



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 75 Hickory Kingdom Rd

### Section III- DESCRIPTION OF WORK:

- Driveway / curb cut relocation
- Privacy Fence installed along Frontage
- Deer Fence installed in side / Rear yard

### Section III- CONTACT INFORMATION:

APPLICANT: David Kramer

ADDRESS: 75 Hickory Kingdom Rd, Bedford NY 10506

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: Dave@TheReveling.com

PROPERTY OWNER: Same as Applicant

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

PROFESSIONAL: Hildenbrand Engineering

ADDRESS: 208 Creamery Rd, Hopewell Junction NY 12533

PHONE: 845 206 6994 MOBILE: \_\_\_\_\_

EMAIL: Brian@HildenEng.com

### Section IV- PROPERTY INFORMATION:

Zone: R-4A Tax ID (lot designation) 95.04-1-38



**Town of North Castle**  
**Residential Project Review Committee**  
17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan:

Kramer

Initial Submittal  Revised Preliminary

Street Location:

75 Hickory Kingdom Rd

Zoning District: R-4A Property Acreage: 5.34 Tax Map Parcel ID: 95.04-1-38

Date:

1/10/24

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

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[www.northcastlennv.com](http://www.northcastlennv.com)

### GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Kramer Date: 1/10/24

Tax Map Designation or Proposed Lot No.: 95.04-1-38

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 232,610
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 24,181
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):  
 Distance principal home is beyond minimum front yard setback  
 \_\_\_\_\_ x 10 = \_\_\_\_\_
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 \_\_\_\_\_
5. Amount of lot area covered by **principal building**:  
2,568 existing + - proposed = 2,568
6. Amount of lot area covered by **accessory buildings**:  
642 existing + - proposed = 642
7. Amount of lot area covered by **decks**:  
- existing + - proposed = 0
8. Amount of lot area covered by **porches**:  
18 existing + - proposed = 18
9. Amount of lot area covered by **driveway, parking areas and walkways**:  
3372 existing + 1,011 proposed = 4,383
10. Amount of lot area covered by **terraces**:  
1809 existing + - proposed = 1,809
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:  
509 existing + - proposed = 509
12. Amount of lot area covered by **all other structures**:  
- existing + - proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 - 12 9,929

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

B. Albert  
 Signature and Seal of Professional Preparing Worksheet



1-16-24  
 Date



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WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

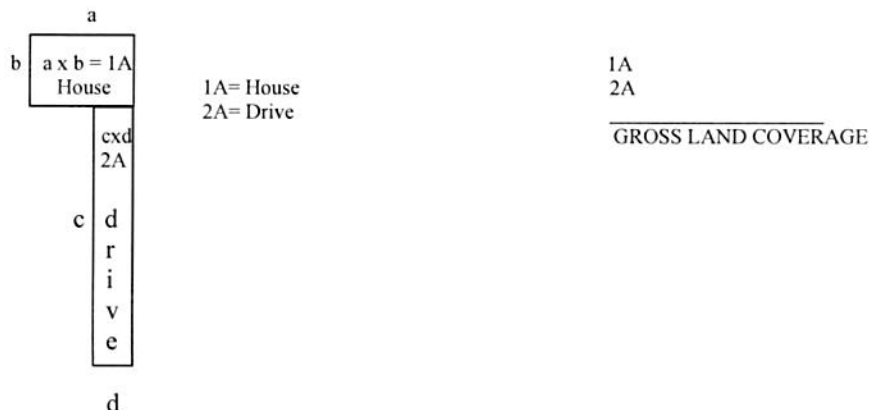
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## GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots <sup>1</sup> (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

\*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

January 29, 2019  
Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: \_\_\_\_\_ Date: \_\_\_\_\_

