



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 37 WHIPPOORWILL RD, ARMONK NY 10504

Section III- DESCRIPTION OF WORK:

RENOVATIONS TO AN EXISTING SINGLE-FAMILY DWELLING OF APPROXIMATELY 2,243 SF, INVOLVING BOTH INTERIOR AND MINOR EXTERIOR ALTERATIONS. THE WORK AREA ENCOMPASSES AROUND 1,096 SF AND INCLUDES RECONFIGURING THE INTERIOR LAYOUT AND ENCLOSING AN EXISTING COVERED PORCH OF APPROXIMATELY 80 SF.

Section III- CONTACT INFORMATION:

APPLICANT: JONATHAN VELASQUEZ

ADDRESS: 363 WESTCHESTER AVE, PORT CHESTER NY 10573

PHONE: _____ MOBILE: 203.505.4600 EMAIL: jvelasquez@rdstudio-inc.com

PROPERTY OWNER: RACHEL & KEINO CARTY

ADDRESS: 37 WHIPPOORWILL RD, ARMONK NY 10504

PHONE: 203.561.1692 MOBILE: 917.562.5939 EMAIL: rachelandkeino@gmail.com

PROFESSIONAL: ROCCO DILEO

ADDRESS: 363 WESTCHESTER AVE, PORT CHESTER NY 10573

PHONE: _____ MOBILE: 914.774.0534

EMAIL: rdileo@rdstudio-inc.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 107.02-1-9



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

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- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: ROCCO DILEO Date: 01/15/24
 Tax Map Designation or Proposed Lot No.: 107.02-1-9

Gross Lot Coverage

- | | | |
|-----|--|--------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>78,843.6 SF</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>9,709.18 SF</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback | |
| | <u>N/A</u> x 10 = <u>N/A</u> | <u>N/A</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>N/A</u> |
| 5. | Amount of lot area covered by principal building : | |
| | <u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 6. | Amount of lot area covered by accessory buildings : | |
| | <u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 7. | Amount of lot area covered by decks : | |
| | <u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 8. | Amount of lot area covered by porches : | |
| | <u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways : | |
| | <u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 10. | Amount of lot area covered by terraces : | |
| | <u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip : | |
| | <u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 12. | Amount of lot area covered by all other structures : | |
| | <u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>N/A</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.



Signature and Seal of Professional Preparing Worksheet _____ Date 01/15/24

NOTE:
 THE PROPOSED SCOPE OF WORK WILL NOT INCREASE THE EXISTING GROSS LAND COVERAGE;
 THEREFORE, ALL THE REQUIRED AVAILUES IN THIS WORSHEET WERE MARKED AS NON-APPLICABLE (N/A)



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: ROCCO DILEO Date: 01/15/24

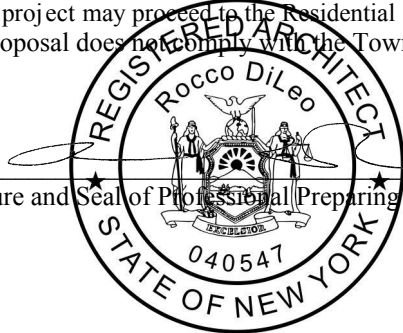
Tax Map Designation or Proposed Lot No.: 107.02-1-9

Floor Area

- | | | |
|-----|---|--------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>78,843.6 SF</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>9,709.18 SF</u> |
| 3. | Amount of floor area contained within first floor:
<u>2,446.98 SF</u> existing + <u>80 SF</u> proposed = | <u>2,526.98 SF</u> |
| 4. | Amount of floor area contained within second floor:
<u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 5. | Amount of floor area contained within garage:
<u>462.24 SF</u> existing + <u>N/A</u> proposed = | <u>462.24 SF</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>611.01 SF</u> existing + <u>N/A</u> proposed = | <u>611.01 SF</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>3,600.65 SF</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



01/15/24

Date

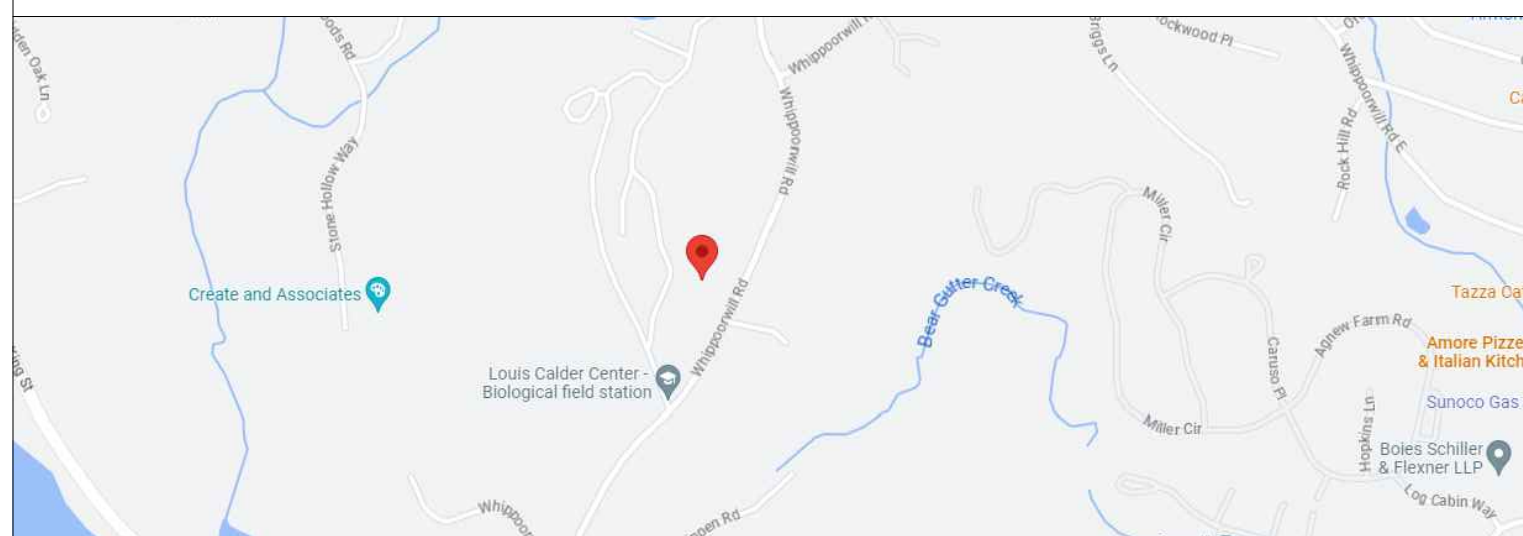
INTERIOR & EXTERIOR ALTERATIONS TO AN EXISTING SINGLE-FAMILY RESIDENCE

FOR:
RACHEL & KEINO CARTY

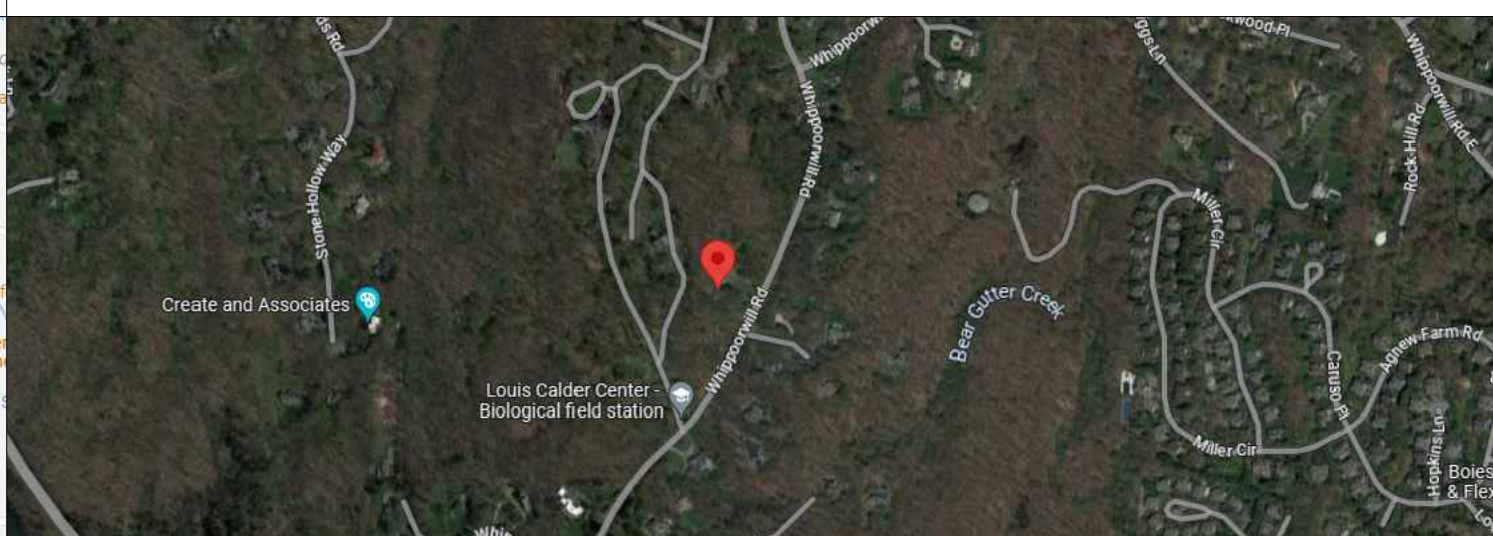
37 WHIPPOORWILL RD, ARMONK NY 10504

ZONE: R-2A SECTION: 107.02 BLOCK: 1 LOT: 9

LOCATION MAP: NTS



AERIAL MAP: NTS



GENERAL SITE PLAN NOTES:

ALL SURVEY INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY:

STEPHANIE E. FOX-ARCHITECT
11 ROSE LANE
BREWSTER, NY 10509
DATED: MAY 13, 2021

- THE ARCHITECT IS NOT RESPONSIBLE FOR ANY SURVEY INFORMATION.
- THE SITE PLAN DRAWING IS INTENDED FOR SITE PLAN AND ARCHITECTURAL PURPOSES AND FOR BIDDING AND CONTRACT PURPOSES. THIS IS NOT TO BE USED AS A LICENSED SURVEY.
- CONTRACTOR/OWNER TO COORDINATE ALL LANDSCAPING AND SITE WORK WITH APPROVED FINAL SITE PLAN, SITE ENGINEERS, LANDSCAPE ARCHITECT, ARCHITECT AND ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT PRIOR TO THE CONSTRUCTION OF ANY SITE WORK.

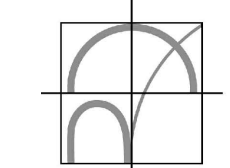
ISSUES:

SUBMITTED FOR PERMIT	2023.11.22
SUBMITTED FOR PERMIT	2024.01.15

DRAWING STATUS:

EXISTING CONDITIONS	<input type="checkbox"/>
PRELIMINARY	<input type="checkbox"/>
BID DRAWINGS	<input type="checkbox"/>
CONTRACT DRAWINGS	<input type="checkbox"/>
PERMIT DRAWINGS	<input checked="" type="checkbox"/>
NOT FOR CONSTRUCTION	<input type="checkbox"/>
CONSTRUCTION DRAWINGS	<input type="checkbox"/>

studio
design + planning



363 westchester ave - port chester - new york - 10573
 E: 914.774.0534 • F: 914.774.0538

GENERAL CONDITIONS:

