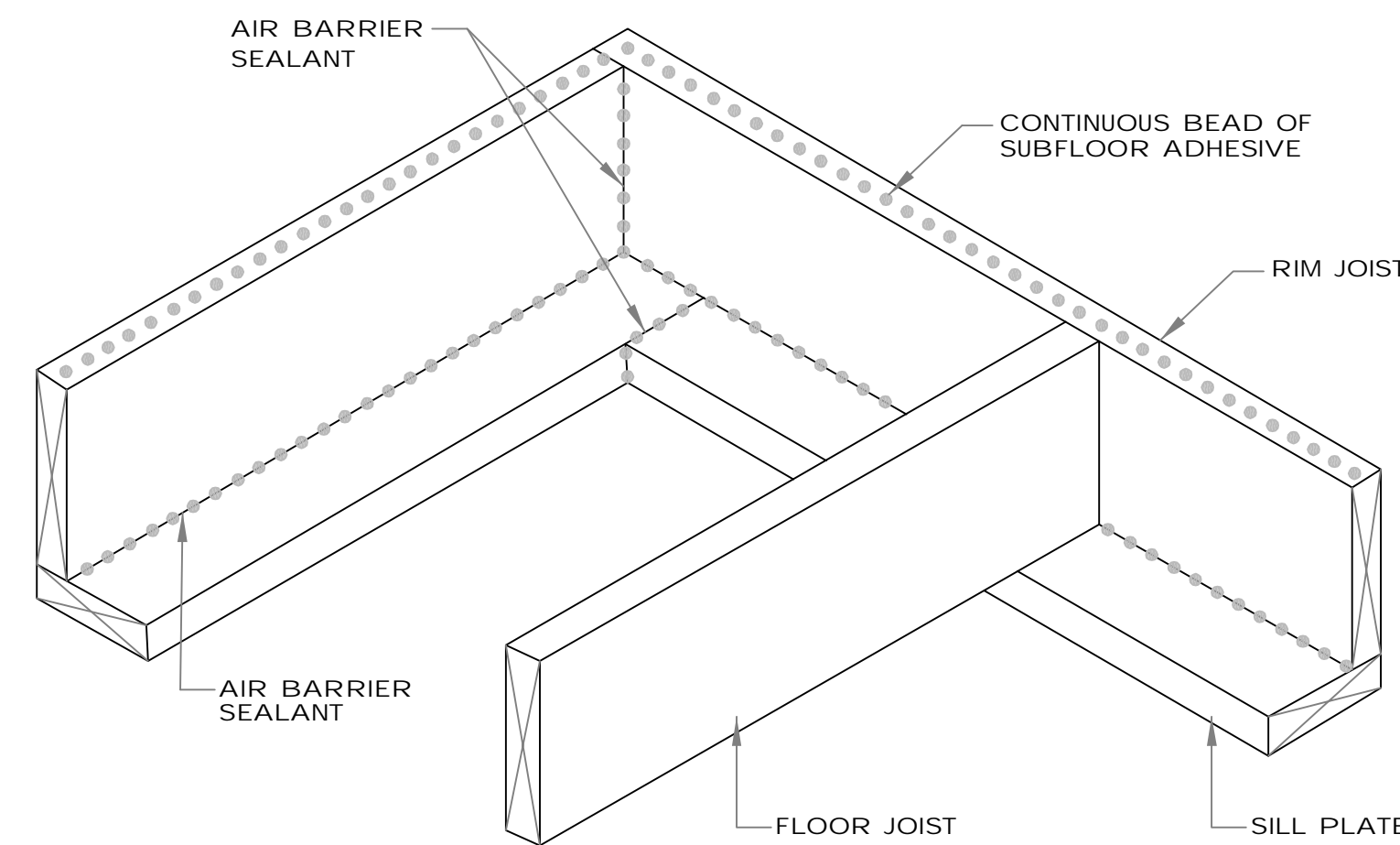
N1102.4.3 (R402.4.3) FENESTRATION AIR LEAKAGE
WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NOT GREATER THAN 0.3 CFM PER SQUARE FOOT (1.5 L/S/M²), AND FOR SWINGING DOORS NOT GREATER THAN 0.5 CFM PER SQUARE FOOT (2.6 L/S/M²), WHEN TESTED IN ACCORDANCE WITH NFRC 400 OR AAMA/WDMA/CSA 101/1.S.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.
EXCEPTION: SITE-BUILT WINDOWS, SKYLIGHTS AND DOORS.

N1102.4.4 (R402.4.4) ROOMS CONTAINING FUEL-BURNING APPLIANCES
IN CLIMATE ZONES 3 THROUGH 8, WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL-BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR OPENING SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM THAT IS ISOLATED FROM INSIDE THE THERMAL ENVELOPE. SUCH ROOMS SHALL BE SEALED AND INSULATED IN ACCORDANCE WITH THE ENVELOPE REQUIREMENTS OF TABLE N1102.1.2, WHERE THE WALLS, FLOORS AND CEILINGS SHALL MEET A MINIMUM OF THE BASEMENT WALL R-VALUE REQUIREMENT. THE DOOR INTO THE ROOM SHALL BE FULLY GASKETED AND ANY WATER LINES AND DUCTS IN THE ROOM INSULATED IN ACCORDANCE WITH SECTION N1103 THE COMBUSTION AIR DUCT SHALL BE INSULATED WHERE IT PASSES THROUGH CONDITIONED SPACE TO AN R-VALUE OF NOT LESS THAN R-8.
EXCEPTIONS: DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE.

N1102.4.5 (R402.4.5) RECESSED LIGHTING
RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 CFM (0.944 L/S) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 PSF (75 PA). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

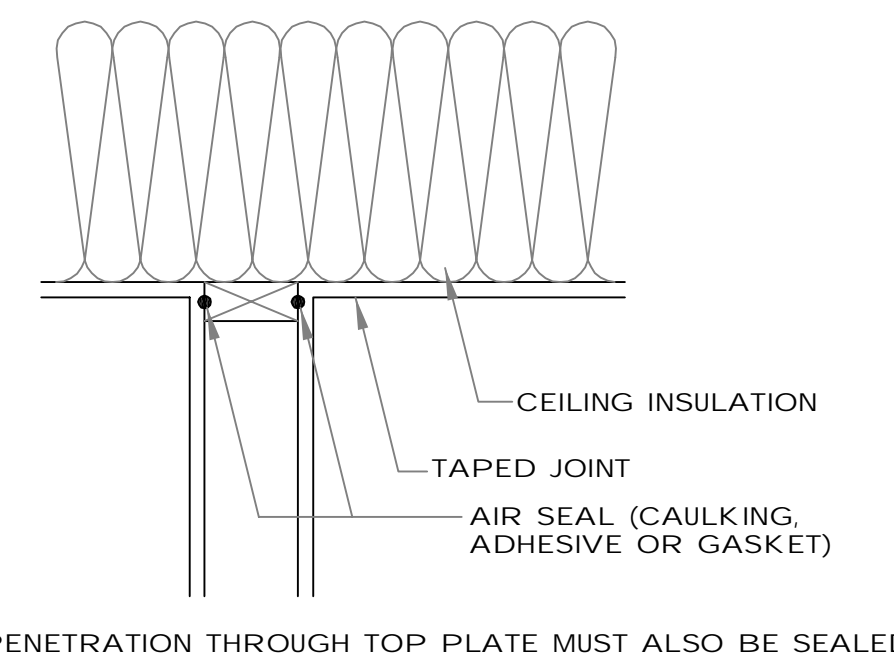


BOX BEAM INSULATION DETAIL AT CANTILEVERED FLOOR JOISTS
NOT TO SCALE

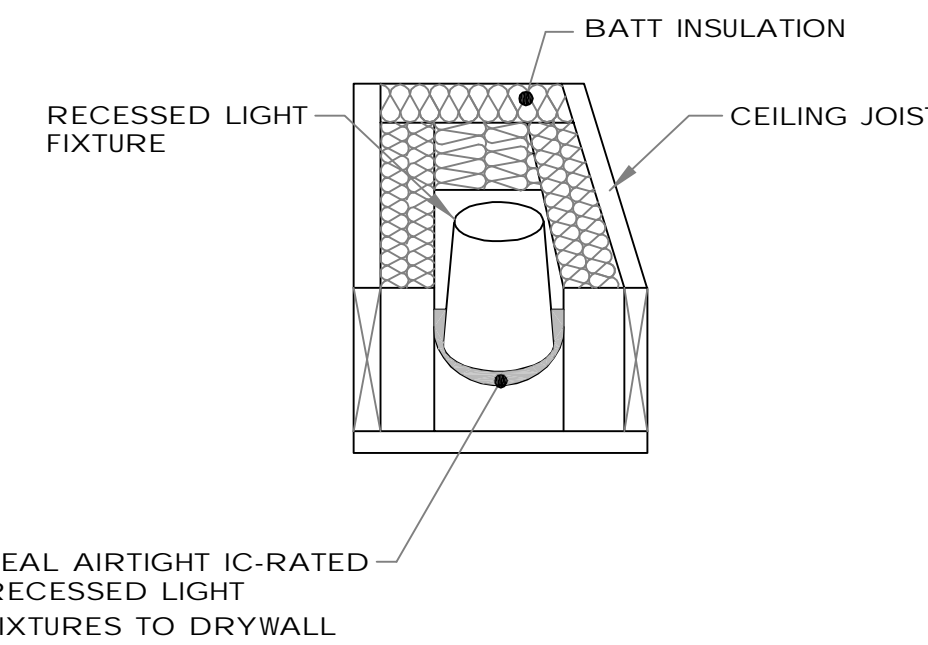


CONTINUOUS FILLET BEAD APPLIED AT BOTTOM OF RIM CLOSURE BOARD
CONTINUOUS BEAD OF ADHESIVE APPLIED TO TOP OF RIM CLOSURE BOARD
SEALANT APPLIED AT ALL BUTT JOINTS IN RIM CLOSURE BOARD AND SILL PLATE/TOP PLATE