Tax Map Designation or Proposed Lot No.: \_\_\_\_\_

### Floor Area

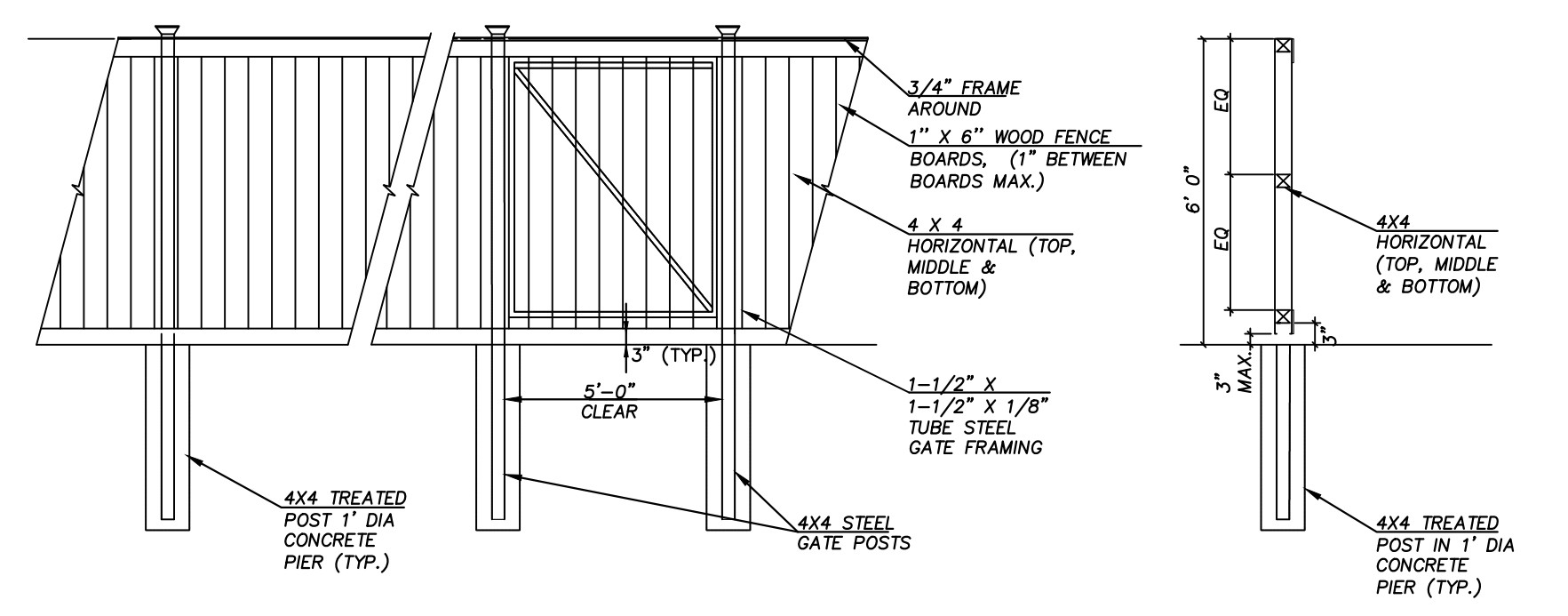
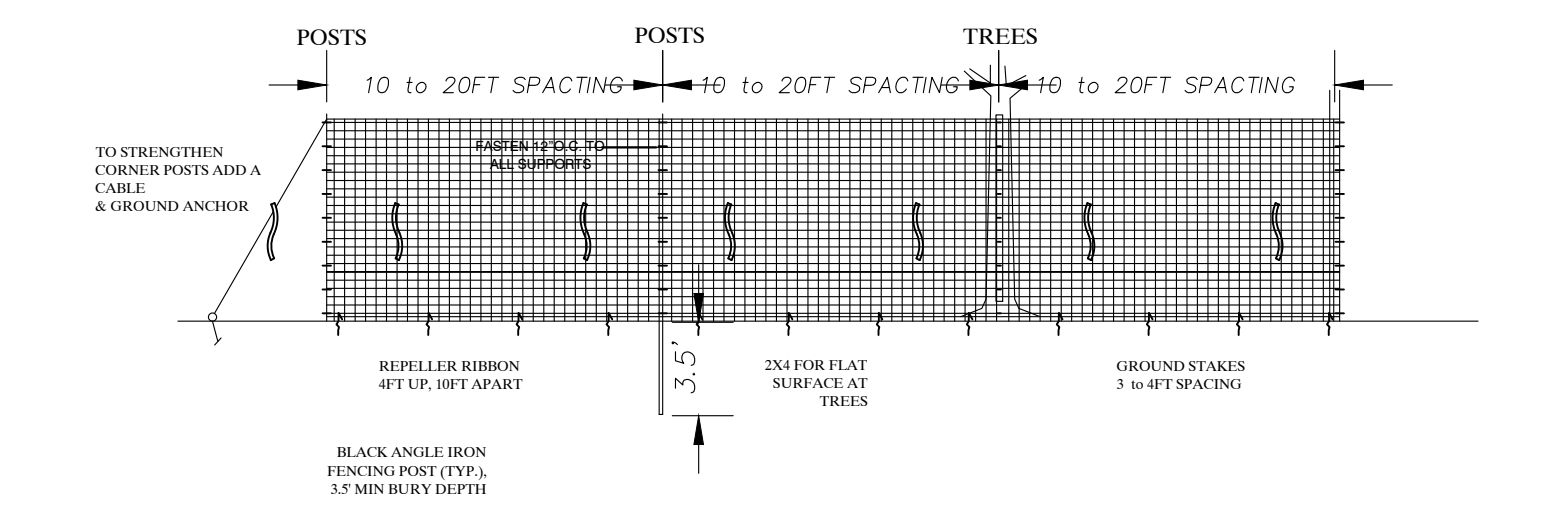
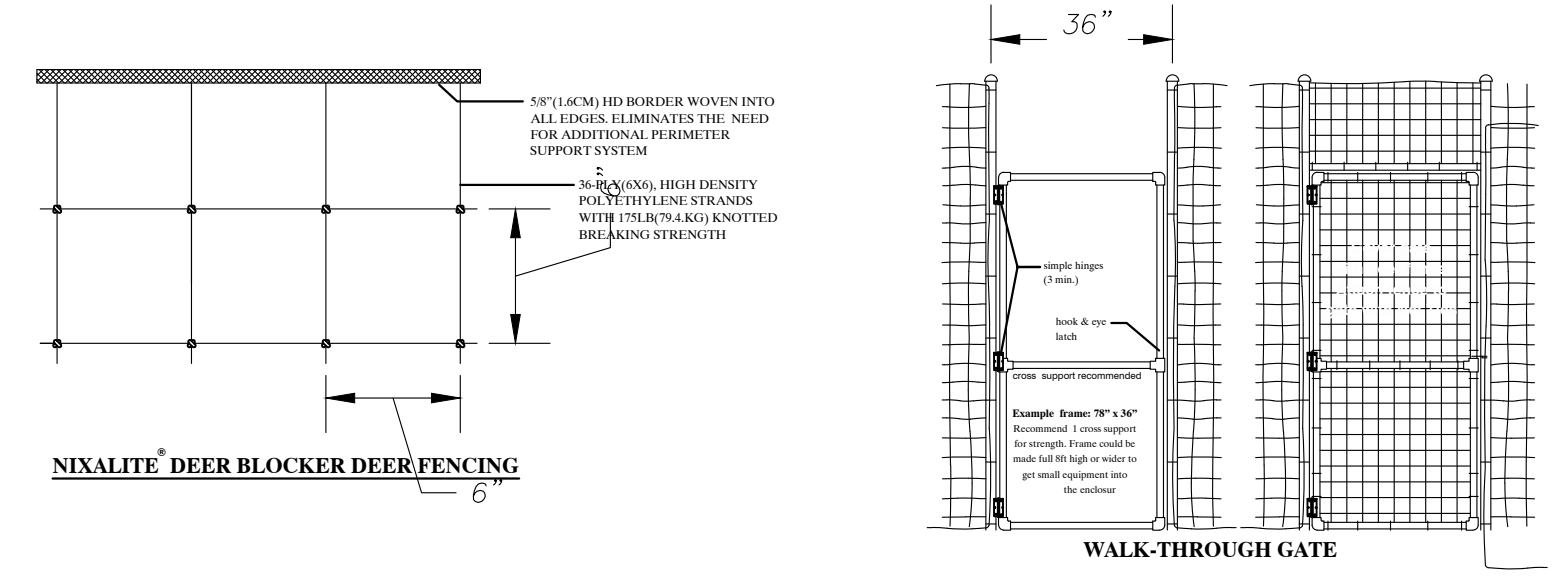
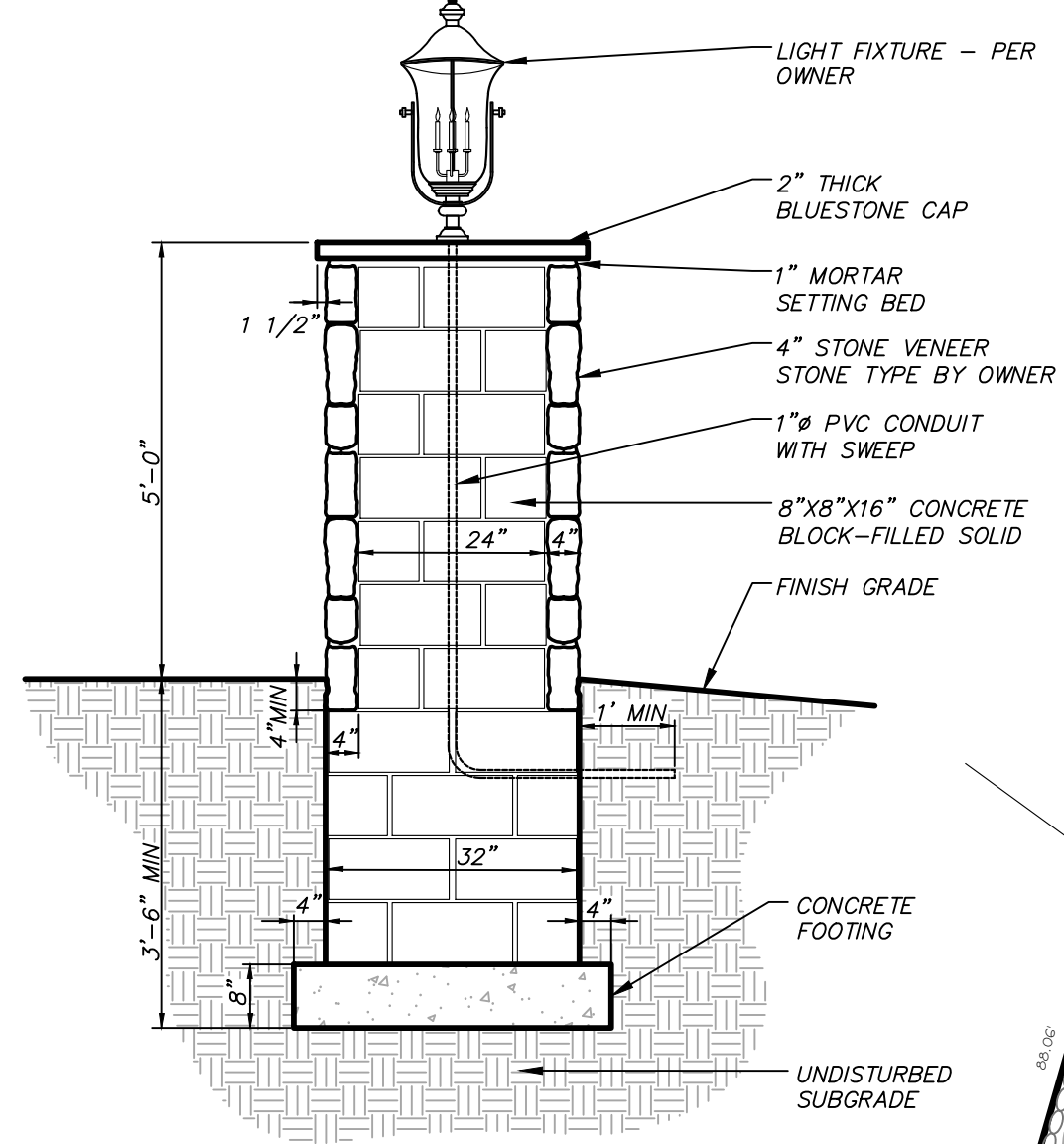
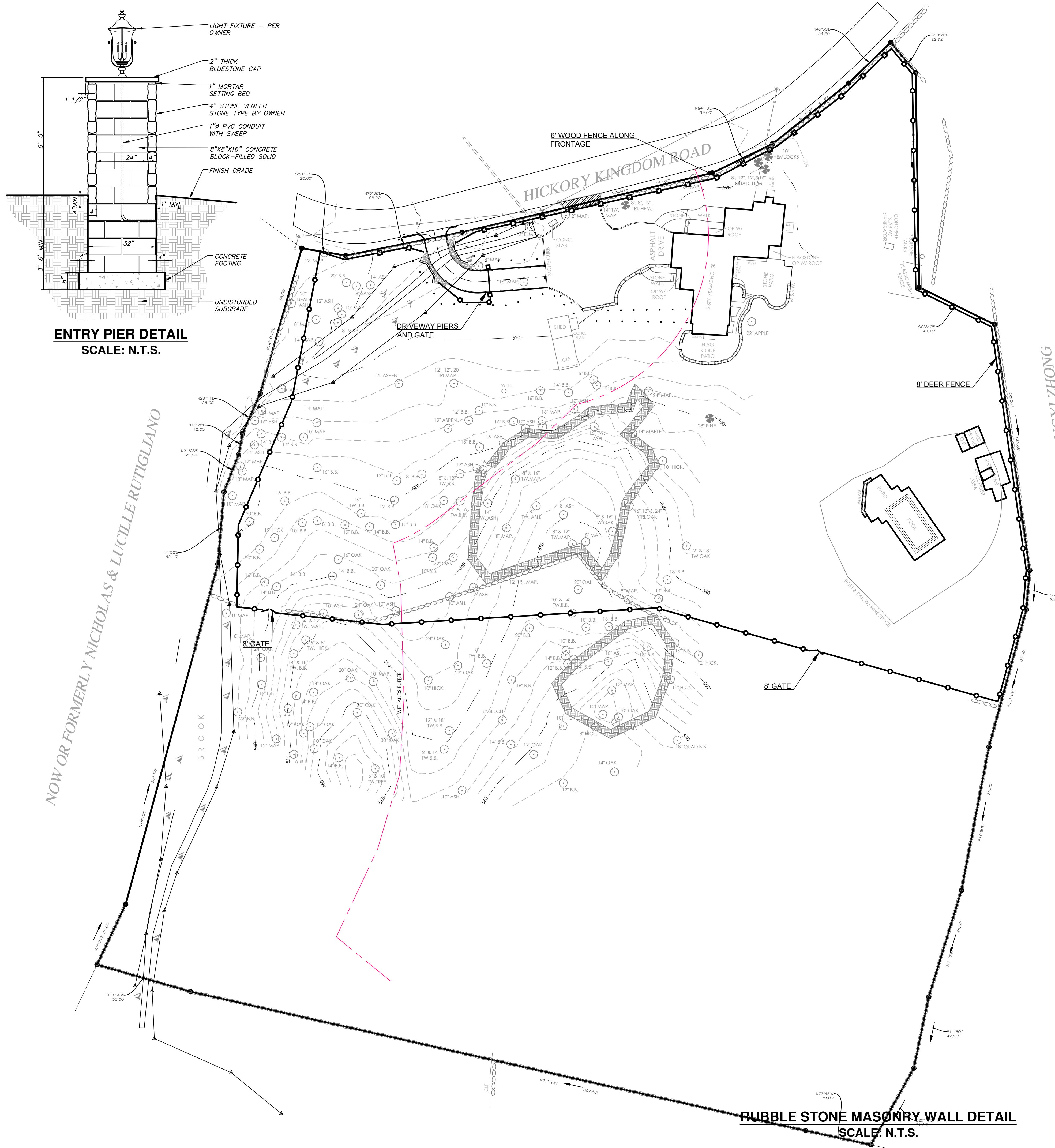
1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): \_\_\_\_\_
2. **Maximum** permitted floor area (per Section 355-26.B(4)): \_\_\_\_\_
3. Amount of floor area contained within first floor:  
- \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
4. Amount of floor area contained within second floor:  
- \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
5. Amount of floor area contained within garage:  
- \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
6. Amount of floor area contained within porches capable of being enclosed:  
- \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
7. Amount of floor area contained within basement (if applicable – see definition):  
- \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
8. Amount of floor area contained within attic (if applicable – see definition):  
- \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
9. Amount of floor area contained within all accessory buildings:  
- \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
10. Proposed **floor area**: Total of Lines 3 – 9 = \_\_\_\_\_