- THESE DOCUMENTS REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND MAY NOT BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT OF THE ARCHITECT.
- CONTRACTORS SHALL VISIT THE SITE AND BE RESPONSIBLE FOR HAVING RECORDED ALL CONDITIONS WITHIN THE SCOPE OF THE PROJECT. NO CLAIMS FOR EXTRA COMPENSATION, BASED ON IGNORANCE OF VISIBLE OR IMPLIED EXISTING CONDITIONS WILL BE CONSIDERED.
- ALL WORK IS TO CONFORM TO ALL APPLICABLE REQUIREMENTS OF LOCAL GOVERNING CODES, STATE CONSTRUCTION AND ENERGY CONSERVATION CODES, HEALTH CODE, FIRE DEPARTMENT REGULATIONS, FHA FRAMING STANDARDS, OSHA CODES, FHMU AND UTILITY CODES, AND BEST TRADE PRACTICES.
- ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING MATERIAL. DOING ANY WORK. ANY DISCREPANCIES OR ERRORS IN THE PLANS, SPECIFICATIONS, AND/OR DETAILS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS PERMISSIBLE WITHOUT THE CONSENT OF THE ARCHITECT. SHOULD THE CONTRACTOR FAIL TO NOTIFY THE ARCHITECT WITHIN A REASONABLE TIME, HE SHALL BE RESPONSIBLE FOR THE COST OF RECTIFYING SUCH ERRORS.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK, AS DETERMINED BY THE ARCHITECT, SHALL BE INCLUDED IN THE WORK THE SAME AS IF HEREIN SPECIFIED OR INDICATED.
- CONTRACTORS ARE TO FILE INSURANCE CERTIFICATE AND OBTAIN ALL PERMITS, SCHEDULE ALL REQUIRED INSPECTIONS WITH NOTIFICATION TO INSPECTORS AND ARCHITECT, OBTAIN ALL CODE APPROVALS AND FHMU CERTIFICATES, AND FILE FOR AND OBTAIN CERTIFICATE OF OCCUPANCY. NO WORK SHALL START PRIOR TO OBTAINING PERMITS.
- GENERAL CONTRACTOR SHALL CARRY PROPERTY DAMAGE INSURANCE AND PUBLIC LIABILITY INSURANCE. WORKMAN'S COMPENSATION, AUTO INSURANCE, GENERAL LIABILITY AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND AS OWNERS REQUIRE.
- THE ARCHITECT HAS INDICATED AND ESTIMATED CERTAIN CONDITIONS, EITHER NOT SHOWN OR NOT CONSIDERED RELIABLE ON OLDER DRAWINGS FURNISHED TO ARCHITECT BY OWNER, OR NOT MEASURABLE DUE TO TOTAL ABSENCE OF ANY DRAWINGS, OR TOO INACCESSIBLE TO ACCESSIBLE TO VERIFY IN THE FIELD PRIOR TO PREPARING DRAWINGS. THE ARCHITECT THEREFORE TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THESE DRAWINGS FOR BIDDING SCOPE ONLY, AND WILL FURNISH MORE DETAILED INFORMATION LATER WHEN AREAS ARE ACTUALLY ACCESSIBLE AND MEASURABLE BY THE CONTRACTOR. ANY WORK THAT MUST BE DONE ADDITIONALLY IN AREAS WHERE INFORMATION OR INDICATIONS WHERE WORK IN LAID OUT, SHALL BE BILLED TO THE OWNER AS AN EXTRA CHARGE, SUBJECT TO THE ARCHITECT'S APPROVAL OF AN ITEMIZED COST BREAKDOWN.
- CONTRACTORS SHALL COORDINATE ALL WORK PROCEDURES AND WORKING HOURS WITH LOCAL AUTHORITIES, NEIGHBORHOOD ASSOCIATIONS, AND ANY OTHER GOVERNING AUTHORITIES.
- ALL INDICATED SURVEY MATERIAL IS FOR GENERAL REFERENCE ONLY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR CORRECTNESS OF ANY OF THE INDICATED MATERIAL.
- CONTRACTORS SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING AND NEW CONDITIONS AND MATERIALS WITHIN AND ADJACENT TO THE CONSTRUCTION AREA. ANY DAMAGE CAUSED BY THE EXECUTION OF THE WORK INDICATED OR IMPLIED HEREIN SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S SOLE EXPENSE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF CONSTRUCTION DEBRIS, RUBBISH AND OFF SITE DISPOSAL IN A RESPONSIBLE MANNER.
- CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
- DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY.
- CONTRACTOR SHALL LAY OUT WORK AND BE RESPONSIBLE FOR ITS CORRECTNESS AND SAFETY, AND SHALL GIVE NECESSARY DIMENSIONS TO ALL PARTIES.
- BY STARTING ANY WORK, CONTRACTOR SIGNIFIES ACCEPTANCE OF THE PREVIOUSLY INSTALLED MATERIALS AND FRAMING, AND WAIVES ANY RIGHT TO BLAME PRIOR WORK FOR ANY DEFECTS IN HIS OWN WORK.
- CONTRACTOR TO ORDER SPECIFIC MATERIALS INDICATED HEREIN IMMEDIATELY AFTER BEING AUTHORIZED TO PROCEED. THE SUBSTITUTIONS PERMITTED WITHOUT APPROVAL OF THE ARCHITECT, AND CONTRACTOR WILL BE HELD LIABLE FOR DELAYS CAUSED BY CONTRACTOR'S FAILURE TO ORDER MATERIAL PROMPTLY.
- CONTRACTOR IS TO DESIGN AND INSTALL ADEQUATE AND CODE APPROVED SHORING AND BRACING WHERE NEEDED TO SAFELY COMPLETE STRUCTURAL WORK. CONTRACTOR TO ASSUME FULL AND SOLE RESPONSIBILITY FOR STRUCTURAL ADEQUACY OF THE SHORING, AND FOR ANY INJURIES, DAMAGE, CRACKS, OR DEFECTS CAUSED BY SHORING OR BRACING, AND SHALL REPAIR ALL SUCH DAMAGE AT HIS SOLE EXPENSE.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL PAYMENT. THE GENERAL CONTRACTOR IS TO FURNISH WRITTEN GUARANTEE ON HIS WORK AND ALL SUBCONTRACTORS WORK, AGAINST DEFECTS RESULTING FROM THE USE OF INTERIOR MATERIALS, EQUIPMENT, OR WORKMANSHIP, AS DETERMINED SOLELY BY THE ARCHITECT. ALL SUCH DEFECTS ARE TO BE REPLACED OR REPAIRED, COMPLETE WITH LABOR AND MATERIALS, AT NO COST TO OWNER.
- SUBSTITUTIONS OF EQUIPMENT OR MATERIALS OTHER THAN THOSE SHOWN ON THE DRAWINGS OR IN THE SPECIFICATIONS SHALL BE MADE ONLY UPON APPROVAL OF THE ARCHITECT OR OWNER AS NOTED ON THE DRAWINGS OR IN THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT HIS SUBSTITUTION FOR APPROVAL BEFORE RELEASING ANY ORDER FOR FABRICATION AND/OR SHIPMENTS. THE ARCHITECT RESERVES THE RIGHT TO DISAPPROVE SUCH SUBSTITUTION, PROVIDED IN HIS SOLE OPINION, THE ITEM OFFERED IS NOT EQUAL TO THE ITEM SPECIFIED. WHERE A CONTRACTOR PURPOSES TO USE AN ITEM OTHER THAN THAT SPECIFIED OR DETAILED ON THE DRAWINGS, WHICH REQUIRES ANY REDESIGN OF THE STRUCTURE, PARTITIONS, PIPING, WIRING OR OF ANY OTHER PART OF THE MECHANICAL, ELECTRICAL, OR ARCHITECTURAL LAYOUT, ALL SUCH REDESIGN, AND ALL NEW DRAWINGS AND DETAILING REQUIRED THEREOF SHALL, WITH THE APPROVAL OF THE ARCHITECT, BE PREPARED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL WORK SHALL BE INSTALLED SO THAT ALL PARTS REQUIRED ARE READILY ACCESSIBLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR. MINOR DEVIATIONS FROM THE DRAWINGS MAY BE MADE TO ACCOMPLISH THIS, BUT CHANGES OF MAGNITUDE SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT.
- UPON COMPLETION OF THE WORK, THE ENTIRE PROJECT IS TO BE COMPLETELY CLEANED AND THE SITE RESTORED TO EXISTING CONDITION, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
 - COMPLETE SWEEPING OF ALL AREAS, AND REMOVAL OF ALL RUBBISH AND DEBRIS, EXCEPT THAT CAUSED BY OWNER OR OTHER DOING N.C. WORK.
 - REMOVAL OF ALL LABELS FROM GLASS, FIXTURES, AND EQUIPMENT, ETC. AND SPRAY CLEANING OF ALL GLASS/MIRRORS.
 - REMOVAL OF STAINS, AND PAINT FROM GLASS, HARDWARE, FINISHED FLOORING, CABINETS, ETC.
 - PROFESSIONAL INTERIOR AND EXTERIOR FINAL CLEANING OF THE ENTIRE STRUCTURE.
 - RESTORATION OF PROPERTY BY RETURNING SHRUBS TO ORIGINAL LOCATIONS, FILLING OF ALL RUTS, RAKE TOPSOIL, PLANT GRASS SEED ON DAMAGED LAWN AREAS AND REPAIRS TO DAMAGED BACKTOP.
- UNLESS OTHERWISE NOTED, MATERIALS SHALL BE PREPARED, INSTALLED, FITTED, AND ADJUSTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, DETAILS, AND RECOMMENDATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS RESPONSIBILITY DURING THE PROGRESS OF THE PROJECT.
- GENERAL CONTRACTORS TO NOTIFY THE ARCHITECT OF ANY UNFORESEEN CONDITIONS ARISE DURING CONSTRUCTION.
- GENERAL CONTRACTORS SHALL COORDINATE WITH THE VARIOUS TRADES INVOLVED IN THE CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL PROTECT AND NOT DAMAGE TREES, PLANTINGS OR SHRUBS WHERE CONSTRUCTION WORK IS REQUIRED AT THE EXISTING EXTERIOR OF THE BUILDING.
- THE ENTIRE WORK AREA SHALL BE DELIVERED TO THE OWNER IN PROPER WORKING CONDITIONS.

MATERIAL LEGEND

	Earth
	Concrete
	Concrete Block
	Brick
	Marble
	Plywood
	Metal
	Wood Finish
	Wood Rough
	Insulation
	Rigid Insulation
	Glazing/Mirror
	Gravel

PROJECT DESCRIPTION

RENOVATIONS TO AN EXISTING SINGLE-FAMILY DWELLING OF APPROXIMATELY 2,446.98 SF, INVOLVING BOTH INTERIOR AND MINOR EXTERIOR ALTERATIONS. THE WORK AREA ENCOMPASSES AROUND 1,976 SF AND INCLUDES RECONFIGURING THE INTERIOR LAYOUT AND ENCLOSING AN EXISTING COVERED PORCH OF APPROXIMATELY 80 SF.

CODE SUMMARY

ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF NORTH CASTLE CODES & ORDINANCES.

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED (REGISTERED ARCHITECT), THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AS CURRENTLY IN EFFECT.

NEW YORK STATE APPLICABLE BUILDING CODES:	2020 BUILDING CODE OF NEW YORK STATE
BUILDING	2020 RESIDENTIAL CODE OF NEW YORK STATE
	2020 NYS UNIFORM CODE SUPPLEMENT
EXISTING BUILDING	2020 EXISTING BUILDING CODE OF NEW YORK STATE
FIRE	2022 FIRE CODE OF NEW YORK STATE
PLUMBING	2020 PLUMBING CODE OF NEW YORK STATE
MECHANICAL	2020 MECHANICAL CODE OF NEW YORK STATE
FUEL GAS	2020 FUEL GAS CODE OF NEW YORK STATE
ENERGY	2020 ENERGY CONSERVATION CODE OF NEW YORK STATE
PROPERTY MAINTENANCE	2020 PROPERTY MAINTENANCE CODE OF NEW YORK STATE
ELECTRICAL	2017 NATIONAL ELECTRICAL CODE
ACCESSIBILITY	ANSI/A117.1

USE AND OCCUPANCY CLASSIFICATION:
SINGLE FAMILY RESIDENCE: R-3 (IBC: 310.5)

CONSTRUCTION TYPE:
TYPE VB (IBC: TABLE 601)

CLASSIFICATION OF WORK (IBC: CHAPTER 5)
ALTERATION LEVEL 2

ABBREVIATION LEGEND

AC/OST	ACCOUSTICAL	LAM	LAMINATE
ADA	AMERICANS WITH DISABILITIES ACT	L.F.	LINEAR FEET
ADJ	ADJUSTABLE	LG/HT	LENGTH
AF	ABOVE FINISHED FLOOR	LT	LIGHT
ALU/ALUM	ALUMINUM	LAV	LAVATORY
ACT	ACCOUSTICAL CEILING TILE	MATL	MATERIAL
ARCH	ARCHITECTURAL/ARCHITECT	MFR	MANUFACTURER
AHU	AIR HANDLER UNIT	M.O.	MASONRY OPENING
		MEL	METAL
		MILL	MILLION
BRD	BOARD	NI	NEW
BLK	BLOCK	N/A	NOT APPLICABLE
BS	BUILDING STANDARD	N.L.C.	NOT IN CONTRACT
		NSF	NET SQUARE FOOTAGE
CHR	CHAIR RAIL	NSP	NOT TO SCALE
CJ	CONTROL JOINT		
CL	CENTER LINE		
CLG	CEILING	O.A.	OVER ALL
CLR	CLEAR	O.C.	ON CENTER
CMU	CONCRETE MASONRY UNIT	O.D.	OUTSIDE DIAMETER
CRM	CROWN MOLD	O.F.	OVERFLOW
COL	COLUMN	O.H.	OPPOSITE HAND
CONC	CONCRETE	PANEL	PANEL
CONSTR	CONSTRUCTION CONTRACTOR	P.F.	PRE-CAST MASONRY UNIT
CONTR	CONTRACTOR	PLY	POLISHED
CONT	CONTINUOUS	PROJ	PROJECT/PROJECTION
CPT	CARPET	DOWN	DOWN
CT	CERAMIC TILE	P.T.	PRESSURE TREATED
		QTY	QUANTITY
DF	DRINKING FOUNTAIN	R	RELOCATED
DIA	DIAMETER	RB	RUBBER BASE
DAG	DIAGONAL	RCP	REFLECTED CEILING PLAN
DMA	DIAMENSION	RAD	RADIUS
DN	DOWN	RECPT	RECEPTACLE
D	DEPTH	R.O.	ROUGH OPENING
DR	DOOR	R.S.F.	RENTABLE SQUARE FOOTAGE
DS	DOWN SPOUT	R.T.U.	ROOF TOP UNIT
DT/DET	DETAIL	S.C.	SOLID CORE
		SCHED.	SCHEDULE
ELEC	ELECTRICAL	SEC	SECTION
ELEV	ELEVATOR/ELEVATOR	S.F.	SQUARE FOOT/ SQUARE FOOTAGE
EMER	EMERGENCY	SMB	SIMILAR
ENT	ENTRANCE	SPEC.	SPECIFY SPECIFIED
EP	EPOXY	SQ	SQUARE
EQ	EQUAL	S.S.	STAINLESS STEEL
EQ	EQUAL	STD	STANDARD
EW	ELECTRIC WATER COOLER	STL	STEEL
(E)EXIST	EXISTING	SUSP	SUSPENDED
EXP. JL	EXPANSION JOINT	TEL	TELEPHONE
EXT	EXTERIOR	TEMP	TEMPERED
		THRESHHOLD	THRESHOLD
FA	FIRE ALARM	T.O.	TO TOP OF
FEC	FIRE EXTINGUISHER CABINET	T.O.S.	TO TOP OF STEEL/SLAB
FID	FLOOR DRAIN	T.O.W.	TO TOP OF WALL
FIX	FIXTURE	TYP	TYPICAL
FLOOR	FLOOR/FLOOR	TME	TO MATCH EXISTING
FT	FOOT/FEET		
FUR	FURRED/FURRING	UC	UNDERCUT
FWC	FABRIC WALL COVERING	U.L.A.	UL APPROVED
FRP	FIBERGLASS REIN. PLASTIC	U.L.	UNLESS OTHERWISE NOTED
		U.S.F.	USABLE SQUARE FOOTAGE
		US	UNDERSIDE
		V.J.F.	VERIFY IN FIELD
		VOL	VOLUME
GLZ	GLAZED CERAMIC TILE	VCT	VINYL COMPOSITION TILE
GL	GLASS/GLAZED	V.T.	VINYL TILE
GRD	GROUNDING	V.W.C.	VINYL WALL COVERING
GSF	GROSS SQUARE FOOTAGE		
GYP	GYPNUM		
GWB	GYPNUM WALL BOARD		
H.C.	HOLLOW CORE		
HD	HEAD		
HDW	HARDWARE		
HDWD	HARDWOOD		
H.D.	HIGH INTENSITY DISCHARGE		
HA	HOLLOW METAL		
HTH	HEIGHT		
H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING		
LD	INSIDE DIAMETER		
IN	INCH		
INCAND	INCANDESCENT		
INSUL	INSULATION		
J.C.	JANITOR CLOSET		
JBOX	JUNCTION BOX		