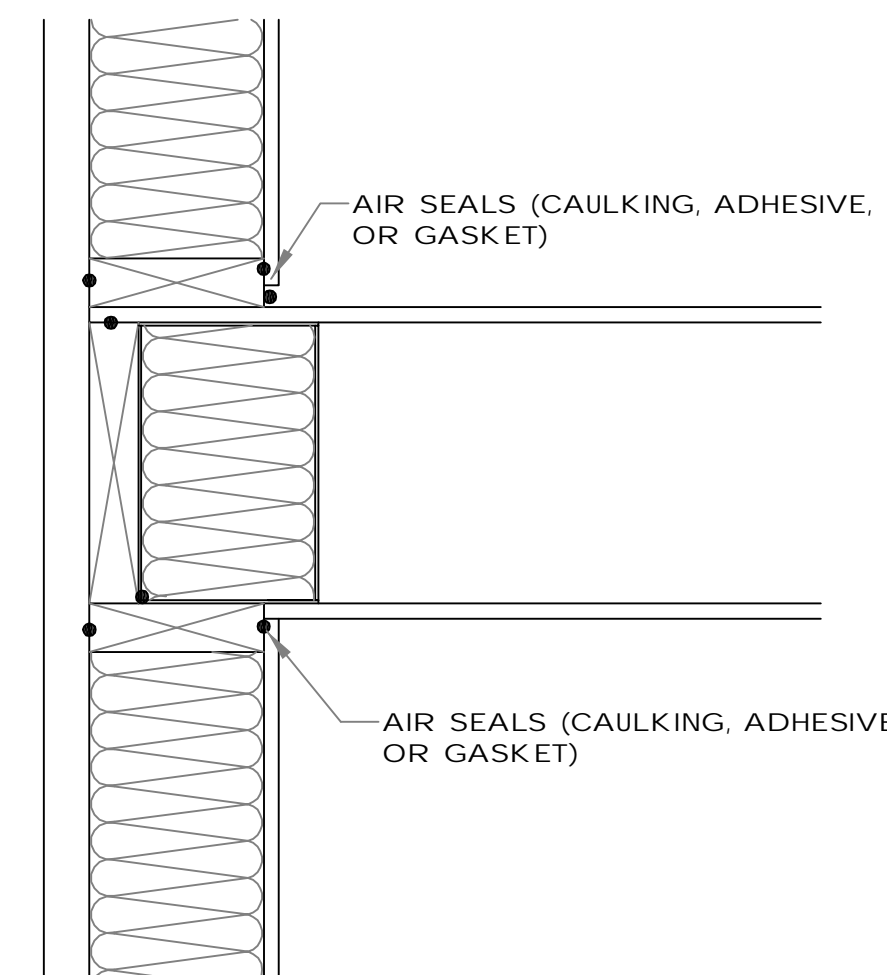
AIR BARRIER CONTINUITY AT RIM JOIST/BAND JOIST DETAIL
NOT TO SCALE



AIR BARRIER AT INTERSECTION B/W TOP PLATE AND UNCONDITIONED SPACE ABOVE
NOT TO SCALE

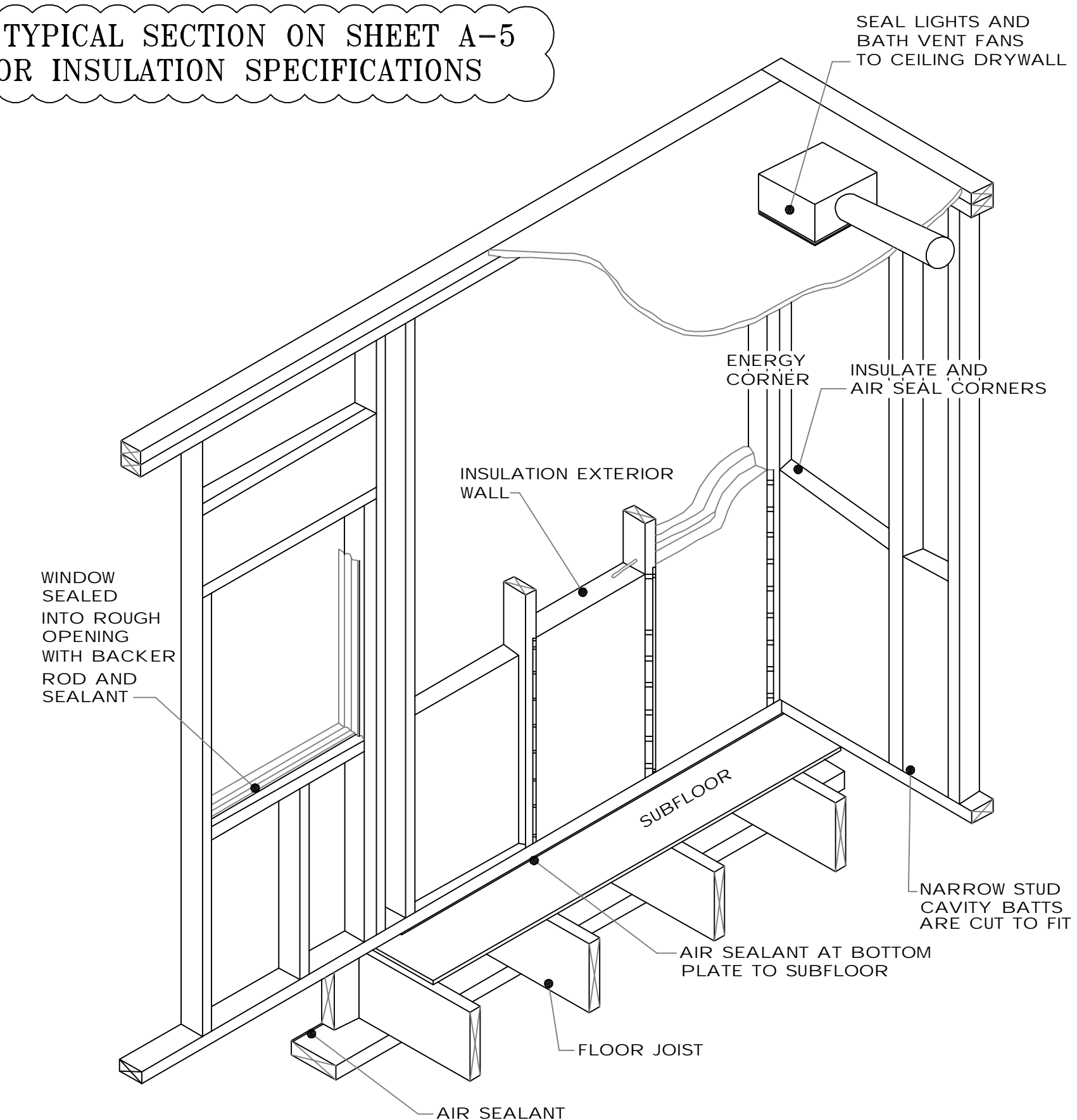