*N/A*

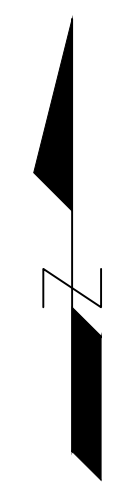
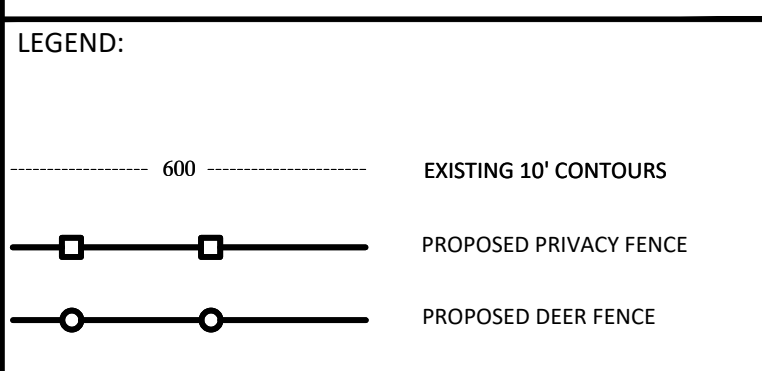
If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

\_\_\_\_\_  
Signature and Seal of Professional Preparing Worksheet

\_\_\_\_\_  
Date



NO.	REVISION	DATE



SCALE: 1" = 30'

Owner	David Kramer 75 Hickory Kingdom Rd Bedford, NY 10506
Site Data	SITE ADDRESS: 75 Hickory Kingdom Rd Bedford, NY 10506 LOT SIZE: 5.34 Acres TAX MAP: 95.04-1-38 ZONING: R-4A



HILDENBRAND ENGINEERING, PLLC  
208 CREAMERY ROAD  
HOPEWELL JUNCTION, NY  
845.206.6994  
Brian@HildenEng.com

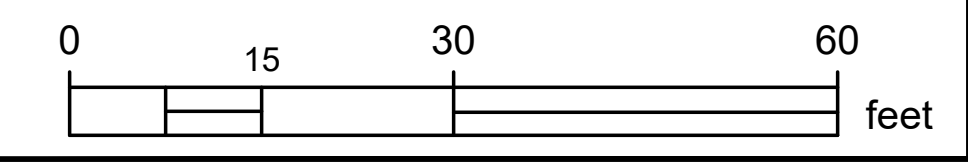
UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT  
© HILDENBRAND ENGINEERING, PLLC

KRAMER RESIDENCE  
TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY

TITLE:  
Site Plan

Scale:	As Shown
Date:	December 1, 2023
Drawn By:	
Checked By:	BJH
Project No.:	
Sheet No.:	1 of 2
Dwg. No.:	C-100