PROJECT DIRECTORY

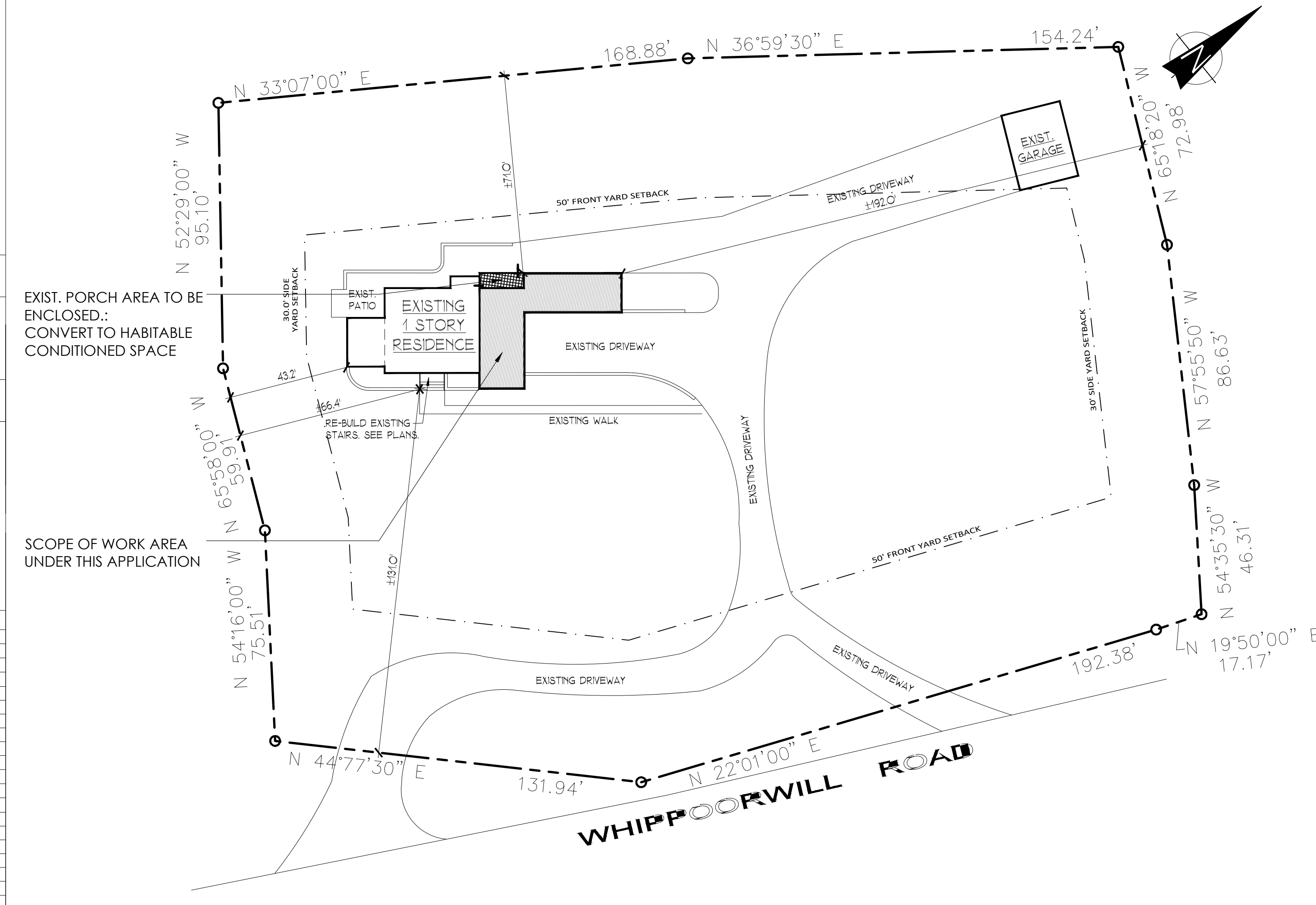
OWNER/CLIENT	ARCHITECT	BUILDING DEPARTMENT
RACHEL & KEINO CARTY 37 WHIPPOORWILL RD. ARMONK, NY 10504 T: 914.774.0534 E: RACHELANKENEN@GMAIL.COM	ROCCO DILEO ROCCODILEO.ARC 363 WESTCHESTER AVENUE PORT CHESTER, NY 10573 T: 914.774.0534 E: RDILEO@NORTHCASTLE.NY.COM	TOWN OF NORTH CASTLE BUILDING DEPT. 17 BEDFORD ROAD ARMONK, NY 10504 T: 914.774.0534 E: BUILDING@NORTHCASTLE.NY.COM

DRAWING LIST

		11-22-23 SUBMITTED FOR PERMIT	
		01-15-24 SUBMITTED FOR RIRC	
ARCHITECTURE:			
A-001	GENERAL CONDITIONS; CODE SUMMARY; SITE PLAN	●	●
A-002	GENERAL CONSTRUCTION NOTES	●	●
A-003	GROSS FLOOR AREA CALCULATIONS	●	●
A-101	FLOOR PLANS	●	●
A-102	RCP	●	●
A-201	EXTERIOR ELEVATIONS; DETAILS	●	●
A-301	CROSS SECTIONS	●	●

STRUCTURAL DESIGN CRITERIA

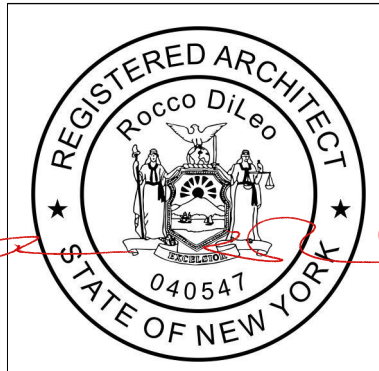
SOIL BEARING CAPACITY:	3,000 PSI
CONCRETE FOOTINGS:	3,000 PSI
CONCRETE SLABS ON GRADE/COMPACTED FILL:	3,000 PSI
DEFLECTION LIMITS (IRBC: 1604.3):	L/360
LIVE LOADS (IRBC: TABLE 1607.1):	
FIRST FLOOR LEVEL	40 PSF
ROOF	30 PSF
STRUCTURAL STEEL MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING SPECIFICATIONS UNLESS NOTED OTHERWISE: STRUCTURAL STEEL - ASTM A992 GRADE 50 U.L. STEEL PLATES - ASTM A36 U.L. // HIGH STRENGTH BOLTS ASTM A325, GALVANIZED NUTS - ASTM A563 GALVANIZED // WELDING ELECTRODES - AWS CLASS E70	



1 SITE PLAN
SCALE: 1" = 30'-0"

INTERIOR & EXTERIOR ALTERATIONS TO EXISTING SINGLE FAMILY RESIDENCE FOR:
RACHEL & KEINO CARTY
 37 WHIPPOORWILL RD, ARMONK NY 10504
 GENERAL CONDITIONS; CODE SUMMARY; SITE PLAN

Design Professionals' seal, certificate of digital seal or signature is effective only as the result of this document being digitally signed by the Design Professional. Design Professionals are not responsible for any alterations or additions to the drawings after the date of signature. Contact Design Professionals for more information.



DRAWN: JV
CHECKED: RD
JOB NO: 2305
DATE: 01.20.2023

A-001

GENERAL CONSTRUCTION NOTES:

- ALL DIMENSIONS GIVEN ARE TO ROUGH OPENINGS AND/OR FRAMING.
- THESE DRAWINGS ARE TO SHOW AS CLOSE AS POSSIBLE ALL CONDITIONS OF THE EXISTING STRUCTURE. ALL CONSTRUCTION AND STRUCTURE THAT WAS NOT ACCESSIBLE ARE SHOWN IN ASSUMED LOCATIONS AND APPROXIMATE SIZE. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THESE CONDITIONS FOR ANY CONSTRUCTION MEANS, METHODS, MATERIALS, ETC.
- THE ARCHITECT HAS NO RESPONSIBILITY FOR THE ORIGINAL CONSTRUCTION, STRUCTURE, LOCATIONS OF THE STRUCTURE AND ANY CONDITIONS THAT ARE NOT VISIBLE. THE ARCHITECT IS SOLELY RESPONSIBLE FOR THE PROPOSED SCOPE OF WORK IN THESE DRAWINGS
- THE ARCHITECT DOES NOT HAVE CONSTRUCTION SUPERVISION RESPONSIBILITY AND HERE BY LIMITS THE RESPONSIBILITY TO THE INFORMATION PROVIDED WITHIN.
- CONTRACTOR/OWNER AND TRADES TO FILE AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE JURISDICTION HAVING AUTHORITY OVER THE PROJECT.
- CONTRACTOR/OWNER TO SCHEDULE AND PAY FOR ALL INSPECTIONS AS REQUIRED BY THE JURISDICTION HAVING AUTHORITY OVER THE PROJECT.
- THE PLUMBING AND ELECTRICAL CONTRACTORS MUST BE LICENSED BY THE WESTCHESTER DEPARTMENT OF CONSUMER PROTECTION TO OPERATE IN THE COUNTY OF WESTCHESTER, NY.

- ALL PLUMBING & ELECTRICAL WORK TO MEET ALL LOCAL, STATE, AND FEDERAL CODE.
- ELECTRICAL AND PLUMBING CONTRACTOR TO VERIFY ALL EXISTING ELECTRICAL AND PLUMBING TO REMAIN IS CODE COMPLIANT.
- GENERAL CONTRACTOR TO NOTIFY OWNER AND ARCHITECT OF ANY UNFORESEEN CONDITIONS THAT MAY ARISE.
- ALL ITEMS INDICATED IN THESE DRAWINGS AS 'TO BE SELECTED BY OWNER' WILL BE GIVEN AN ALLOWANCE BY THE CONTRACTOR. CONTRACTORS WILL BE RESPONSIBLE FOR SUPPLYING & INSTALLING ALL ITEMS INDICATED IN THESE DRAWINGS AS 'TO BE SELECTED BY OWNER'.
- ALL NEW PAINT TO BE SELECTED BY OWNER.
- ALL NEW FLOOR & WALL TILE TO BE SELECTED BY OWNER.
- ALL NEW INTERIOR DOOR HARDWARE TO BE SELECTED BY OWNER.
- UNLESS NOTED OTHERWISE ALL INTERIOR & EXTERIOR FINISH MATERIAL TO BE SELECTED BY OWNER.
- ALL SHOWER GLASS TO BE LASER OR ACID ETCHED TEMPERED GLASS.
- UNLESS NOTED OTHERWISE ALL EXISTING ELEMENTS DISTURBED BY CONSTRUCTION IS TO BE PATCHED & REPAIRED TO MATCH EXISTING BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE TO MODIFY ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION DEVICES AND FIXTURES, AS WELL AS, EXISTING FINISHES TO REMAIN TO PROPERLY ACCOMMODATE AND INTEGRATE THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS.

GENERAL DEMOLITION NOTES:

- CONTRACTOR TO PERFORM ALL DEMOLITION WORK TO ACCOMMODATE NEW CONSTRUCTION, UNLESS NOTED OTHERWISE.
- THESE DRAWINGS ARE TO SHOW AS CLOSE AS POSSIBLE ALL CONDITIONS OF THE EXISTING STRUCTURE. ALL CONSTRUCTION AND STRUCTURE THAT WAS NOT ACCESSIBLE ARE SHOWN IN ASSUMED LOCATIONS AND APPROXIMATE SIZE. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THESE CONDITIONS FOR ANY CONSTRUCTION MEANS, METHODS, MATERIALS, ETC.
- IN ANY CONDITION THE CONTRACTOR IS NOT TO REMOVE ANY STRUCTURAL WALLS, STRUCTURAL COLUMNS, STRUCTURAL BEAMS, PRIOR TO INSTALLING ADEQUATE SHORING AND/OR BRACING.
- CONTRACTOR IS TO DESIGN AND INSTALL ADEQUATE AND CODE COMPLIANT SHORING AND/OR BRACING WHERE NEEDED TO SAFELY COMPLETE STRUCTURAL WORK. CONTRACTOR TO ASSUME FULL AND SOLE RESPONSIBILITY FOR STRUCTURAL ADEQUACY OF THE SHORING, AND FOR ANY INJURIES, DAMAGE, CRACKS, OR DEFECTS CAUSED BY SHORING AND/OR BRACING, AND SHALL REPAIR ALL SUCH DAMAGE AS THE CONTRACTOR'S SOLE EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING & NEW CONDITIONS. ANY DAMAGE CAUSED BY THE EXECUTION OF THE WORK INDICATED OR IMPLIED HEREIN SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S SOLE EXPENSE.
- CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING THE PREMISES FROM ENTRY OF UNAUTHORIZED PARTIES.
- CONTRACTOR TO REPLACE AND/OR REPAIR ALL EXISTING STUDS, JOISTS, SUB-FLOORING, PLUMBING, ELECTRICAL, HVAC, THAT IS DAMAGED, ROTTED, OR NOT CODE COMPLIANT. THESE CONDITIONS ARE CONSIDERED UNFORESEEN CONDITIONS AND THE CONTRACTOR WILL BE COMPENSATED FOR ADDITIONAL WORK UPON THE APPROVAL FROM BOTH THE DESIGNER/OWNER.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY TO SUITABLY SCREEN DEMOLITION WORK FROM OTHER SPACES WITHIN DWELLING.
- ANY ASBESTOS AND/OR LEAD PAINT ENCOUNTERED DURING CONSTRUCTION SHALL BE REMOVED BY A LICENSED ASBESTOS CONTRACTOR AND/OR LICENSED LEAD PAINT CONTRACTOR IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL CODES AT THE OWNERS EXPENSE.
- CONTRACTOR TO CAREFULLY PROTECT ALL FIRE ALARM AND SPRINKLER SYSTEMS DURING CONSTRUCTION, SUCH THAT THESE SYSTEMS REMAIN OPERABLE AND FUNCTIONAL FOR THE COURSE OF THE PROJECT. ALL FINAL CONNECTIONS/DISCONNECTIONS OF FIRE ALARM AND SPRINKLER SYSTEM SHALL BE PERFORMED BY THE LICENSED CONTRACTOR.
- ALL ELECTRICAL & PLUMBING DEMOLITIONS MUST BE PERFORMED BY A LICENSED ELECTRICIAN AND LICENSED PLUMBER. ALL ELECTRICAL & PLUMBING DEMOLITION MUST CONFORM TO ALL CITY, STATE AND FEDERAL CODE.