AIR BARRIER AT RECESSED LIGHTS DETAIL
NOT TO SCALE



AIR BARRIER AT INTERSECTION OF FLOOR JOISTS AND EXTERIOR WALL DETAIL
NOT TO SCALE

SEE TYPICAL SECTION ON SHEET A-5 FOR INSULATION SPECIFICATIONS



AIR BARRIER WALL FRAMING DETAIL
NOT TO SCALE

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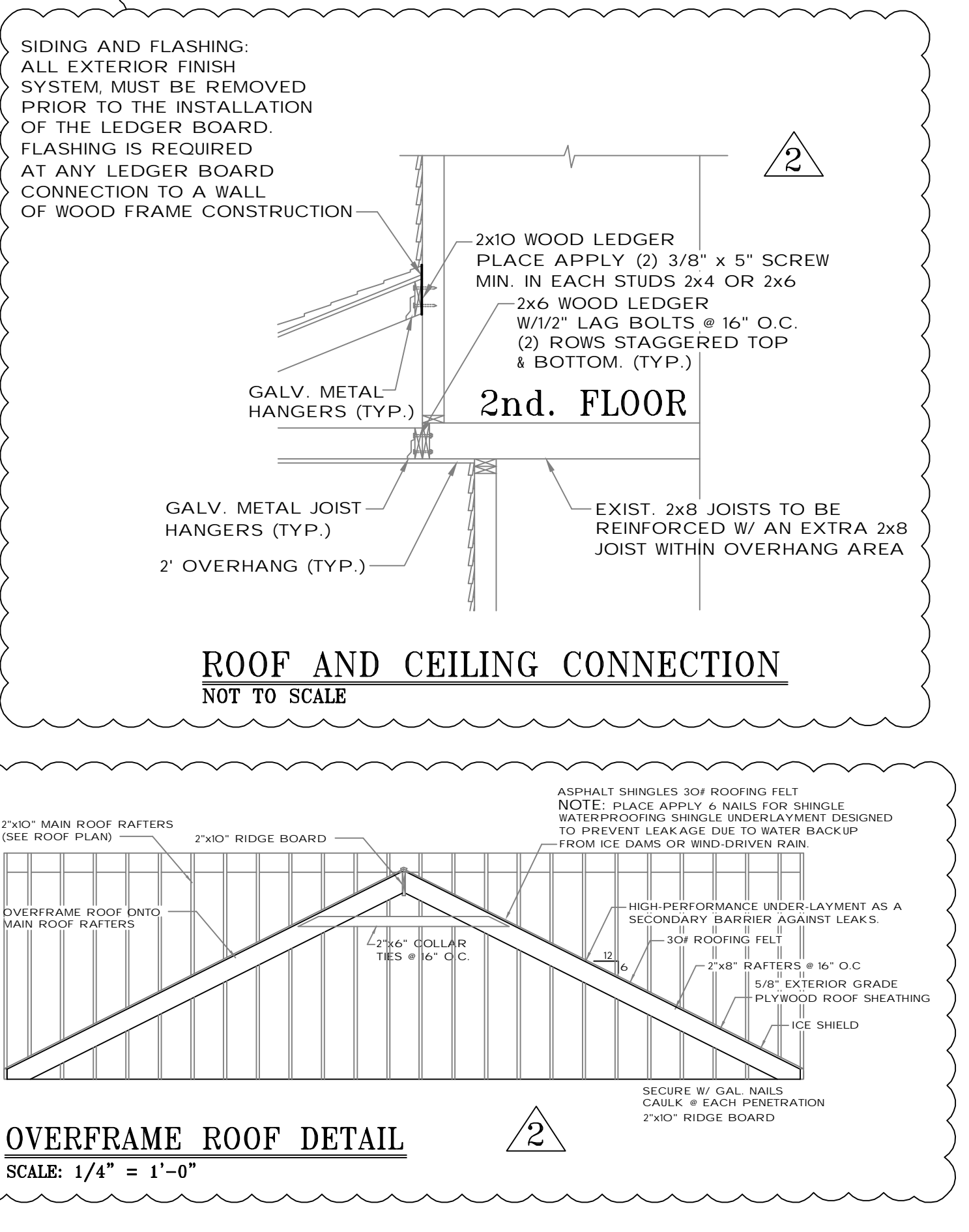
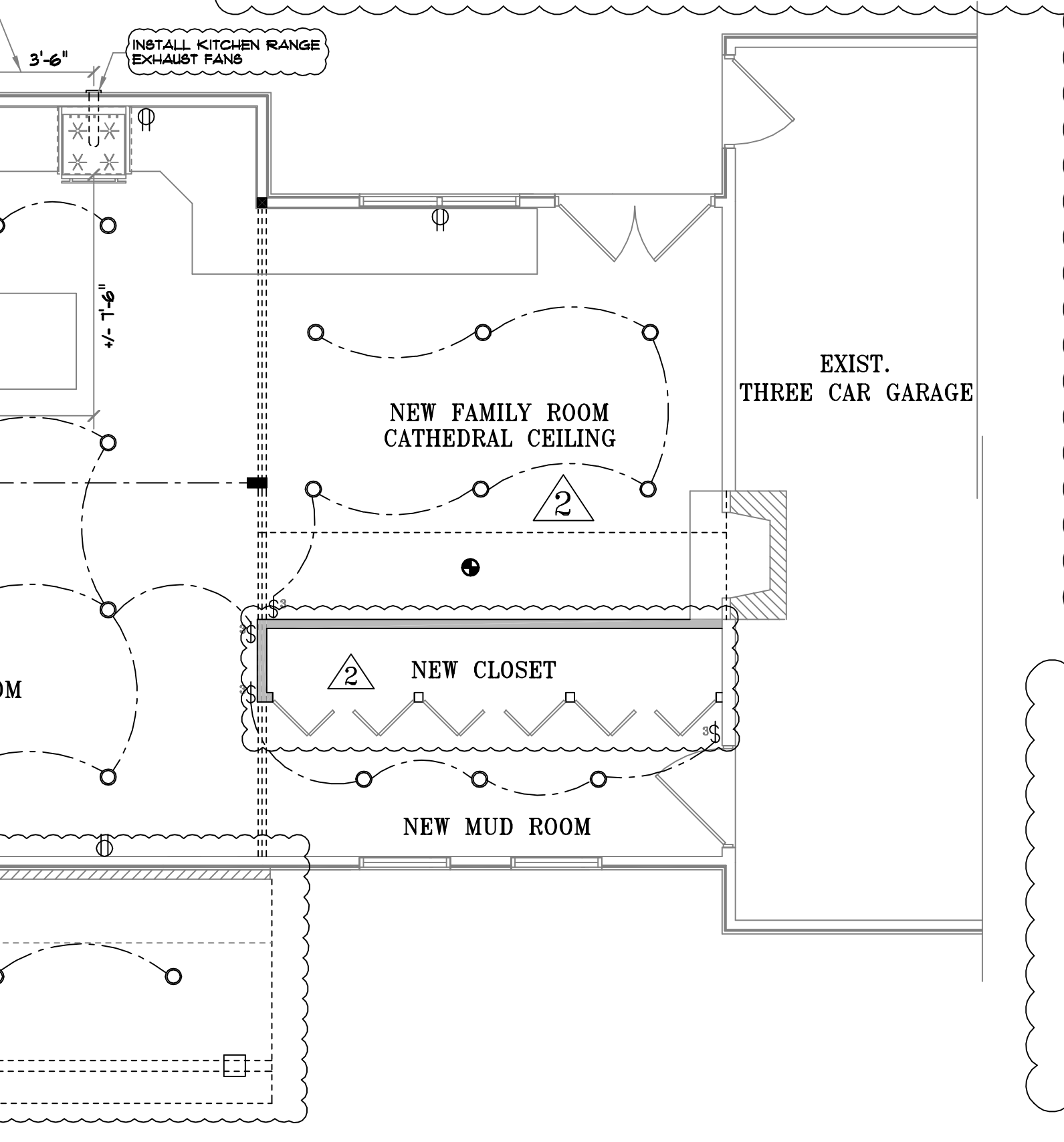
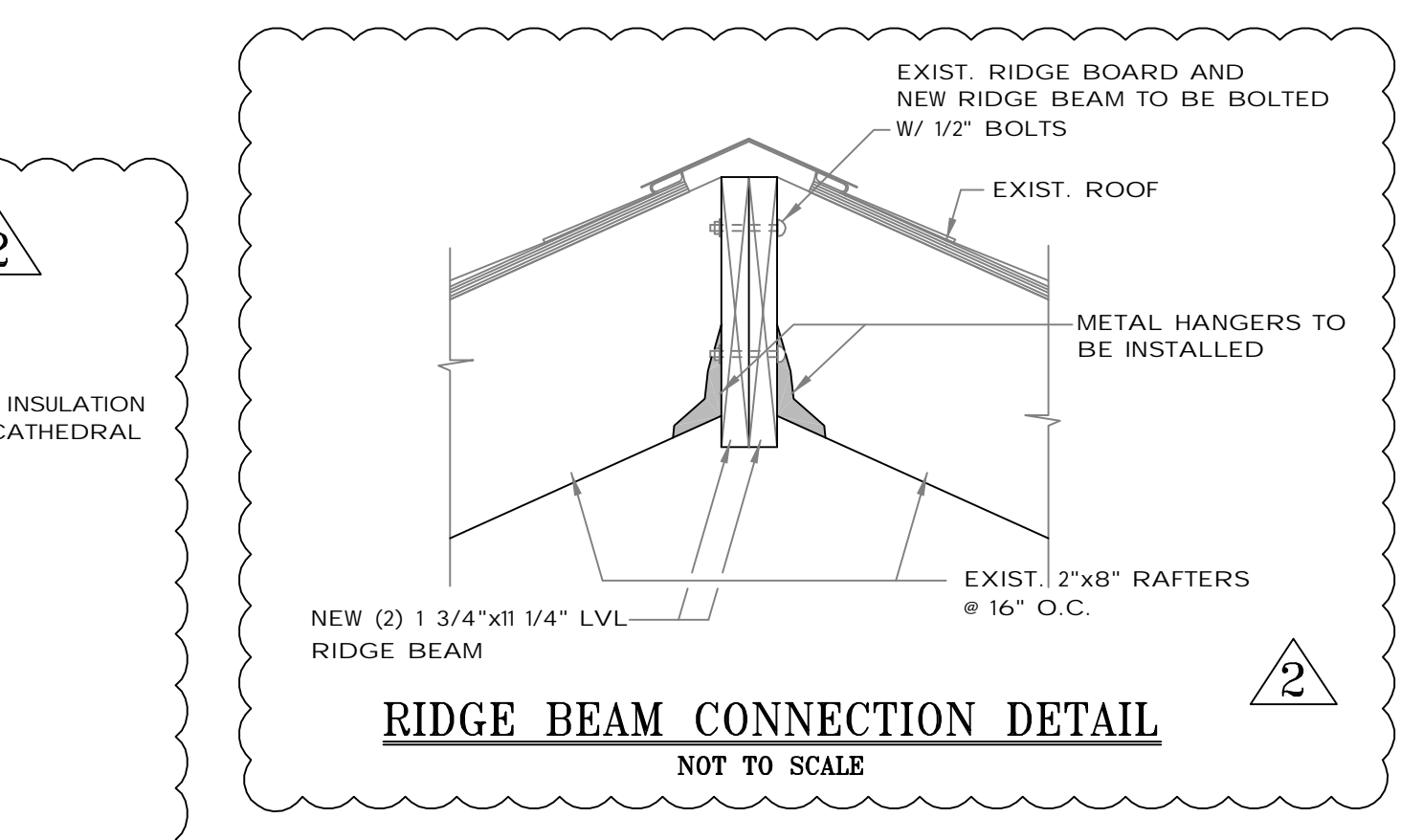
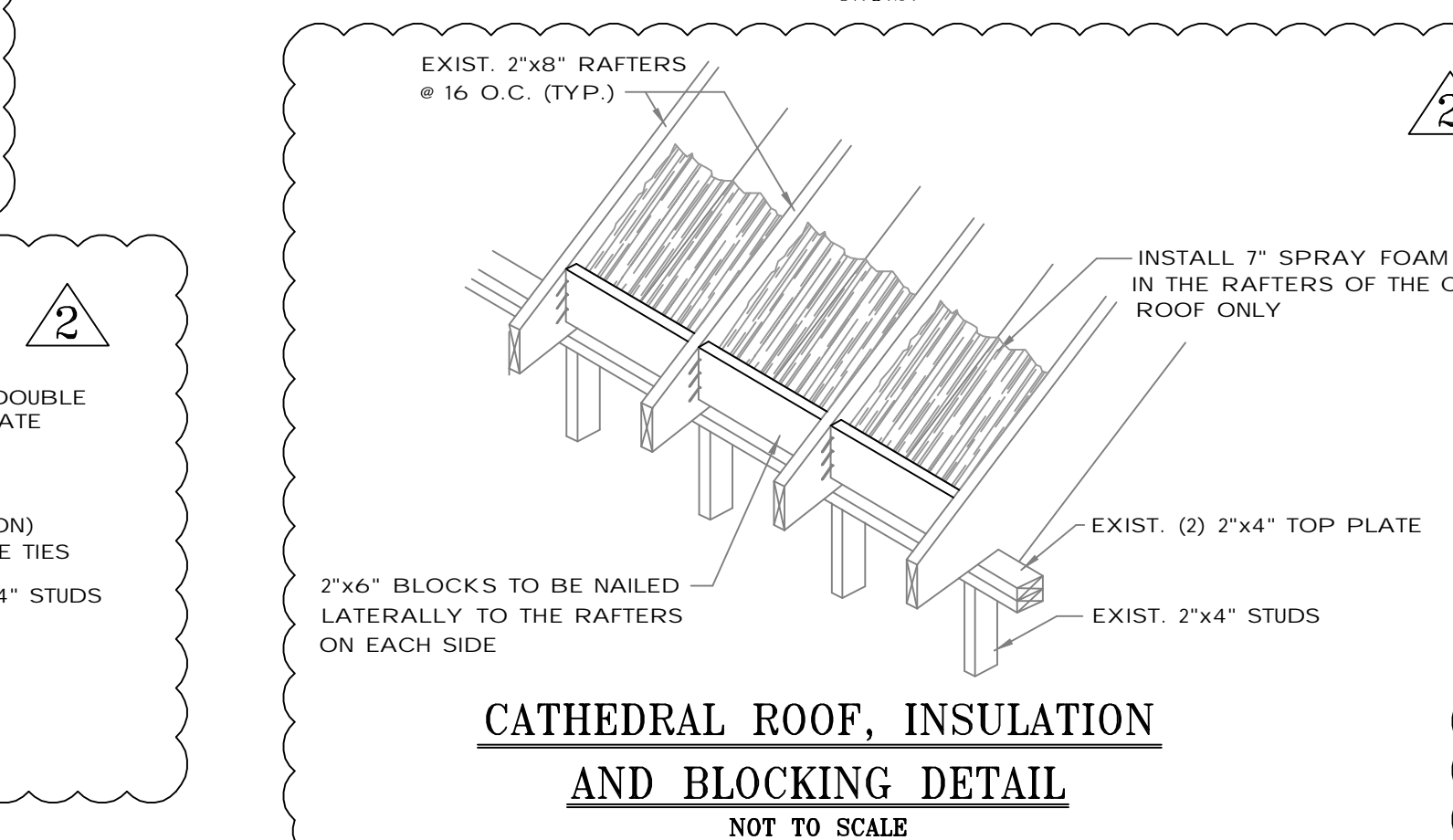
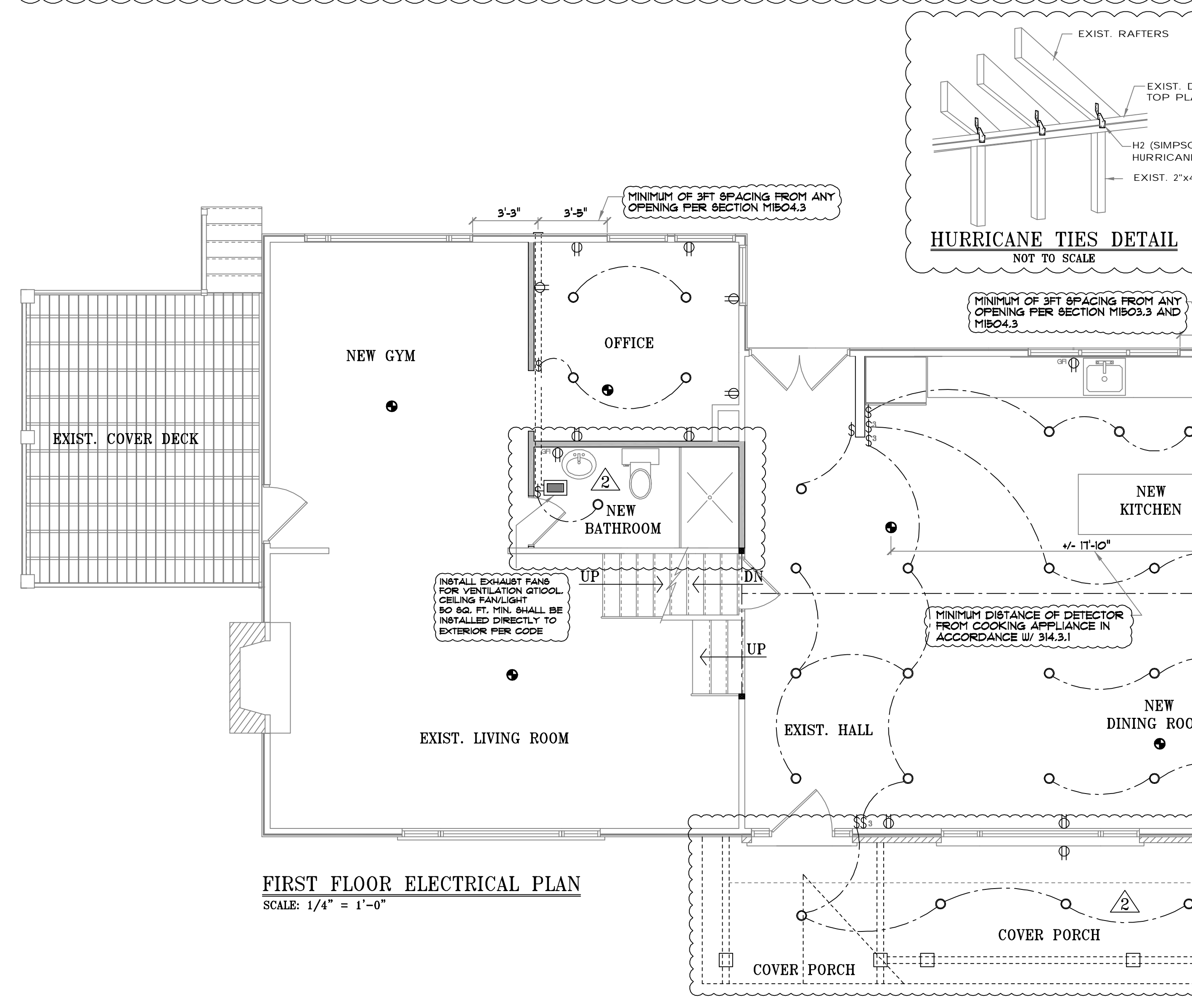