BRIAN HILDENBRAND, P.E.  
LIC# 092974



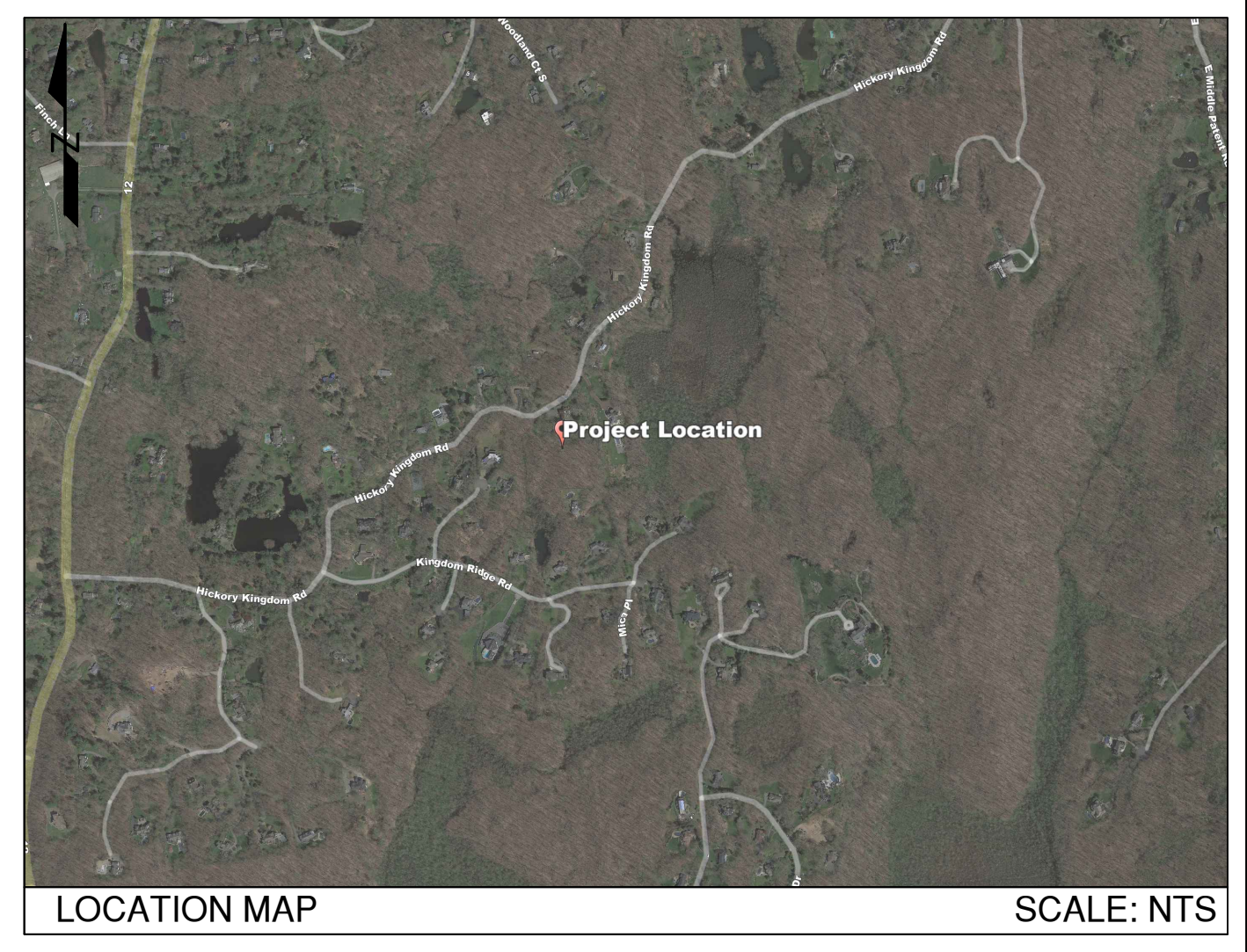


NO.	REVISION	DATE



LEGEND:

	EXISTING 10' CONTOURS
	EXISTING 2' CONTOURS
	PROPOSED 2' CONTOUR



- GENERAL NOTES:**
- LIVE LOAD: HSS
  - CONSTRUCTION AND MATERIALS SPECIFICATIONS: "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS", NYS DOT, OFFICE OF ENGINEERING, DATED MAY 4, 2006, WITH CURRENT ADDITIONS AND MODIFICATIONS.
  - DUE TO THE NATURE OF WORK, ACTUAL CONDITIONS CAN VARY SLIGHTLY FROM SHOWN. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK. ANY DISCREPANCIES BETWEEN ACTUAL DIMENSIONS AND THOSE SHOWN IN THE CONTRACT DOCUMENTS SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ENGINEER.
  - THE CONTRACTOR SHALL BE REQUIRED TO PROTECT WORKERS AT ALL TIMES AS PER OSHA REGULATIONS.
- UTILITY NOTES:**
- OVERHEAD ELECTRICAL LINES ARE IN PROXIMITY TO THE PROJECT SITE.
- EARTHWORK NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION SAFETY FOR ALL OTHER EXCAVATIONS IN ACCORDANCE WITH OSHA AND OTHER APPLICABLE REGULATIONS.
  - IF ROCK IS ENCOUNTERED DURING EXCAVATION FOR STONE FILLING, THE BOTTOM LIMIT OF THE STONE FILLING SHALL BE THE TOP OF ROCK AND THE GEOTEXTILE BEDDING SHALL BE OMITTED FOR THIS CONDITION. THE ELEVATION OF THE TOP OF THE STONE FILLING SHALL REMAIN AS PER THE CONTRACT PLANS.
  - EXCAVATED MATERIAL MAY BE REUSED IF SUITABLE FOR EMBANKMENT. ALL PLACEMENTS OF SELECT STRUCTURE FILL SHALL BE COMPACTED TO 95 PERCENT OF STANDARD PROCTOR MAXIMUM DENSITY.
  - FILLS SHALL BE PLACED SIMULTANEOUSLY, IN CONTACT, ON BOTH SIDES OF A VERTICAL LIMIT LINE.

- WORK INSIDE THE RIGHT-OF-WAY:
- WORK WILL REQUIRE A STREET OPENING PERMIT FROM THE TOWN OF NORTH CASTLE.
- CONSTRUCTION SEQUENCE:**
- THE CONTRACTOR SHALL FLAG THE LIMITS OF DISTURBANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. BRIGHT ORANGE CONSTRUCTION FENCING SHALL BE USED TO DEMARCATATE THE LIMITS OF DISTURBANCE TO ENSURE OVER CLEARING DOES NOT OCCUR.
  - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (E.G. STABILIZED CONSTRUCTION ENTRANCES, SILT FENCING, STORM DRAIN INLET PROTECTION, ETC.) SHALL BE INSTALLED AS SHOWN ON THE PROJECT PLANS. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THEIR TRIBUTARY AREAS.
  - THE WORK ZONE SHALL BE ISOLATED WITH COFFERDAMS TO MAINTAIN A DRY WORK AREA.
  - EXCAVATE FOR NEW CULVERT. PLACE SURPLUS MATERIAL IN THE TEMPORARY SOIL STOCKPILE LOCATIONS SHOWN ON THE PROJECT PLANS.
  - INSTALL NEW CULVERT PIPES PER PLAN AND BACKFILL.
  - INSTALL DRIVEWAY OVER THE CULVERT.
  - FINISH GRADING AND STABILIZE ALL DISTURBED AREAS. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE LEFT IN PLACE TO PREVENT SEDIMENT FROM ENTERING THE STREAM.
  - REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES. IMMEDIATELY STABILIZE THE AREAS DISTURBED DURING THEIR REMOVAL. ESTABLISH PERMANENT VEGETATIVE COVER AND INSTALL ALL LANDSCAPING.

- STREAM NOTES:**
- DISTURBANCE TO THE BED OR BANKS OF THE STREAM SHALL BE KEPT TO THE MINIMUM NECESSARY TO COMPLETE THE PROJECT.
  - THE STREAM WORK SHALL BE STARTED AND COMPLETED IN ONE CONTINUOUS OPERATION.
  - EQUIPMENT OPERATION IN OPEN OR RUNNING WATER IS PROHIBITED.
  - NO PETROLEUM PRODUCTS OR EXCESSIVE AMOUNTS OF SILT, CLAY OR MUD SHALL BE PERMITTED TO ENTER ANY WATER BODY.
  - ANY DEBRIS OR EXCESS MATERIALS, INCLUDING DREDGED SPOILS FROM CONSTRUCTION OF THIS PROJECT SHALL BE IMMEDIATELY AND COMPLETELY REMOVED FROM THE BED AND BANKS OF THE STREAM TO AN APPROPRIATE UPLAND AREA FOR DISPOSAL.
  - IN ALL CASES INVOLVING WORK IN A STREAM, EVERY EFFORT SHALL BE MADE TO RETURN THE STREAM TO THE HIGHEST POSSIBLE STANDARD OF AESTHETIC VALUE AND WATER QUALITY AS DETERMINED BY THE ENGINEER.