SMOKE ALARMS NOTE:
ALL SMOKE ALARMS MUST BE INTERCONNECTED, HARD WIRED AND CONNECTED TO ADDITIONAL SMOKE ALARMS THROUGHOUT THE DWELLING IN ACCORDANCE WITH SECTION R314.4 OF THE 2020 RESIDENTIAL CODE OF NYS

CARBON MONOXIDE DETECTOR NOTE:
CARBON MONOXIDE DETECTORS MUST BE INTERCONNECTED AND HARD WIRED TO THE ADDITIONAL CARBON MONOXIDE ALARMS THROUGHOUT THE DWELLING IN ACCORDANCE WITH THE CODE.

STRUCTURAL/FRAMING NOTES:

- ALL POST BEARING CONDITIONS SHALL RECEIVE SOLID BEARING OF THE SAME SIZE OR GREATER DOWN TO THE FOUNDATION WALLS OR BEARING BEAM BELOW. VERIFY ALL CONDITIONS IN FIELD WITH ARCHITECT.
- ALL POST BEARING CONDITIONS TO RECEIVE ADDITIONAL STUDS FOR TOTAL POST DIMENSION TO EQUAL OR SURPASS SUPPORTED BEAM THICKNESS. IF THIS CONDITION CAN NOT BE MET, VERIFY BEARING PLATE OR OTHER CONNECTION WITH ARCHITECT IN FIELD.
- UNLESS OTHERWISE INDICATED ALL EXTERIOR/INTERIOR WINDOWS, EXTERIOR/INTERIOR DOORS & EXTERIOR/INTERIOR OPENINGS SHALL HAVE MINIMUM (3) 2 X 10 HEADER WITH 1/2" PLYWOOD SPACERS BETWEEN AT 2 X 6 WALLS & (2) 2 X 10 HEADER WITH 1/2" PLYWOOD SPACER AT 2 X 4 WALLS. IF THIS CONDITION CAN NOT BE MET, VERIFY WITH ARCHITECT IN FIELD.
- ALL NEW PARTITIONS RUNNING PARALLEL TO EXISTING/NEW JOISTS BELOW SHALL RECEIVE DOUBLE JOISTS CENTERED ON NEW PARTITION. VERIFY ALL CONDITIONS IN FIELD WITH ARCHITECT.
- FOR JOISTS SPANNING 10'-0" OR MORE, INSTALL ONE (1) ROW OF SOLID CROSS BRIDGING @ MID-SPAN. FOR JOISTS SPANNING 20'-0" OR MORE, INSTALL TWO (2) ROWS OF SOLID CROSS BRIDGING @ 1/2 SPAN.
- ALL DROPPED SOFFITS ARE TO BE FRAMED W/ 2 X 4 FRAMING @ 16" O.C. UNLESS NOTED OTHERWISE. DROPPED SOFFIT FRAMING TO BE SISTERS TO EXIST. CEILING JOISTS & EXIST. WALL STUDS AND SECURED W/ MIN (4) 10d NAILS.
- ALL 'ALIGN' INDICATORS ON PLANS, SECTIONS & ELEVATIONS ARE TO IMPLY THAT BOTH SIDES OF ALL NEW ROUGH FRAMING & FINISHES ARE TO ALIGN WITH BOTH SIDES OF ALL EXIST. ROUGH FRAMING & FINISHES. VERIFY ALL CONDITIONS IN FIELD WITH ARCHITECT.
- CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO COORDINATE ALL SWITCHES, RECEPTACLES, LIGHT FIXTURES, ETC. WITH NEW/EXIST. ROUGH FRAMING, MILLWORK, INTERIOR TRIM, TILE AND ADJACENT FINISHES. SEE REFLECTED CEILING PLAN & INTERIOR ELEVATIONS FOR LOCATIONS
- ALL FLUSH BEAMS AND JOIST CONNECTIONS TO RECEIVE HEAVY DUTY 'SIMPSON STRONG-TIE' METAL HANGERS. FOLLOW MANUFACTURER INSTALLATION RECOMMENDATIONS.

GENERAL MECHANICAL NOTES:

- ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING/NEW MECHANICAL SYSTEMS AND WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER ONCE CONSTRUCTION IS COMPLETE.
- ALL MECHANICAL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MECHANICAL & ENERGY CONSERVATION CODE AS WELL AS ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS, WHETHER OR NOT SPECIFICALLY STATED.
- THE CONTRACTOR AND/OR MECHANICAL SUB-CONTRACTOR TO REVIEW AND COORDINATE ALL WORK WITH OWNER AND ARCHITECT PRIOR TO COMMENCING WORK. MECHANICAL EQUIPMENT, SHAFTS, SOFFITS, DUCTWORK, DIFFUSER, RETURNS, ZONES SPECIFICATIONS AND LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO COMMENCING WORK.

GENERAL PLUMBING NOTES:

- ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING PLUMBING SYSTEMS AND WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER ONCE CONSTRUCTION IS COMPLETE.
- ALL PLUMBING WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS, WHETHER OR NOT SPECIFICALLY STATED. THE PLUMBING SUB-CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL PLUMBING WORK TO CONFORM TO ANY AND ALL CODES, RULES AND REGULATIONS OF ANY AGENCIES HAVING JURISDICTION OVER THE WORK, WHETHER SPECIFICALLY INDICATED IN THE PLANS OR SPECIFICATIONS, OR NOT. WHERE ADDITIONAL SWITCHES AND/OR RECEPTACLES ARE REQUIRED, THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL SUBMIT LOCATIONS TO THE ARCHITECT FOR ACCEPTANCE.
- THE PLUMBING SUB-CONTRACTOR SHALL SECURE A SEPARATE PERMIT FOR HIS WORK.
- THE CONTRACTOR AND/OR PLUMBING SUB-CONTRACTOR TO REVIEW AND COORDINATE ALL WORK WITH OWNER AND/OR ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR AND/OR PLUMBING SUB-CONTRACTOR TO COORDINATE ALL PLUMBING WORK LOCATIONS WITH MILLWORK, INTERIOR TRIM, EQUIPMENT AND ADJACENT FINISHES.
- WHEN SITUATIONS EXIST WHERE PLUMBING IS SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS, COORDINATE LOCATIONS AND CONFIGURATIONS WITH ARCHITECT.
- MOUNTING HEIGHTS OF ALL PLUMBING CONNECTIONS SHALL BE COORDINATED WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN.

GENERAL ELECTRICAL NOTES:

- ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING ELECTRICAL SYSTEMS AND WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER ONCE CONSTRUCTION IS COMPLETE.
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE N.E.C., AS WELL AS ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS, WHETHER OR NOT SPECIFICALLY STATED. THE ELECTRICAL SUB-CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL ELECTRICAL WORK TO CONFORM TO ANY AND ALL CODES, RULES AND REGULATIONS OF ANY AGENCIES HAVING JURISDICTION OVER THE WORK, WHETHER SPECIFICALLY INDICATED IN THE PLANS OR SPECIFICATIONS, OR NOT. WHERE ADDITIONAL SWITCHES AND/OR RECEPTACLES ARE REQUIRED, THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL SUBMIT LOCATIONS TO THE ARCHITECT FOR ACCEPTANCE.
- THE ELECTRICAL SUB-CONTRACTOR SHALL SECURE A SEPARATE PERMIT FOR HIS WORK.
- THE CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO REVIEW AND COORDINATE ALL WORK WITH BUILDING SUPERINTENDENT, OWNER AND/OR ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO COORDINATE ALL SWITCHES, RECEPTACLES, LIGHT FIXTURES, ETC. WITH MILLWORK, INTERIOR TRIM, EQUIPMENT AND ADJACENT FINISHES. SEE REFLECTED CEILING PLAN & INTERIOR ELEVATIONS FOR LOCATIONS
- ALL NEW SWITCHES TO BE 'LUTRON DIVA DIMMER & SWITCH' (UNLESS NOTED OTHERWISE). SWITCH COLOR SHALL BE VERIFIED WITH ARCHITECT AND OWNER PRIOR TO PURCHASE. WHEN SITUATIONS EXIST WHERE MULTIPLE SWITCHES ARE SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS, COORDINATE LOCATIONS AND CONFIGURATIONS WITH ARCHITECT.
- ALL NEW RECEPTACLES TO BE 'LEVITON DECORA TAMPER RESISTANT' (UNLESS NOTED OTHERWISE). RECEPTACLE COLOR TO BE VERIFIED WITH ARCHITECT AND OWNER PRIOR TO PURCHASE. RECEPTACLE AND AMPERAGE AND TYPE TO BE PER CODE. WHEN SITUATIONS EXIST WHERE MULTIPLE RECEPTACLES ARE SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS, COORDINATE LOCATIONS AND CONFIGURATIONS WITH ARCHITECT.
- MOUNTING HEIGHTS OF ALL SWITCHES AND RECEPTACLES SHALL BE COORDINATED WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN. LOCATIONS SHALL BE COORDINATED WITH BUILT-IN CABINETS, ETC.
- CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO VERIFY ALL TYPES OF CABLES FOR T.V., TELEPHONE, INTERNET, ETC. WITH MANUFACTURER PRIOR TO INSTALLATION.
- ALL ELECTRICAL OUTLET IN 'WET' LOCATIONS WILL BE OF THE G.F.I. TYPE.

ENERGY CODE COMPLIANCE - CLIMATE ZONE 4

SUB-SYSTEM	U-VALUE
FENESTRATION	Uf = 0.32
SKYLIGHT	Uf = 0.55
GLAZED FENESTRATION	Uf = 0.40
CEILING R-VALUE	49
WOOD FRAME WALL R-VALUE	20 int. of 13+5h
MASS WALL R-VALUE	8/13
FLOOR R-VALUE	38
BASEMENT WALL R-VALUE	10/13
SLAB R-VALUE & DEPTH	10, 2 ft
CRAWL SPACE WALL R-VALUE	10/13

GENERAL ENERGY NOTES:

- TO THE BEST OF THE ARCHITECT KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH NYSSTRETCH 2020 TABLE N1102.1.2 (R402.1.2) BUILDING THERMAL ENVELOPE-INSULATION AND FENESTRATION CRITERIA
- THE CONTRACTOR SHALL INSTALL & TEST ALL MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS TO MEET THE REQUIREMENTS OF THE 2020 NYS ENERGY CONSERVATION CODE.
- WHERE SECTION R402.1.2 REQUIRES R-38 INSULATION IN THE CEILING, INSTALLING R-38 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL SATISFY THE REQUIREMENT FOR R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES.
- WHERE SECTION R402.1.2 REQUIRES R-49 INSULATION IN THE CEILING, INSTALLING R-38 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL SATISFY THE REQUIREMENT FOR R-49 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.5.
- WHERE SECTION R402.1.2 REQUIRES INSULATION R-VALUES GREATER THAN R-30 IN THE CEILING AND THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THE MINIMUM REQUIRED INSULATION R-VALUE FOR SUCH ROOF/CEILING ASSEMBLIES SHALL BE R-30. INSULATION SHALL EXTEND OVER THE TOP OF THE WALL PLATE TO THE OUTER EDGE OF SUCH PLATE AND SHALL NOT BE COMPRESSED. THIS REDUCTION OF INSULATION FROM THE REQUIREMENTS OF SECTION R402.1.2 SHALL BE LIMITED TO 500 SQUARE FEET (46 M2) OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.5.
- INSULATION VALUES SHOWN IN THE CHART ABOVE ARE MINIMUM VALUES REQUIRED BY CODE AND MAY NOT REFLECT THE INSULATION VALUES CALLED OUT IN THE CONSTRUCTION DOCUMENTS. WHEN TWO DIFFERENT INSULATION VALUES ARE CALLED OUT, CONTRACTORS ARE HEREBY DIRECTED TO INSTALL THE INSULATION WITH GREATER R-VALUE BY ASSEMBLY.
- FOR AIR-PERMEABLE INSULATIONS IN VENTED ATTICS, A Baffle SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLES SHALL MAINTAIN AN OPENING EQUAL OR GREATER THAN THE SIZE OF THE VENT. THE Baffle SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION. THE Baffle SHALL BE PERMITTED TO BE ANY SOLID MATERIAL.
- R-21 INSULATION SHALL BE INSTALLED IN ALL 2X6 EXTERIOR WALLS.
- REFER TO NYSSTRETCH 2020, CHAPTER 4 FOR FURTHER REQUIREMENTS.