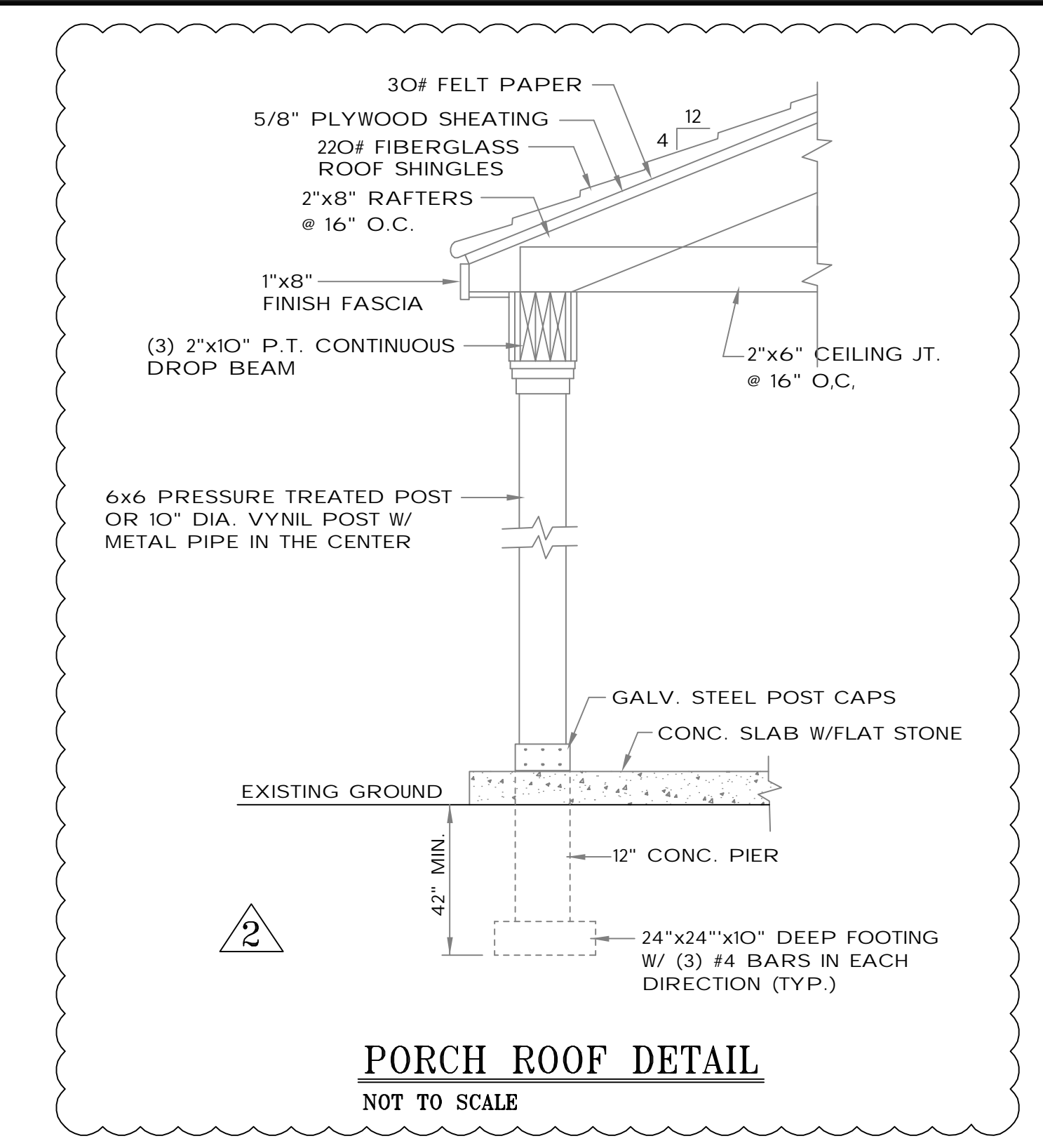
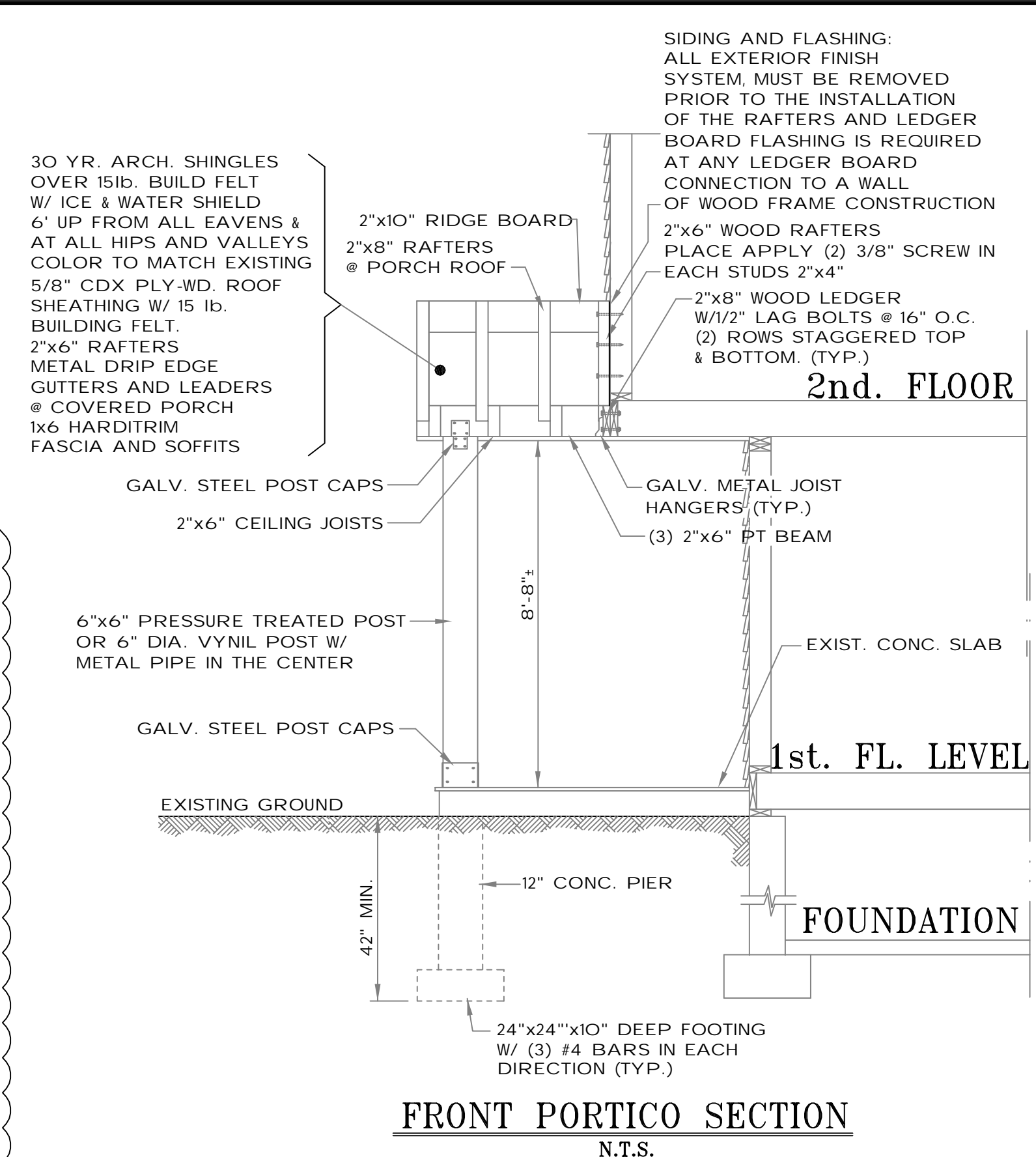
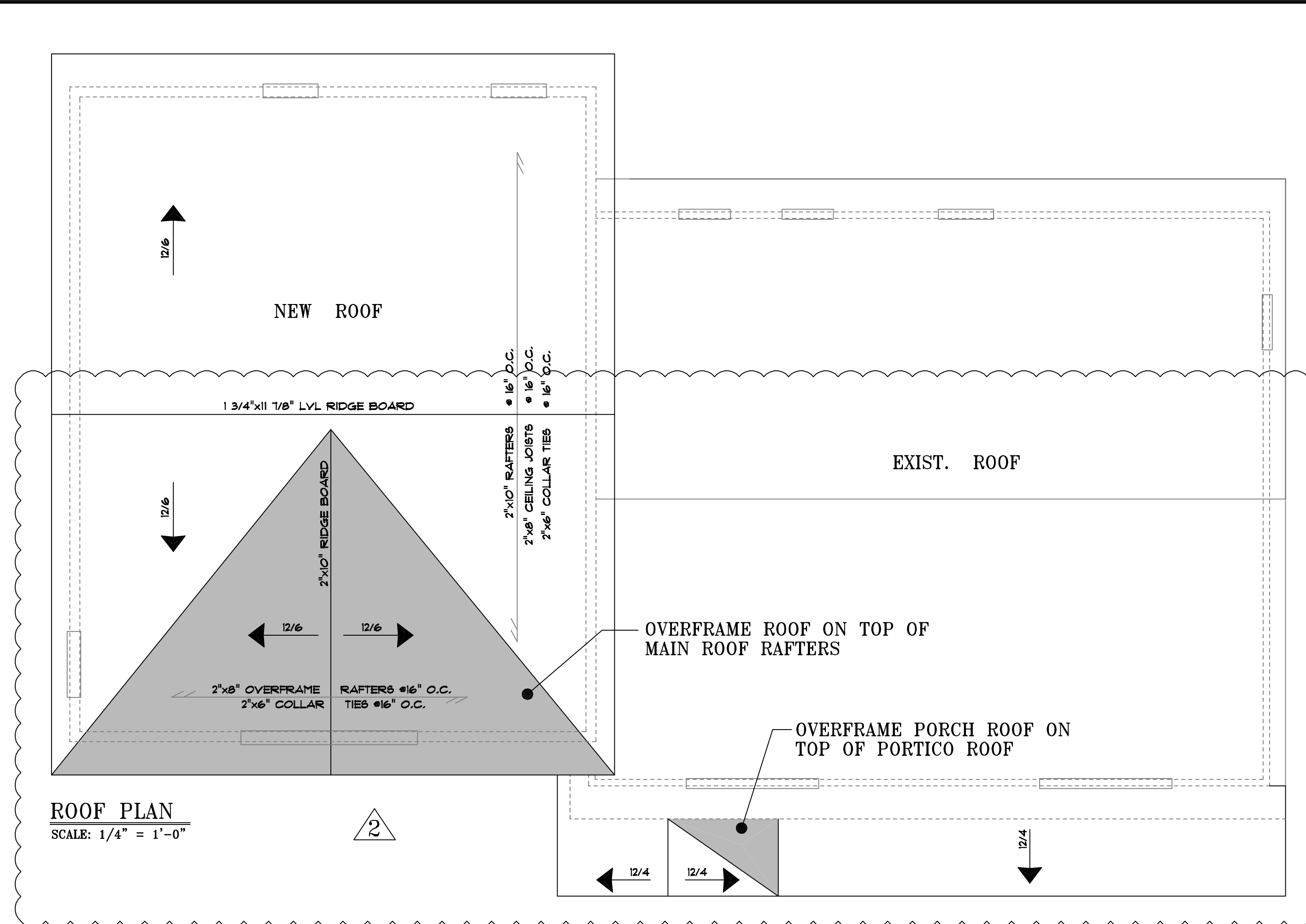
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CONTACT INFORMATION:
213 Route 100 Katonah, N.Y. 10536
Tel. 914-232-0517