- STREAM PROTECTION NOTES:**
- DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL CONDUCT OPERATIONS IN SUCH A MANNER AS TO PREVENT OR REDUCE TO A MINIMUM ANY DAMAGE TO ANY STREAM FROM POLLUTION BY DEBRIS, SEDIMENT OR OTHER FOREIGN MATERIAL. THE STREAM SHALL BE RETURNED TO THE ORIGINAL CONDITIONS, OR BETTER.

SCALE: 1" = 20'

Owner	David Kramer 75 Hickory Kingdom Rd Bedford, NY 10506
Site Data	SITE ADDRESS: 75 Hickory Kingdom Rd Bedford, NY 10506 LOT SIZE: 5.34 Acres TAX MAP: 95.04-1-38 ZONING: R-4A

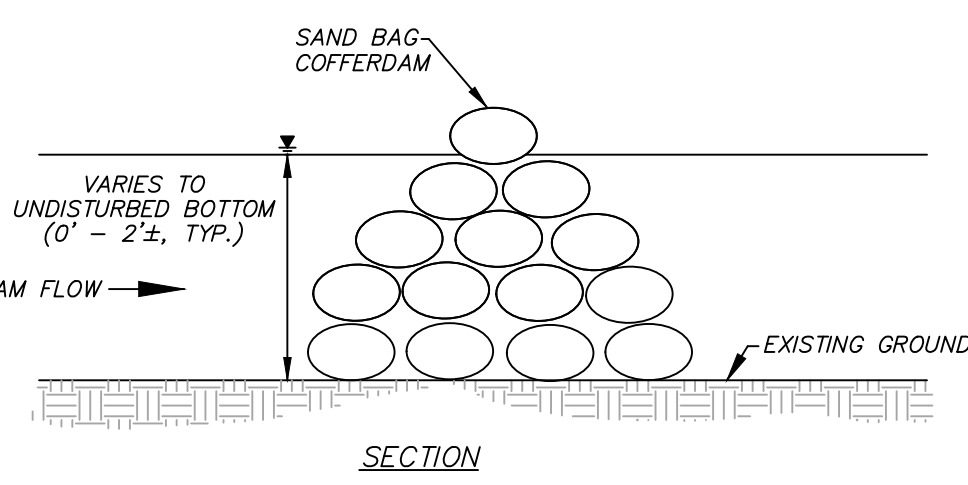
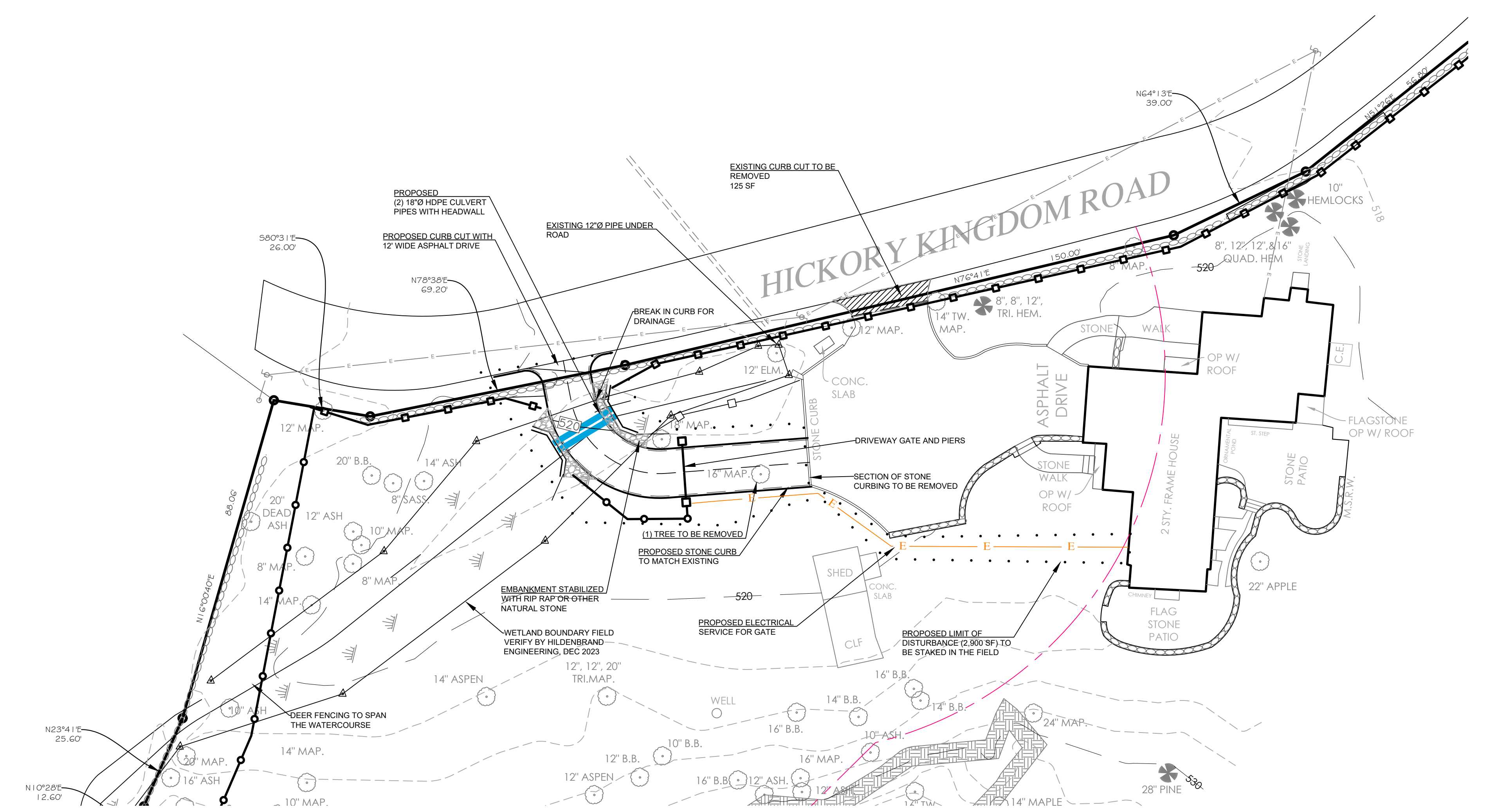