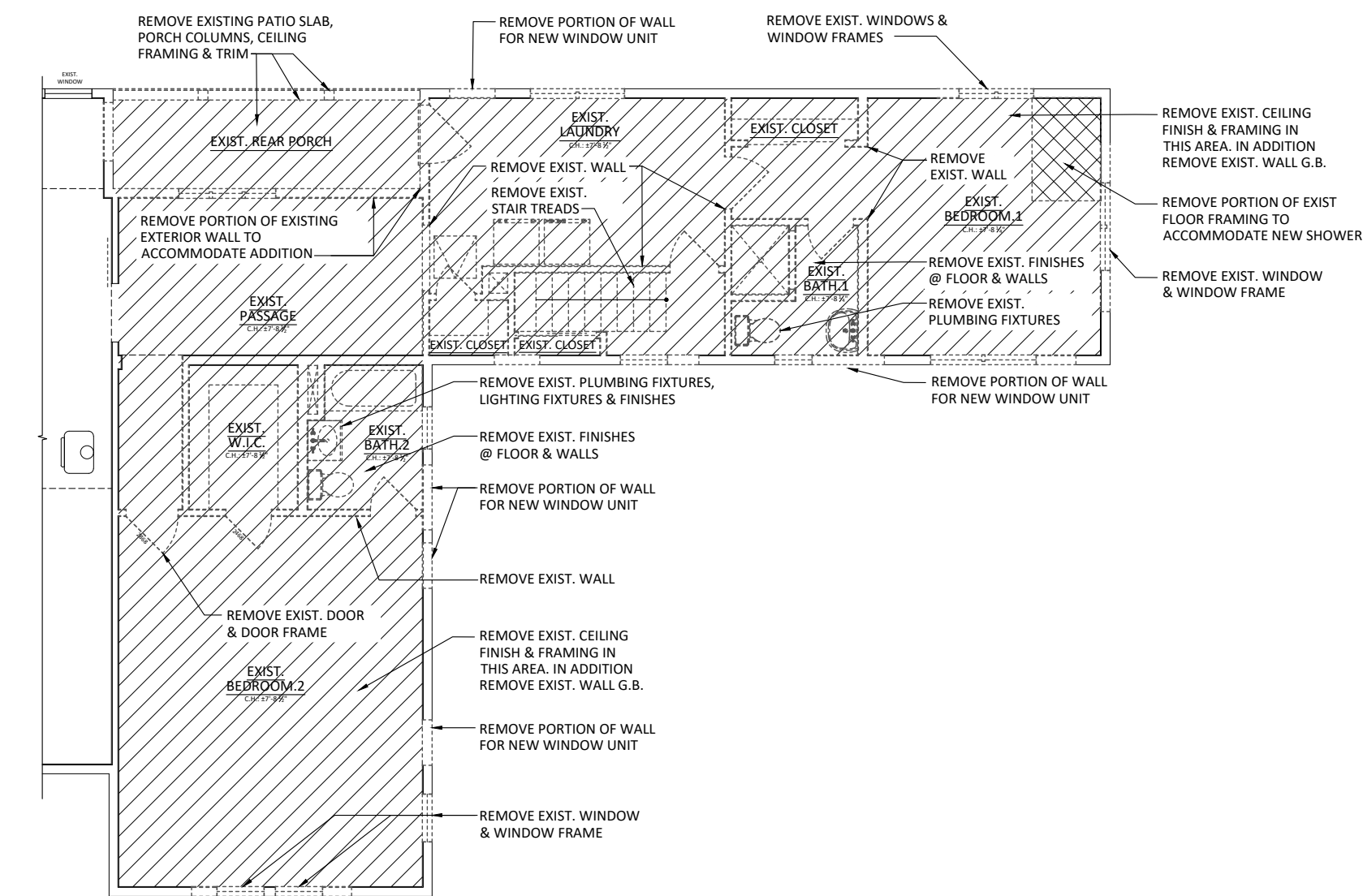
WINDOW SCHEDULE

MARK	MANUFACTURER	MODEL#	WINDOW TYPE	ROUGH OPENING	U-FACTOR	SHGCs	FRAME MATERIAL	REMARKS
				W. x H.				
1	MARVIN ELEVATE SERIES	ELAWN2947	CASEMENT	2'-5" X 3'-11 1/8"	.31	.20	--	EGRESS
2	MARVIN ELEVATE SERIES	ELAWN2947	CASEMENT	2'-5" X 3'-11 1/8"	.31	.20	--	EGRESS
3	MARVIN ELEVATE SERIES	ELAWN2943	AWNING	2'-5" X 1'-11 1/8"	.31	.20	--	
4	MARVIN ELEVATE SERIES	ELAWN2923	AWNING	2'-5" X 1'-11 1/8"	.31	.20	--	
5	MARVIN ELEVATE SERIES	ELAWN2947	CASEMENT	2'-5" X 3'-11 1/8"	.31	.20	--	EGRESS
6	MARVIN ELEVATE SERIES	ELAWN4147	PICTURE	3'-5" X 3'-11 1/8"	.31	.20	--	
7	MARVIN ELEVATE SERIES	ELAWN2947	CASEMENT	2'-5" X 3'-11 1/8"	.31	.20	--	EGRESS
8	MARVIN ELEVATE SERIES	ELAWN2947	AWNING	2'-5" X 3'-11 1/8"	.31	.20	--	
9	MARVIN ELEVATE SERIES	ELAWN2947	AWNING	2'-5" X 3'-11 1/8"	.31	.20	--	
10	MARVIN ELEVATE SERIES	ELAWN4123	AWNING	4'-1" X 1'-11 1/8"	.31	.20	--	
11	MARVIN ELEVATE SERIES	ELAWN4123	AWNING	4'-1" X 1'-11 1/8"	.31	.20	--	TEMPERED GLASS
12	MARVIN ELEVATE SERIES	ELAWN2923	AWNING	2'-5" X 1'-11 1/8"	.31	.20	--	TEMPERED GLASS
13	MARVIN ELEVATE SERIES	ELAWN2923	AWNING	2'-5" X 1'-11 1/8"	.31	.20	--	TEMPERED GLASS
14	MARVIN ELEVATE SERIES	ELAWN4123	AWNING	4'-1" X 1'-11 1/8"	.31	.20	--	TEMPERED GLASS
15	MARVIN ELEVATE SERIES	ELAWN2947	CASEMENT	2'-5" X 3'-11 1/8"	.31	.20	--	EGRESS
16	MARVIN ELEVATE SERIES	ELAWN2947	CASEMENT	2'-5" X 3'-11 1/8"	.31	.20	--	EGRESS
17	MARVIN ELEVATE SERIES	ELAWN2923	AWNING	2'-5" X 1'-11 1/8"	.31	.20	--	TEMPERED GLASS
18	MARVIN ELEVATE SERIES	ELAWN2923	AWNING	2'-5" X 1'-11 1/8"	.31	.20	--	TEMPERED GLASS
19	VELUX	FCM 2246	FIXED SKYLIGHT	2'-2 3/8" X 4'-2 3/8"	--	--	--	
20	VELUX	FCM 2246	FIXED SKYLIGHT	2'-2 3/8" X 4'-2 3/8"	--	--	--	

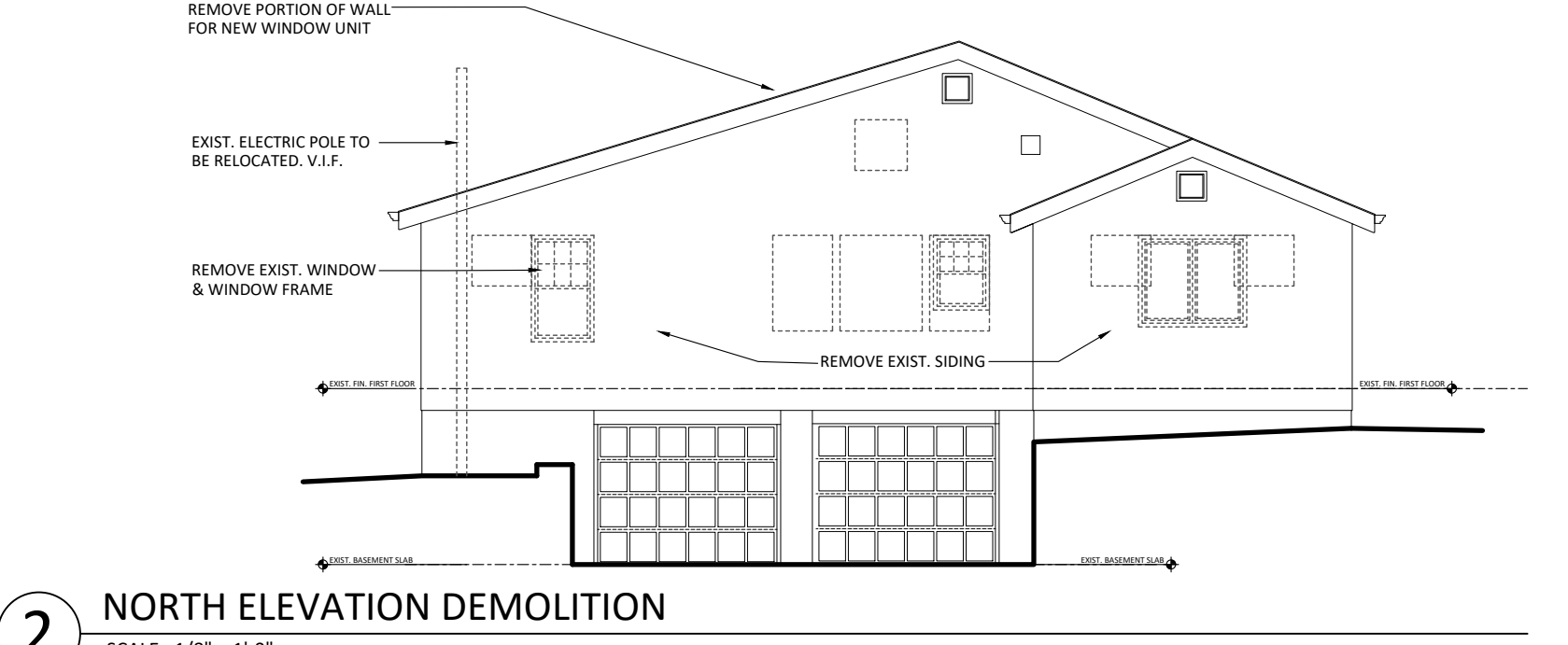
- NOTES:**
- WINDOWS TO BE MARVIN ELEVATE, UNLESS NOTED OTHERWISE
 - INTERIOR FINISH FOR ALL WINDOW SASHES, FRAME, EXTENSION, JAMBS, AND INSECT SCREEN FRAME TO BE PINE FACTORY PRIMED, W/ 2-COATS OF FELD PAINT BY CONTRACTOR. UNLESS NOTED OTHERWISE.
 - EXTERIOR COLOR TO BE WHITE.
 - WINDOW HARDWARE TO BE TRADITIONAL FOLDING IN A WHITE FINISH
 - GLASS TO BE CLEAR LOW-E5 WITH EBS COATING.
 - INSECT SCREENS TO BE BRIGHT VIEW PINE, FACTORY PRIMED, FELD PAINTED BY CONTRACTOR
 - ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO READING ORDER
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS & SUBMITALS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND FRAMING ROUGH OPENINGS
 - WINDOW TRIM SEALANT COLOR TO BE WHITE
 - UNLESS NOTED OTHERWISE, CONTRACTOR TO FINISH AND INSTALL ALL DOORS.

DEMO. PLAN LEGEND

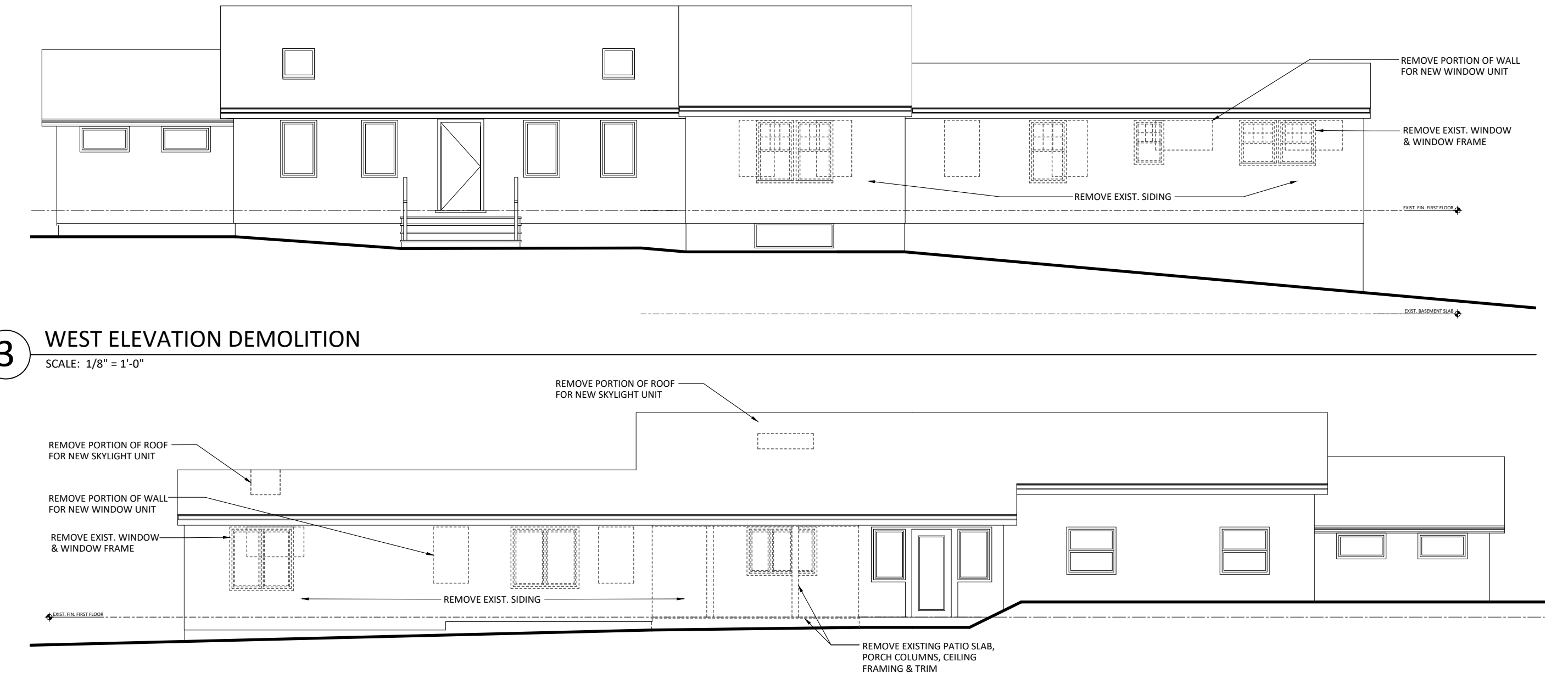
[Hatched symbol]	PARTITIONS/ROOF/WINDOWS/DOORS/CABINETS TO BE DEMOLISHED
[Solid line symbol]	EXISTING PARTITIONS
[Line with arrow symbol]	EXISTING DOOR
[Double line symbol]	EXISTING WINDOW