SHEET TITLE:
PROPOSED FIRST FLOOR RENOVATION AND PARTIAL 2ND FLOOR ADDITION TO THE EXISTING HOUSE

DRAWING NO.

A-11



OWNER:
KOSTERICH RESIDENCE

PROJECT:
**7 EVERGREEN ROW
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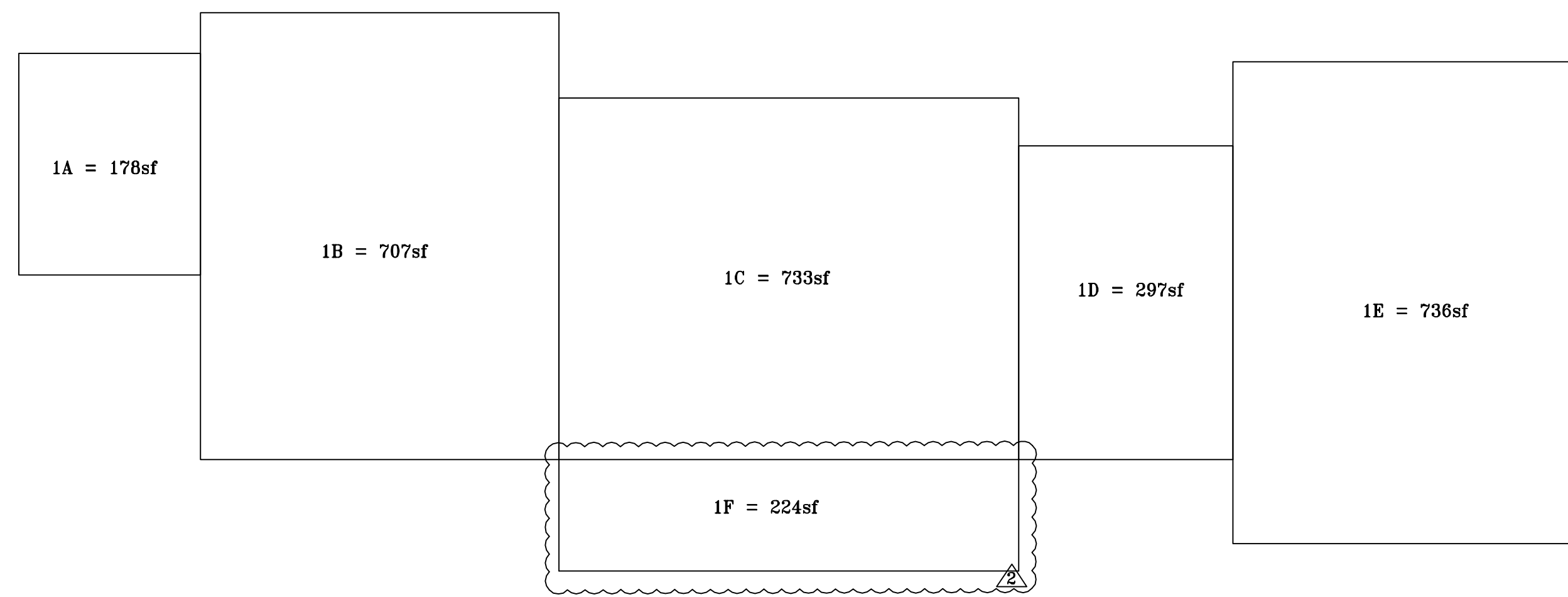
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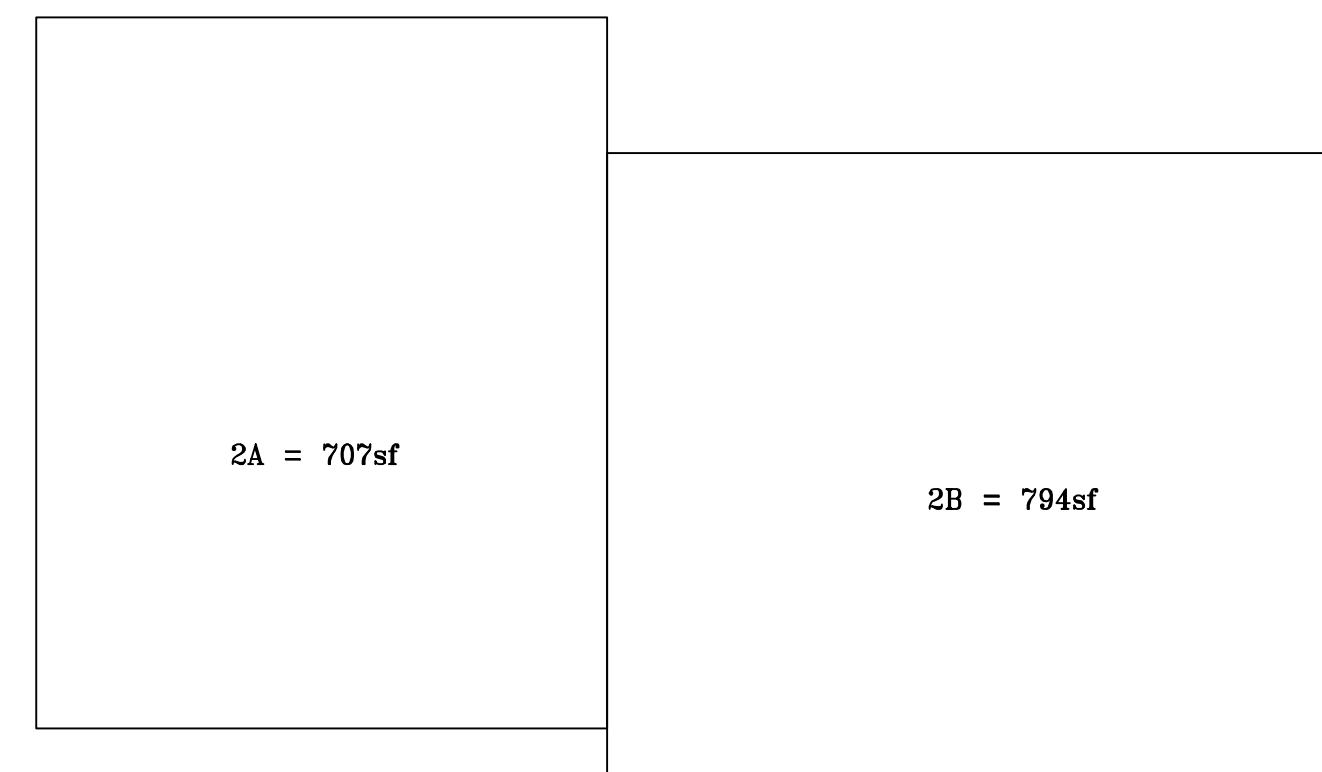
DRAWING NO.
A-12



FIRST FLOOR SCHEMATIC
SCALE: 1/8" = 1'-0"

1A = 178sf
 1B = 707sf
 1C = 733sf
 1D = 297sf
 1E = 736sf
 1F = 224sf

 1st FLOOR TOTAL = 2875sf



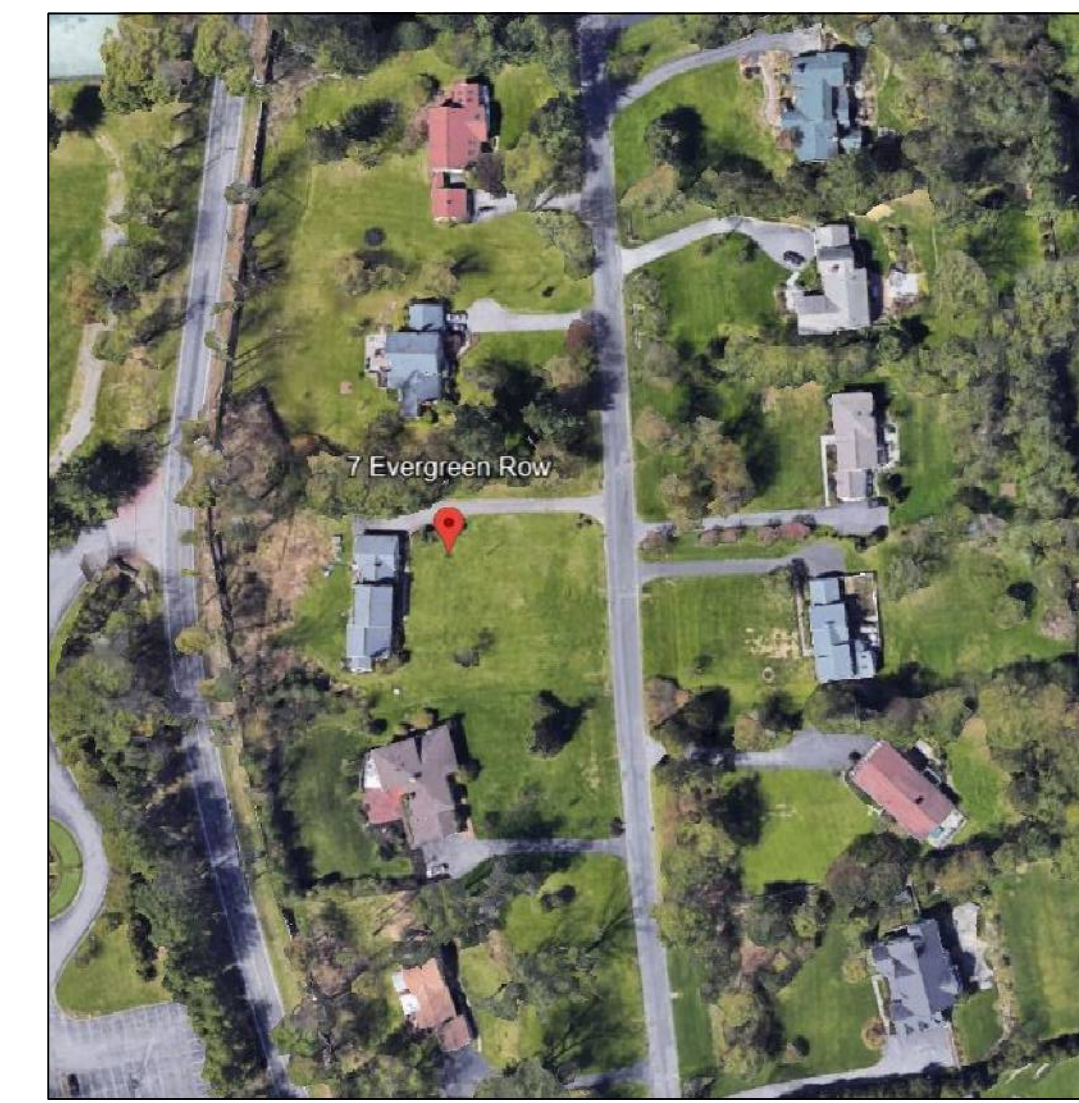
SECOND FLOOR SCHEMATIC
SCALE: 1/8" = 1'-0"