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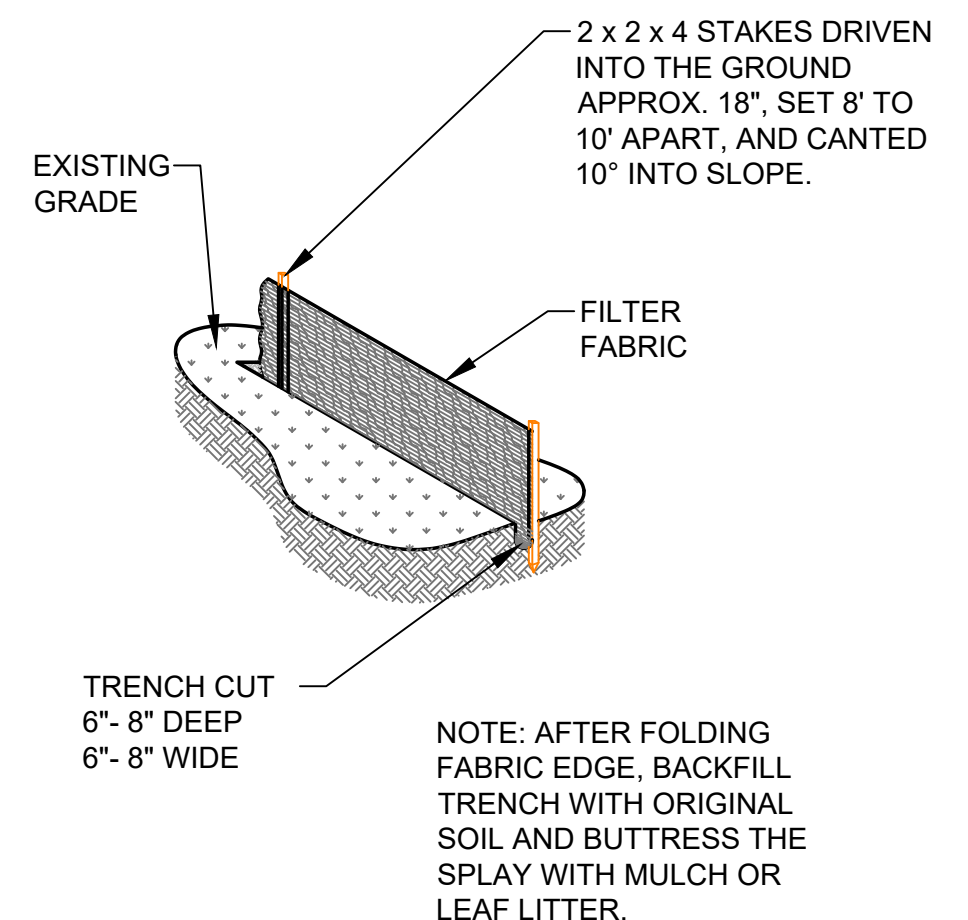
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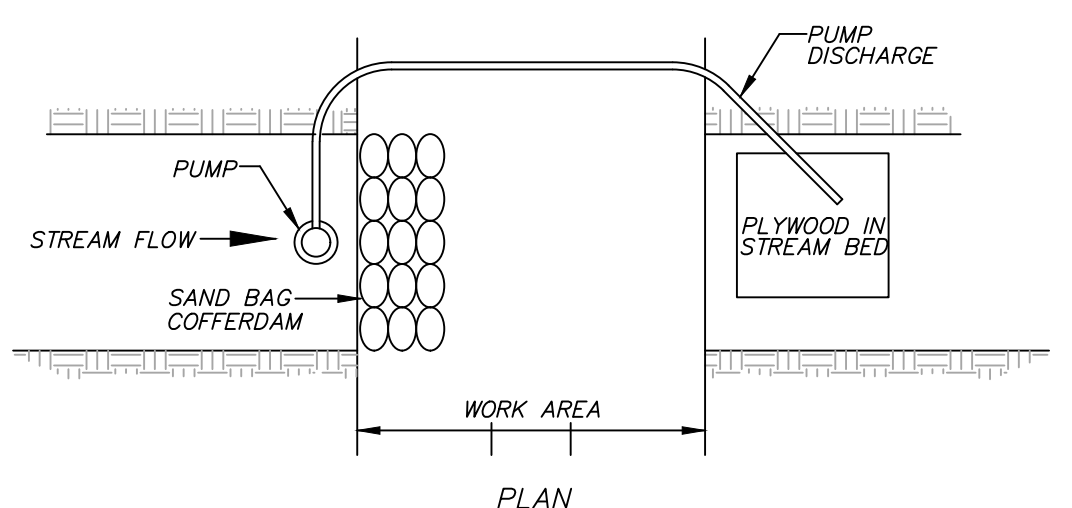
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Scale:	As Shown
Date:	December 1, 2023
Drawn By:	
Checked By:	BJH
Project No.:	
Sheet No.:	2 of 2
Dwg. No.:	C-200
BRIAN HILDENBRAND, P.E. LIC# 092974	



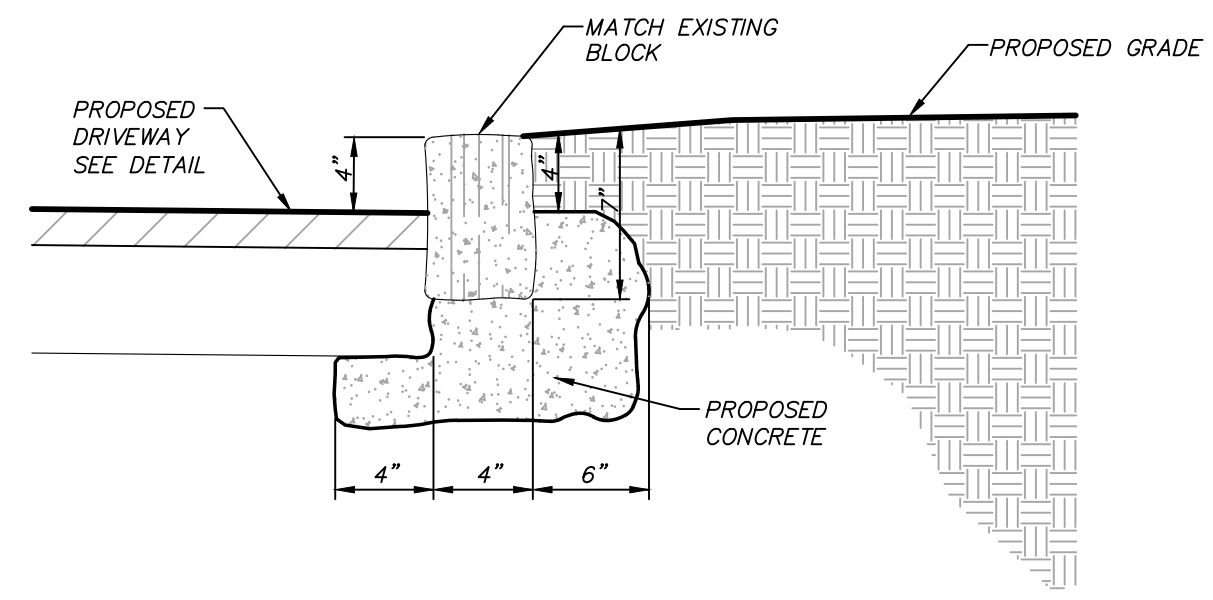
**SAND BAG COFFERDAM DETAIL**  
SCALE: N.T.S.