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION DEMOLITION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION DEMOLITION
SCALE: 1/8" = 1'-0"

4 EAST ELEVATION DEMOLITION
SCALE: 1/8" = 1'-0"

CLIMATE & GEOGRAPHICAL DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE SHEILD UNDER LAHMENT REQD.	FLOOD HAZARDS	AIR FREEZING INDEX	
			WEATHERING	FROST LINE DEPTH	TERMITE					DECAY
30 lbs psf.	115 MPH	B	SEVERE	42"	MODERATE HEAVY	SLIGHT MODERATE	12	YES	FIRM 2-26.0	1500

ISSUES:

SUBMITTED FOR PERMIT	2023.11.22
SUBMITTED FOR PERMIT	2024.01.15

DRAWING STATUS:

EXISTING CONDITIONS	
PRELIMINARY	
BID DRAWINGS	
CONTRACT DRAWINGS	
PERMIT DRAWINGS	
NOT FOR CONSTRUCTION	
CONSTRUCTION DRAWINGS	

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INTERIOR & EXTERIOR ALTERATIONS TO EXISTING SINGLE FAMILY RESIDENCE FOR:
RACHEL & KEINO CARTY
 37 WHIPPOORWILL RD., ARMONK NY 10504
 GENERAL CONSTRUCTION NOTES; SCHEDULES

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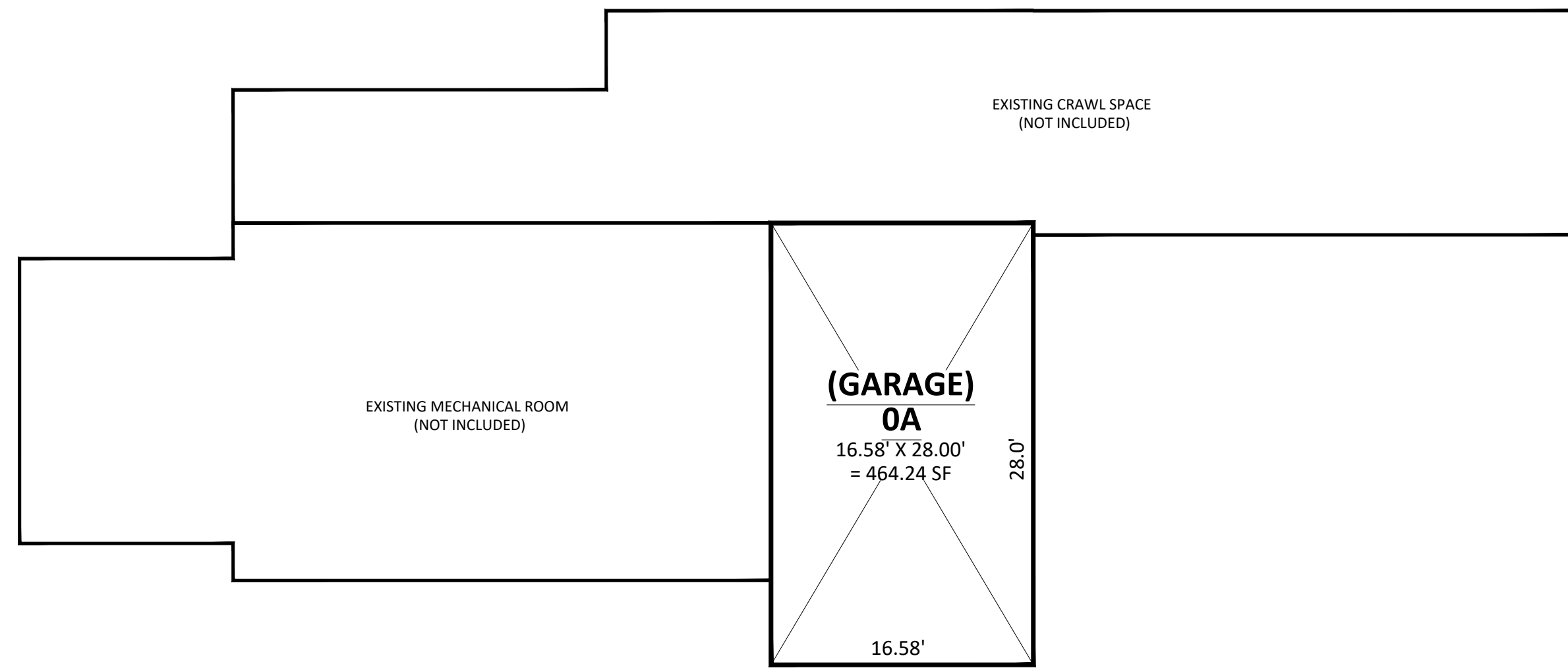
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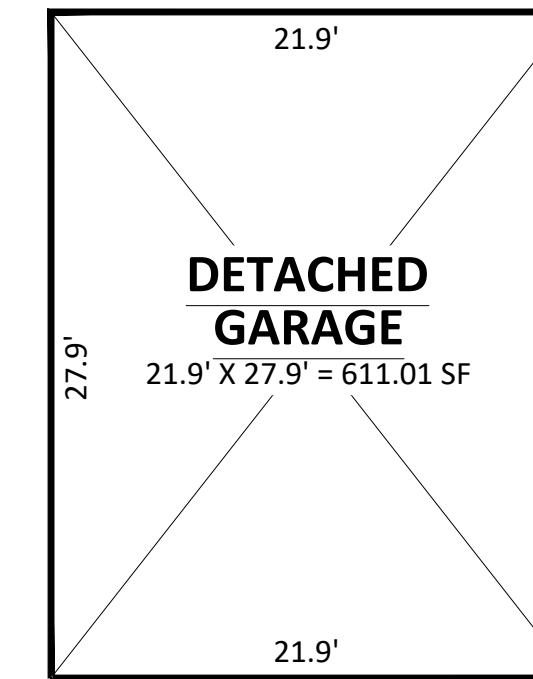
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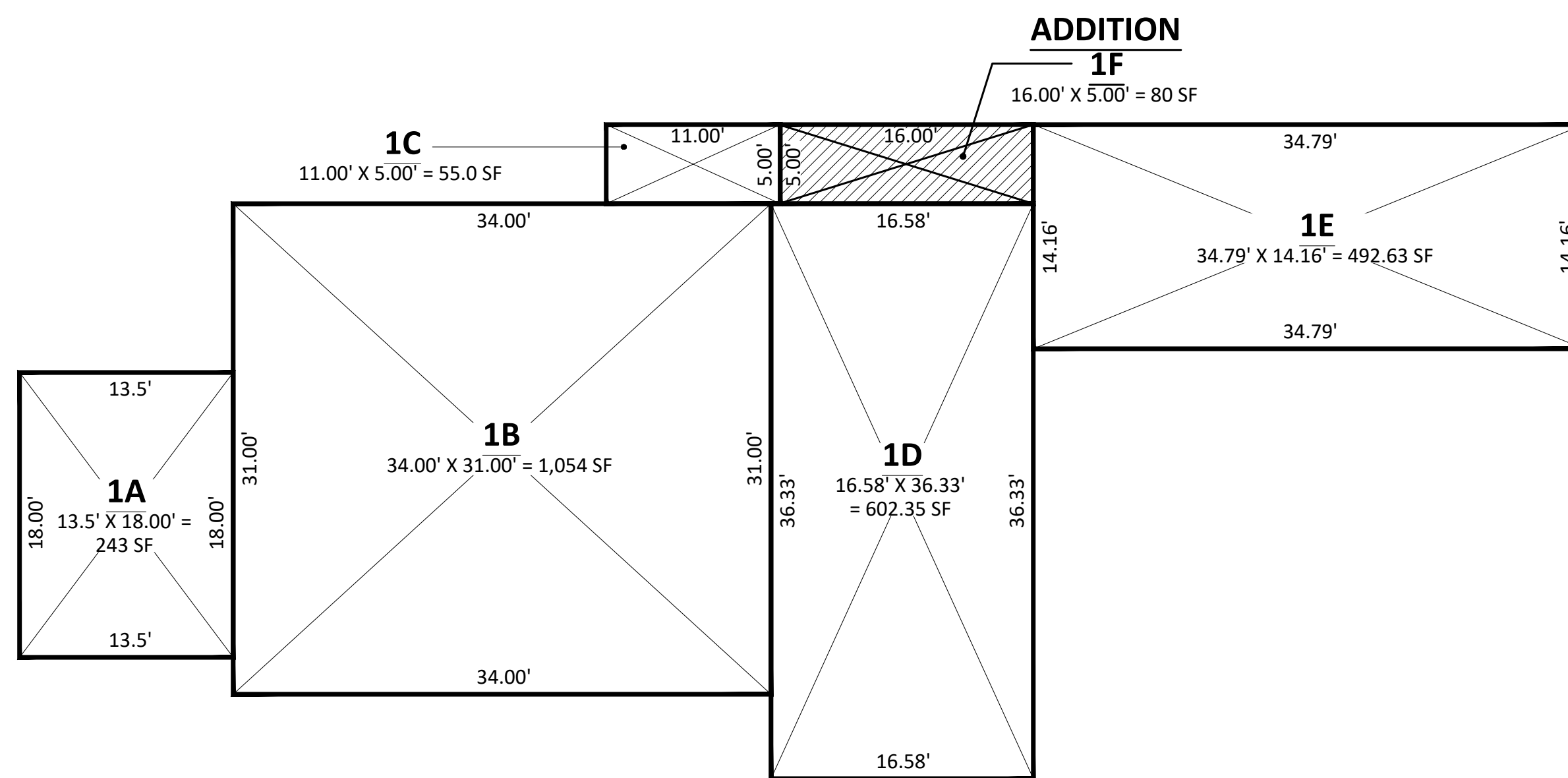
A-002



1 BASEMENT GROSS FLOOR AREA DIAGRAM
 SCALE: 1/8" = 1'-0"



3 ACCESSORY BUILDING GROSS FLOOR AREA DIAGRAM
 SCALE: 1/8" = 1'-0"



2 FIRST FLOOR GROSS FLOOR AREA DIAGRAM
 SCALE: 1/8" = 1'-0"

GENERAL NOTE

- GROSS FLOOR AREA DIAGRAM NUMBERS CORRELATE WITH THE RPRC CALCULATIONS WORKSHEET.
- THE PROPOSED SCOPE OF WORK WILL NOT INCREASE THE EXISTING GROSS LAND COVERAGE; THEREFORE, THE GROSS LAND COVERAGE CALCULATIONS WORKSHEET IN THE RPRC APPLICATION WAS OMITTED.

FIRST FLOOR GFA CALCULATION	
MARK	SQUARE FOOTAGE
1A	13.5' X 18.00' = 243.0 SF
1B	34.00' X 31.00' = 1,054 SF
1C	11.00' X 5.00' = 55.0 SF
1D	16.58' X 36.33' = 602.35 SF
1E	34.79' X 14.16' = 492.63 SF
1F	16.00' X 5.00' = 80.00 SF ADDITION)
FIRST FLOOR GFA TOTAL = 2,526.98 SF	

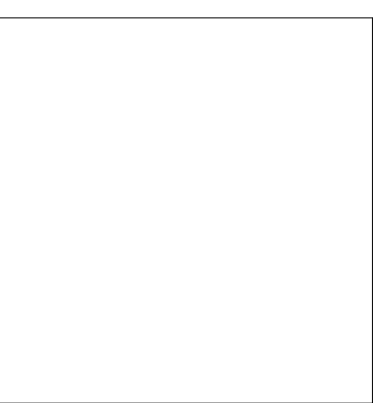
GFA TOTALS	
BASEMENT	N/A
FIRST FLOOR	2,526.98 SF
ATTIC	N/A
GARAGE (BASEMENT)	464.24 SF
DETACHED GARAGE	611.01 SF
GROSS FLOOR AREA TOTAL = 3,602.23 SF	
LOT AREA = 78,843.6 SF OR 1.81 ACRES	
MAX. PERMITTED GFA FOR ONE-FAMILY DWELLINGS = 9,709.18 SF (9,034 PLUS 5% OF THE LOT AREA IN EXCESS OF 1.5 ACRE)	