2A = 707sf
 2B = 794sf

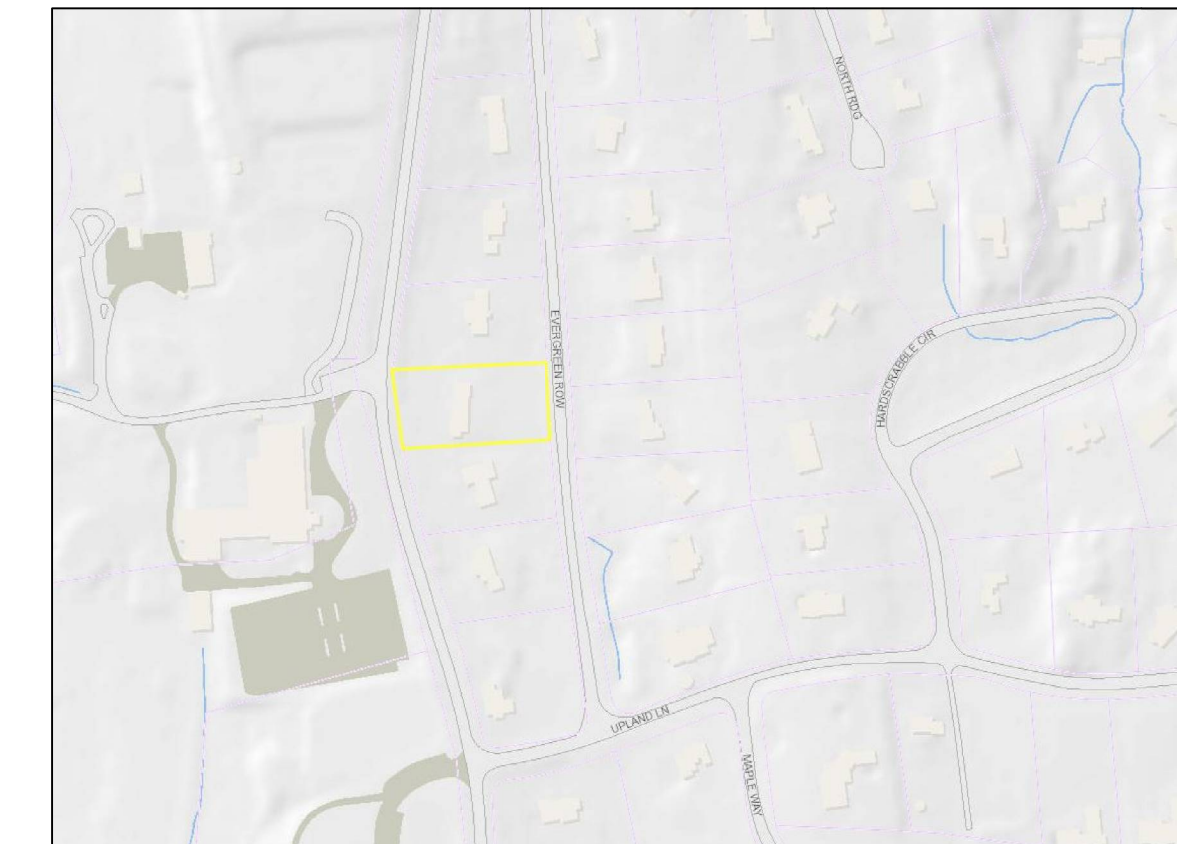
 2nd FLOOR TOTAL = 1501sf

BASEMENT = N/A
 1st FLOOR = 2875sf
 2nd FLOOR = 1501sf
 ATTIC = N/A

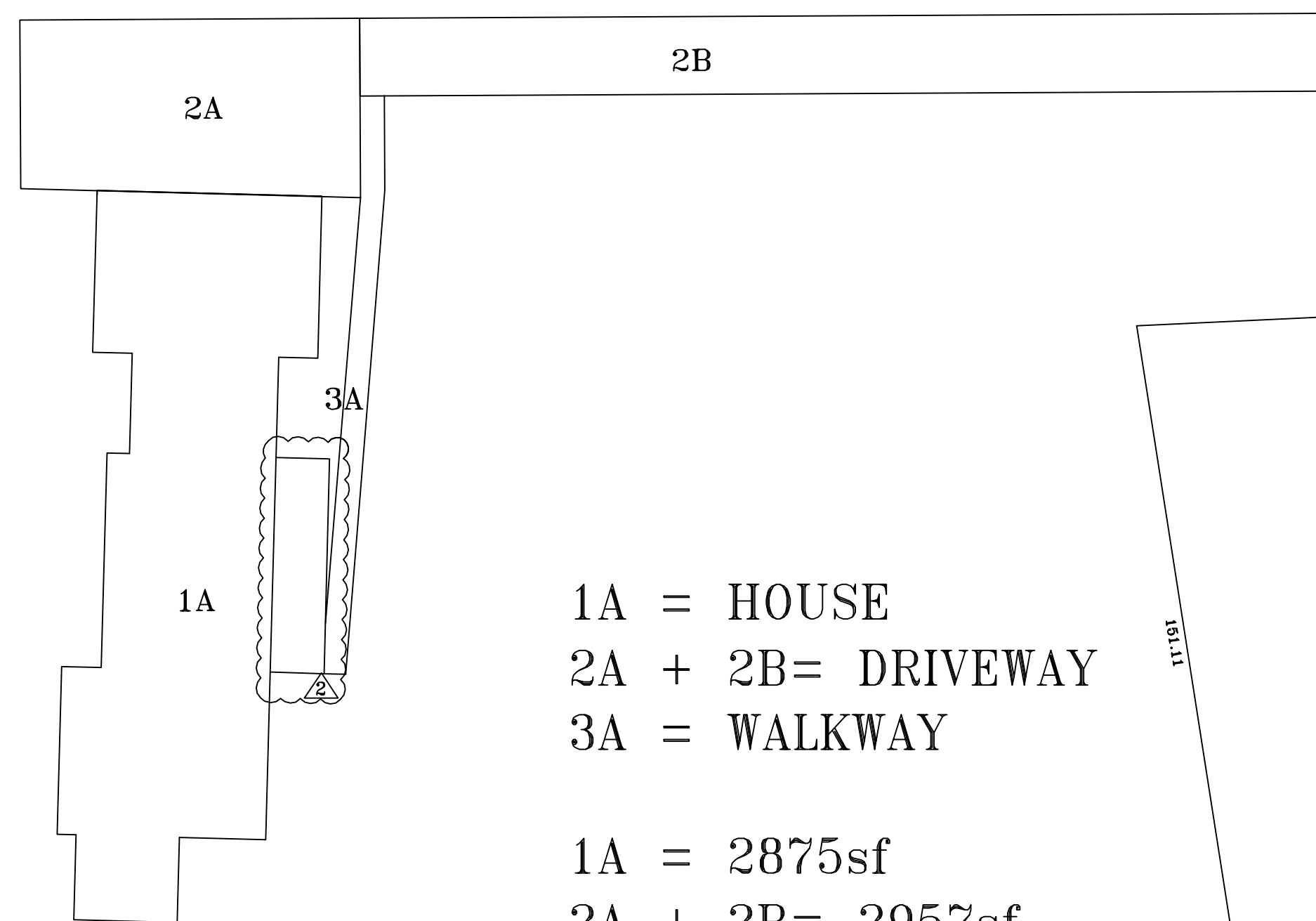
 GROSS FLOOR AREA = 4376sf



AERIAL VIEW



PROPERTY MAP

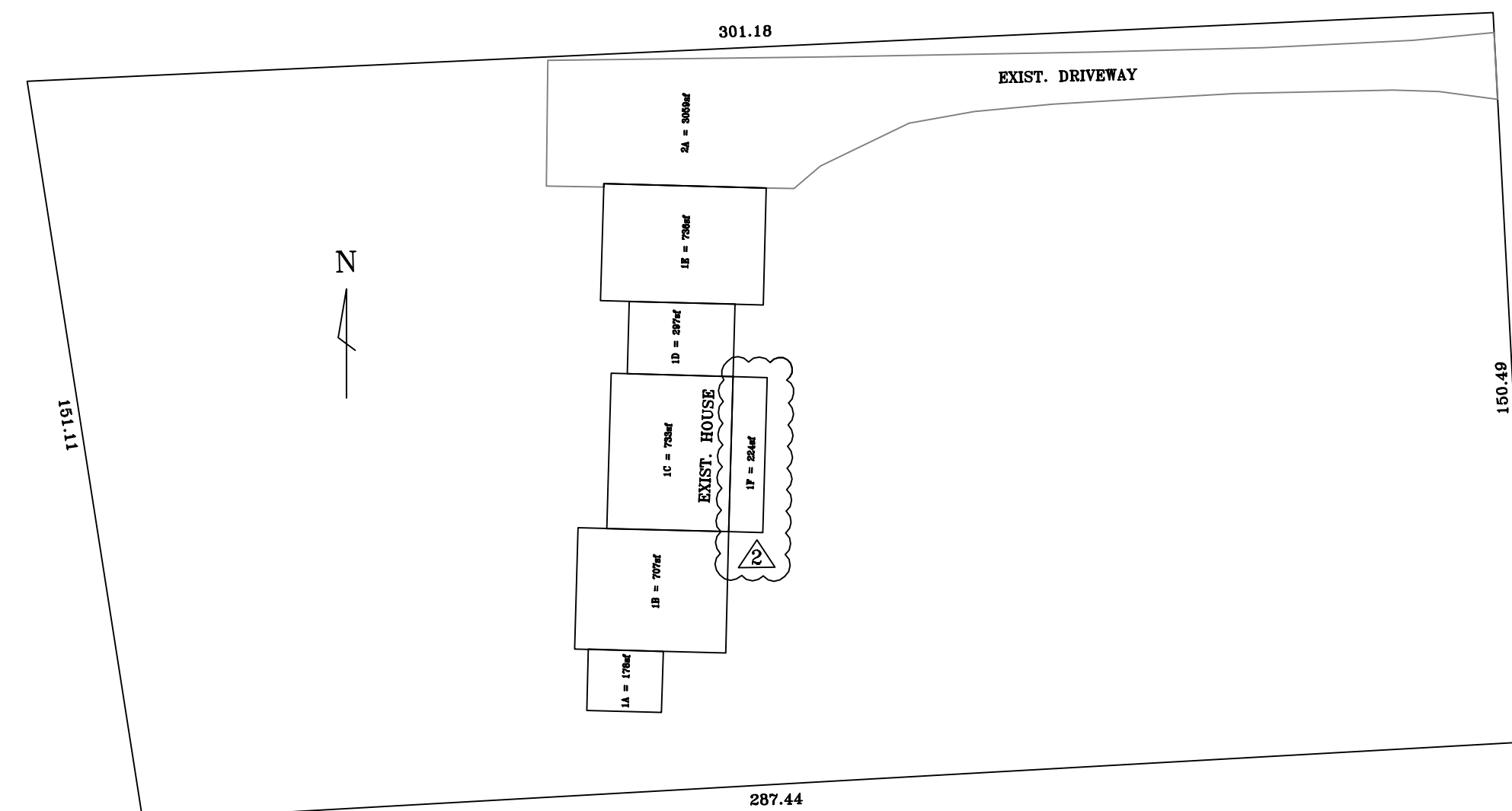


GROSS LAND COVERAGE SCHEMATIC
SCALE: 1" = 20'-0"