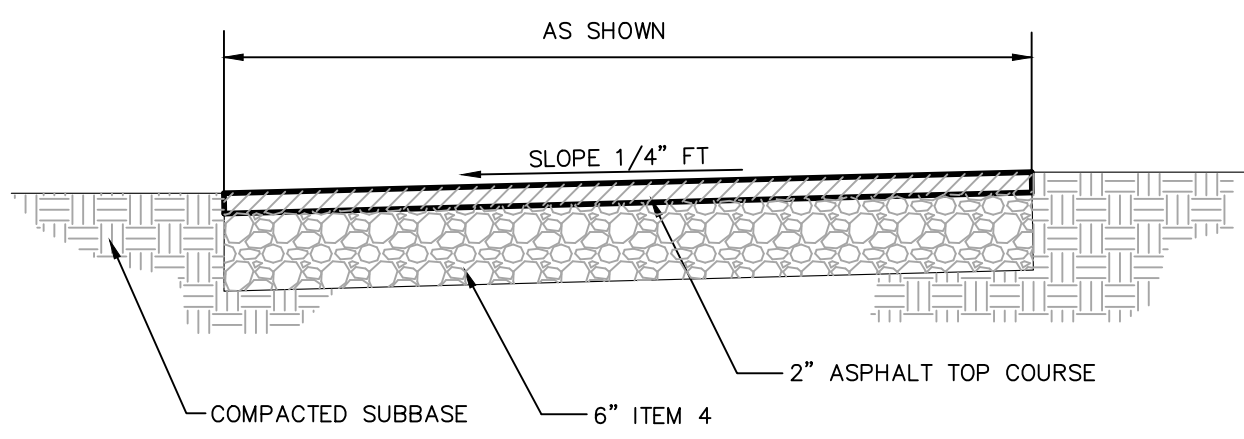
**SILT FENCE DETAIL**  
SCALE: N.T.S.



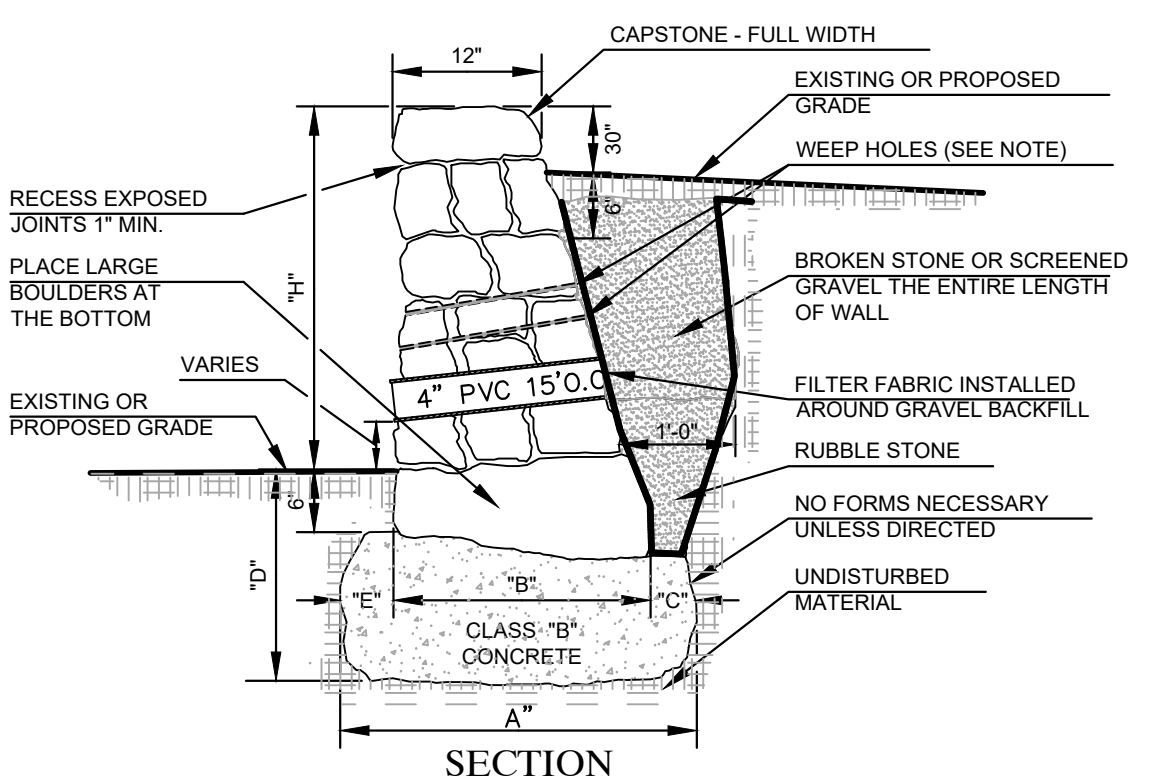
**SAND BAG COFFERDAM DETAIL**  
SCALE: N.T.S.



**BELGIUM BLOCK CURB DETAIL**  
SCALE: N.T.S.



**RESIDENTIAL DRIVEWAY DETAIL**  
SCALE: N.T.S.



H(Ft)	"A"	"B"	"C"	"D"	"E"
1	2'-0"	1'-6"	3'	2'-0"	3'
2	2'-6"	2'-0"	3'	2'-0"	3'
3	3'-2"	2'-6"	4'	3'-0"	4'
4	3'-8"	3'-0"	4'	3'-0"	4'

- NOTES:
- RETAINING WALLS OVER 6FT. IN HEIGHT SHALL BE ENGINEERED OR IN CASE OF ROCK OCCURRENCE; 8 ON 1 ROCK CUT SHALL BE UTILIZED.
  - STAGGER WEEP HOLES 18" O.C. VERTICALLY.

**RUBBLE STONE MASONRY HEADWALL DETAIL**  
SCALE: N.T.S.