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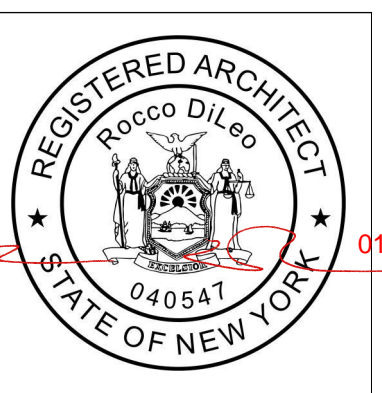
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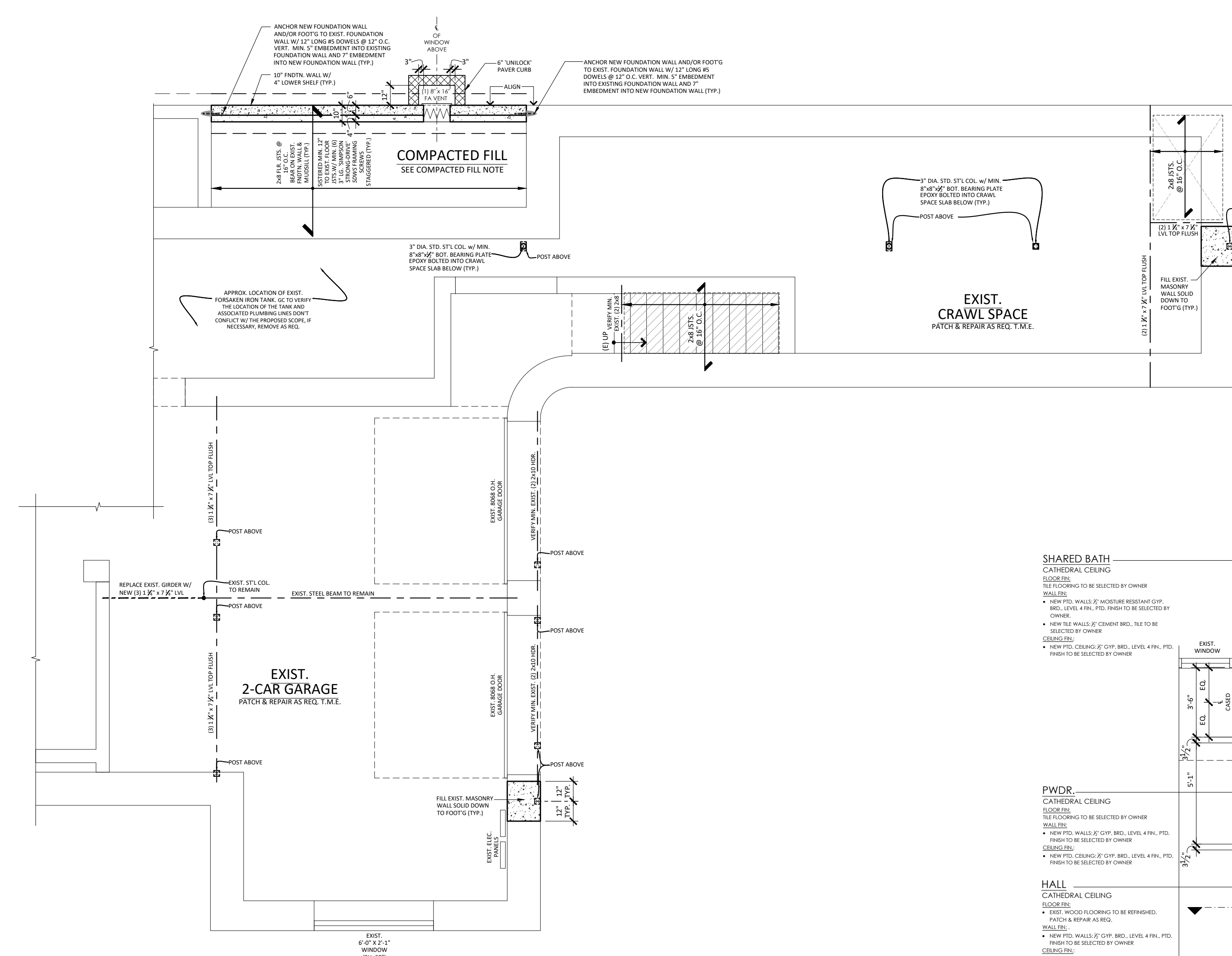
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RACHEL & KEINO CARTY
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 GROSS FLOOR AREA CALCULATIONS

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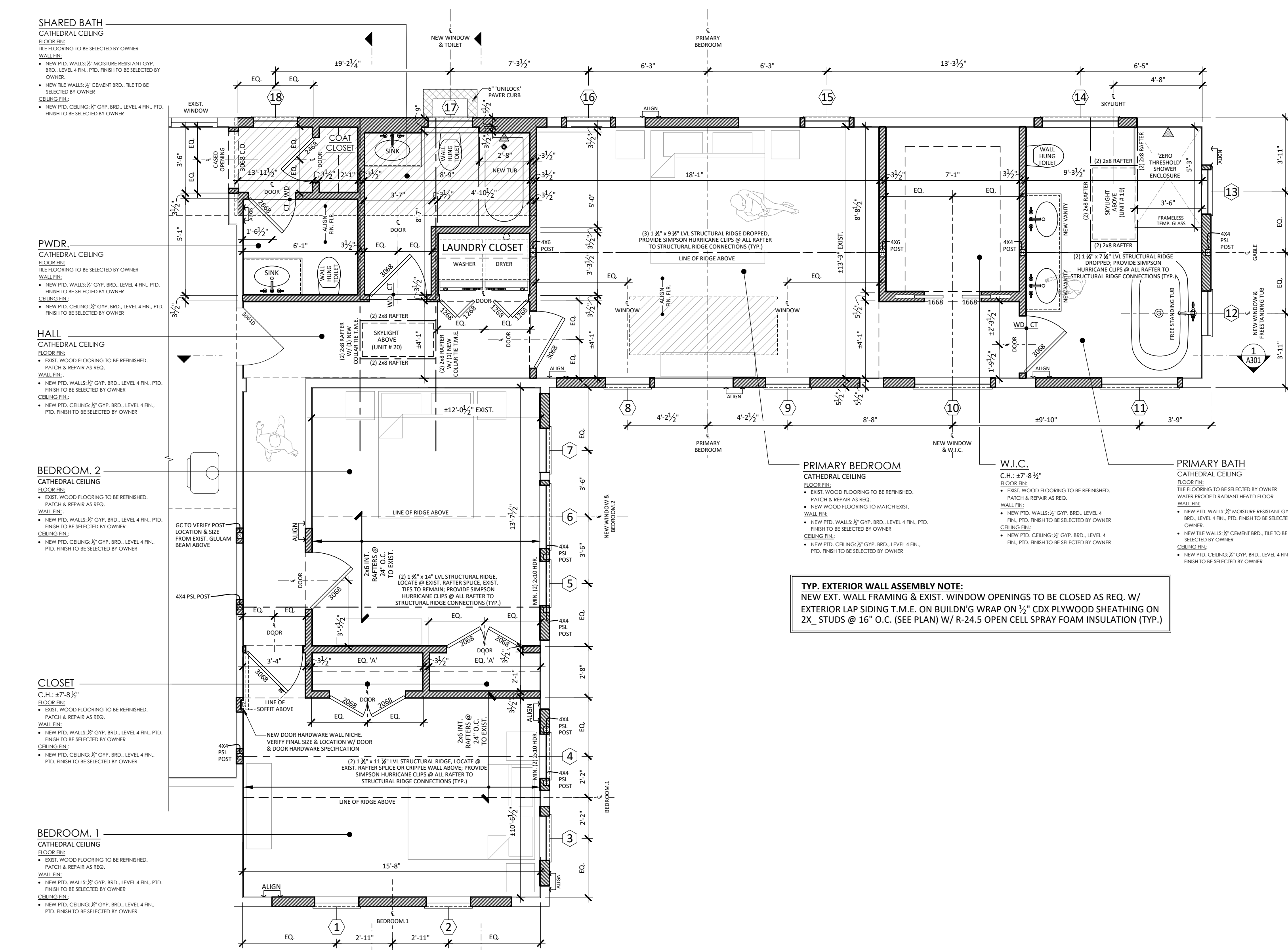


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A-003



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND	
	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	STRUCTURAL PIER / POST DENOTATION
	FINISH MATERIAL DENOTATION
	KEYNOTE DENOTATION
	DIMENSIONAL GRID
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	REPETITIVE FRAMING STRUCTURE
	T.M.E. TO MATCH EXISTING

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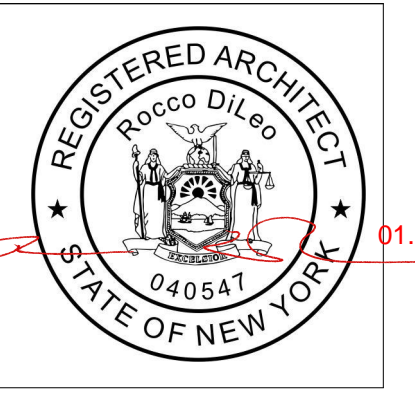
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INTERIOR & EXTERIOR ALTERATIONS TO EXISTING SINGLE FAMILY RESIDENCE FOR:
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FLOOR PLANS

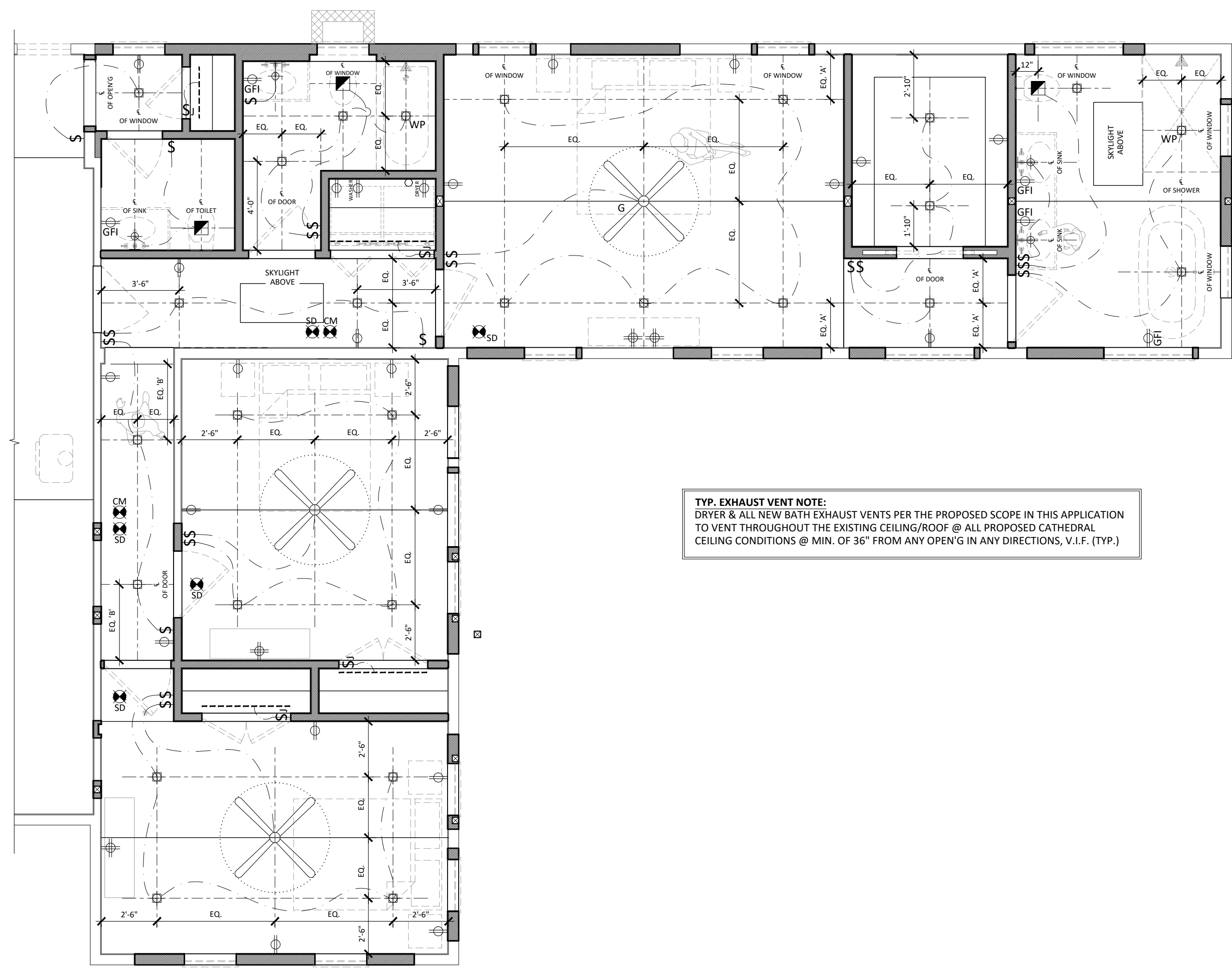
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A-101




TYP. EXHAUST VENT NOTE:
 DRYER & ALL NEW BATH EXHAUST VENTS PER THE PROPOSED SCOPE IN THIS APPLICATION
 TO VENT THROUGHOUT THE EXISTING CEILING/ROOF @ ALL PROPOSED CATHEDRAL
 CEILING CONDITIONS @ MIN. OF 36" FROM ANY OPEN'G IN ANY DIRECTIONS, V.I.F. (TYP.)