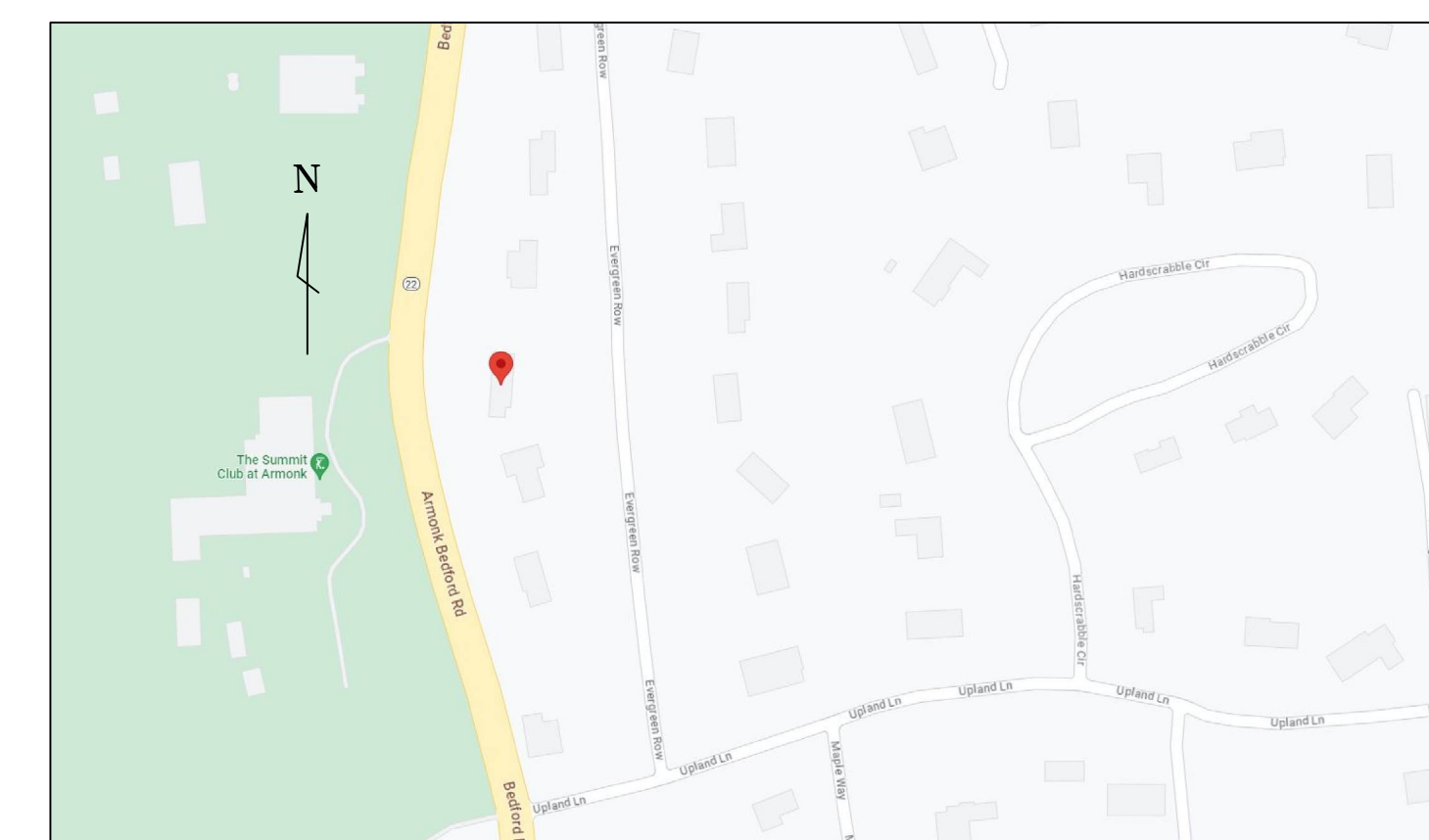
1A = HOUSE
 2A + 2B = DRIVEWAY
 3A = WALKWAY

 1A = 2875sf
 2A + 2B = 2957sf
 3A = 312sf

 TOTAL = 6144sf



SITE PLAN
SCALE: 1" = 30'-0"



LOCATOR MAP
SCALE: 1" = 300'-0"

OWNER:

KOSTERICH RESIDENCE

PROJECT:

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UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

MARK	DATE	REVISION
REVIEW	10-15-23	# 1
COMMENTS	12-15-23	# 2
FRONT		
PORCH		

JOB #	SCALE	DATE
023-31	AS NOTED	9-14-23

DWG. BY:

SDN

EMAIL: sdn.design@gmail.com

DESIGN BY:

FERNANDO C. PENA
 NYS LIC. 068939

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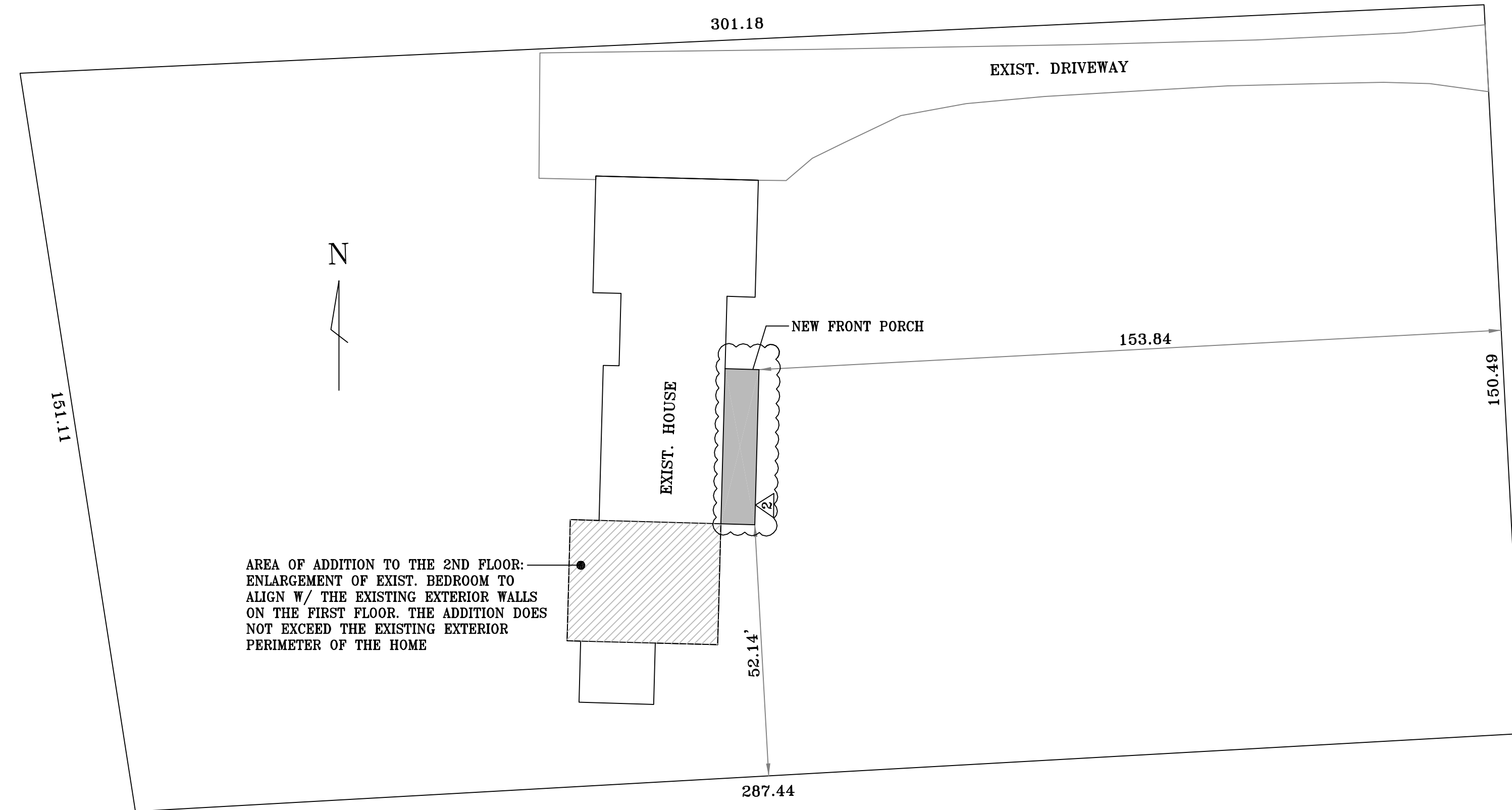
213 Route 100 Katonah, N.Y. 10536
 Tel. 914-232-0517

SHEET TITLE:

PROPOSED FIRST FLOOR RENOVATION AND PARTIAL 2ND FLOOR ADDITION TO THE EXISTING HOUSE

DRAWING NO.

A - A



SITE PLAN
SCALE: 1" = 20'-0"

ZONING TABLE (TOWN OF NORTH CASTLE)
355-21. SCHEDULE OF RESIDENCE DISTRICT REGULATIONS

	DISTRICT	MINIMUM LOT SIZE				MINIMUM YARDS (c) (l) (m)			MAXIMUM BUILDING HEIGHT (f)		MAXIMUM BUILDING COVERAGE (r) (s) LOT AREA	MINIMUM DWELLING UNIT SIZE (SQUARE FEET) (REFER ALSO TO & 355-70)	REFER ALSO TO THESE PERTINENT SECTIONS
		AREA	FRONTAGE (FEET) (a)	WIDTH (FEET) (b)	DEPTH (FEET) (c)	FRONT (FEET) (d) (e)	SIDE (FEET) (f) (g)	REAR (FEET) (g)	STORIES	FEET			
	1	4	5	6	7	8	9	10	11	12	13	14	15
REQUIRED	R-1A	1 ACRE	125	125	150	50	25	40	-	30 ⁰	12%	1,200	ARTICLES IV THROUGH X
PROPOSED	-	-	-	-	-	153.84	52.14	-	-	-	-	-	-

OWNER:

KOSTERICH RESIDENCE

PROJECT:

7 EVERGREEN ROW
ARMONK, NEW YORK

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MARK	DATE	REVISION
REVIEW COMMENTS	10-15-23	# 1
FRONT PORCH	12-15-23	# 2

JOB #.	SCALE:	DATE:
023-31	AS NOTED	9-14-23

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S-P