1 REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
Ⓢ	PROPOSED CONTROL/ SWITCH LOCATION
Ⓢ _J	PROPOSED CONTROL/ JAMB SWITCH LOCATION
Ⓞ	DUPLEX RECEPTACLE
Ⓞ ₄	QUAD RECEPTACLE
Ⓞ _{GFI}	GROUND FAULT INTERRUPTOR DUPLEX OUTLET
Ⓞ _R	RECESSED CEILING MOUNTED LIGHT FIXTURE (TO BE SELECTED BY OWNER) *LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS*
Ⓞ _C	CEILING MOUNTED LIGHT FIXTURE (TO BE SELECTED BY OWNER) *LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS*
Ⓞ _F	CEILING FAN (TO BE SELECTED BY OWNER)
Ⓞ _{WP}	WALL MOUNTED LIGHT FIXTURE FOR WET LOCATION (TO BE SELECTED BY OWNER) *LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS*
Ⓞ _W	WALL MOUNTED LIGHT FIXTURE (TO BE SELECTED BY OWNER) *LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS*
Ⓞ _T	LED TAPE LIGHT FIXTURE (TO BE SELECTED BY OWNER) *LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS*
Ⓞ _{SD}	SMOKE DETECTOR
Ⓞ _{CM}	CARBON MONOXIDE DETECTOR
Ⓞ _{EF}	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)

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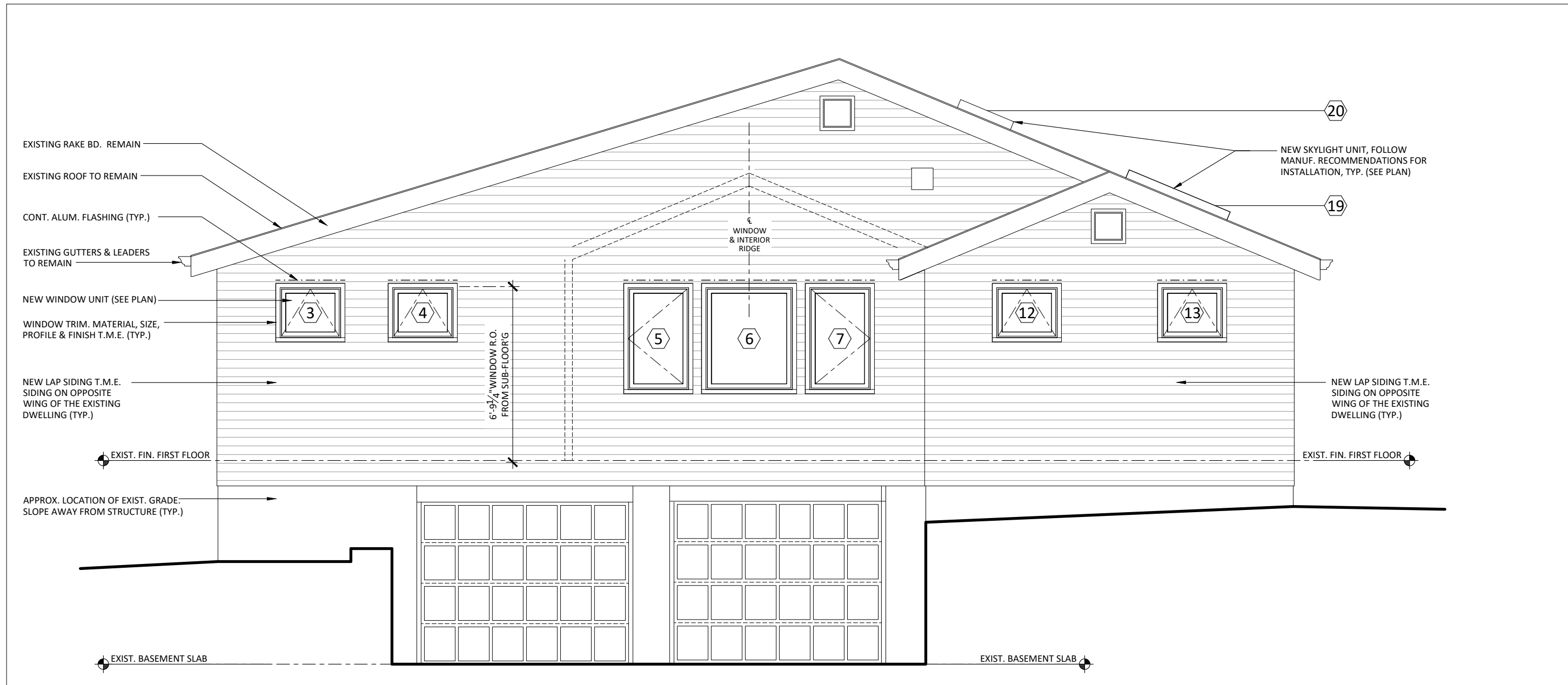
INTERIOR & EXTERIOR ALTERATIONS TO
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 REFLECTED CEILING PLAN

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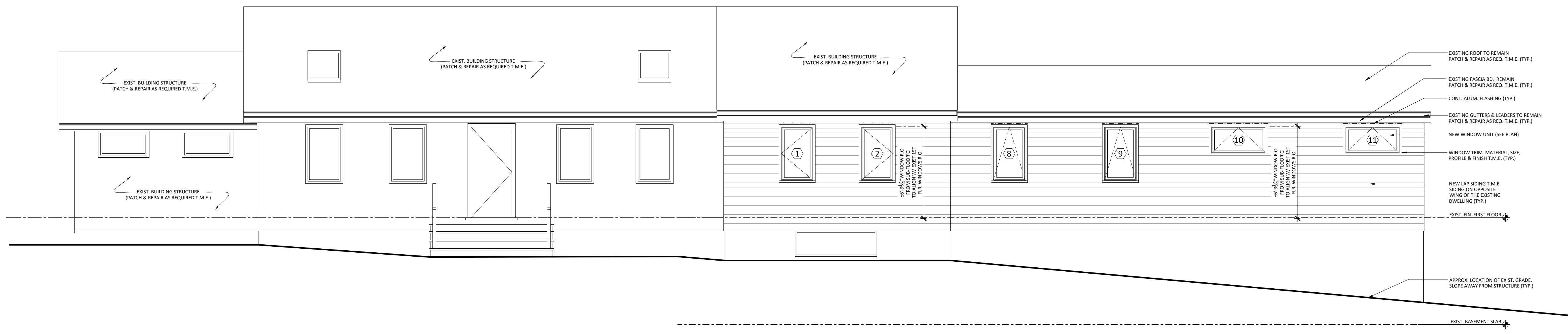


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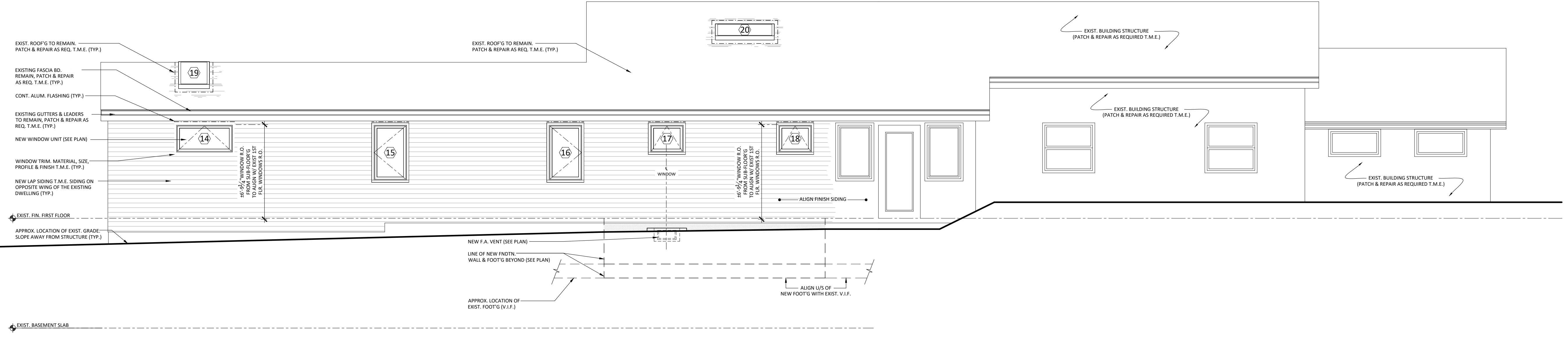
A-102



1 NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

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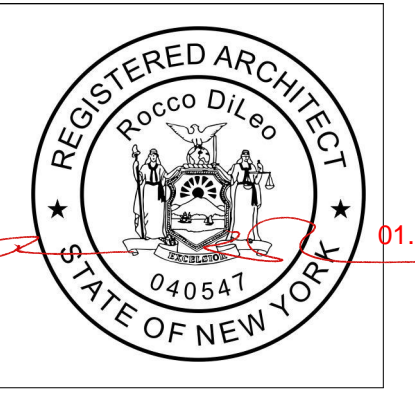
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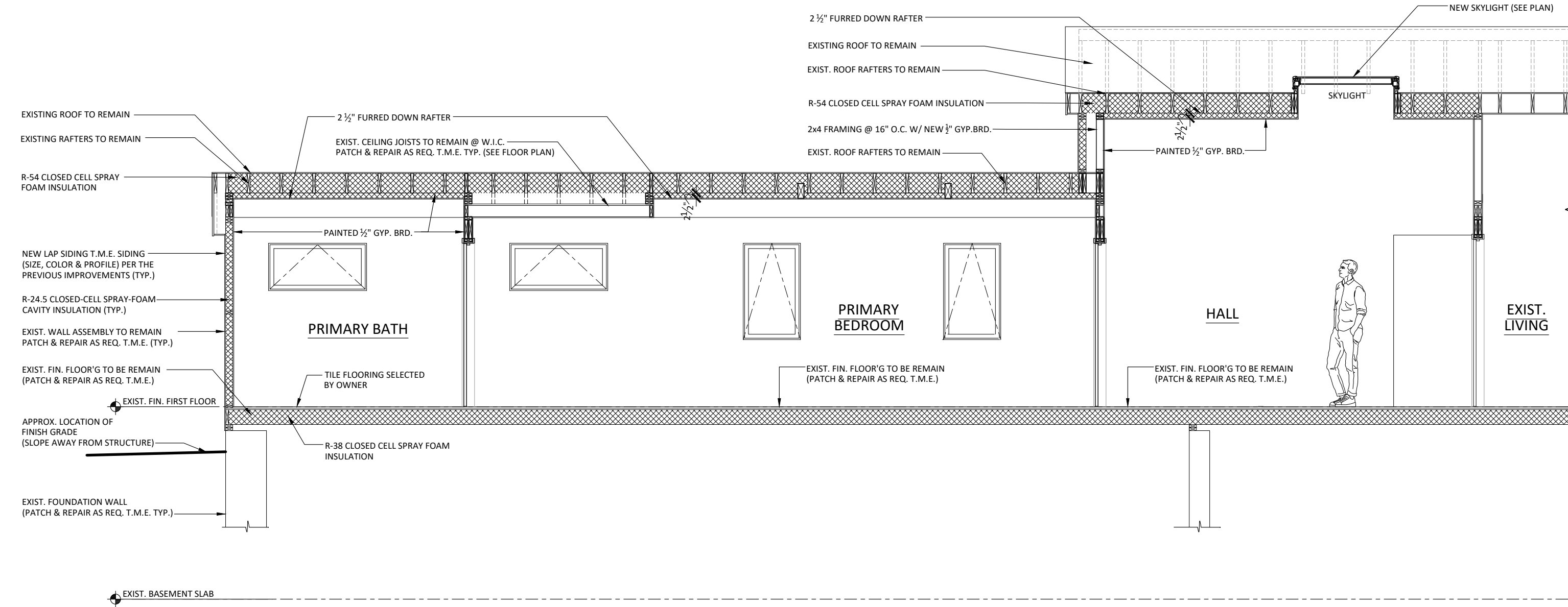
INTERIOR & EXTERIOR ALTERATIONS TO
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 EXTERIOR ELEVATIONS: DETAILS

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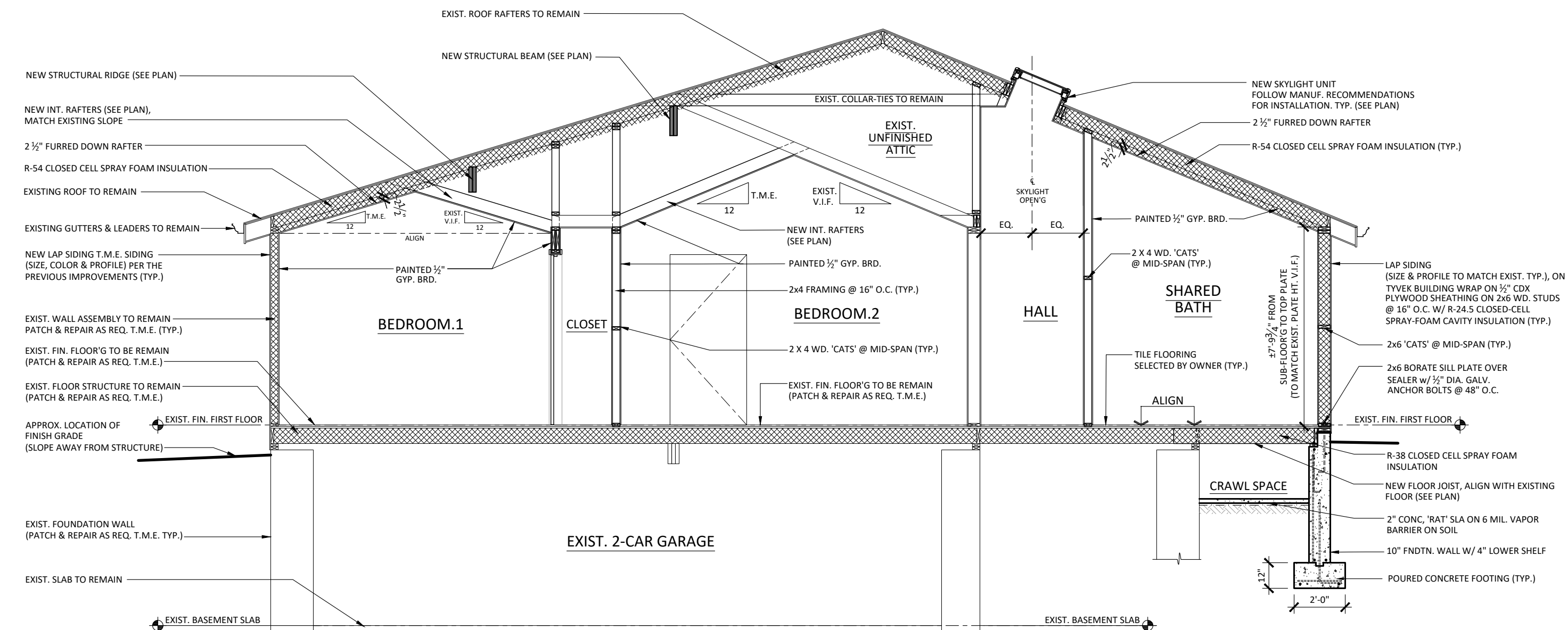


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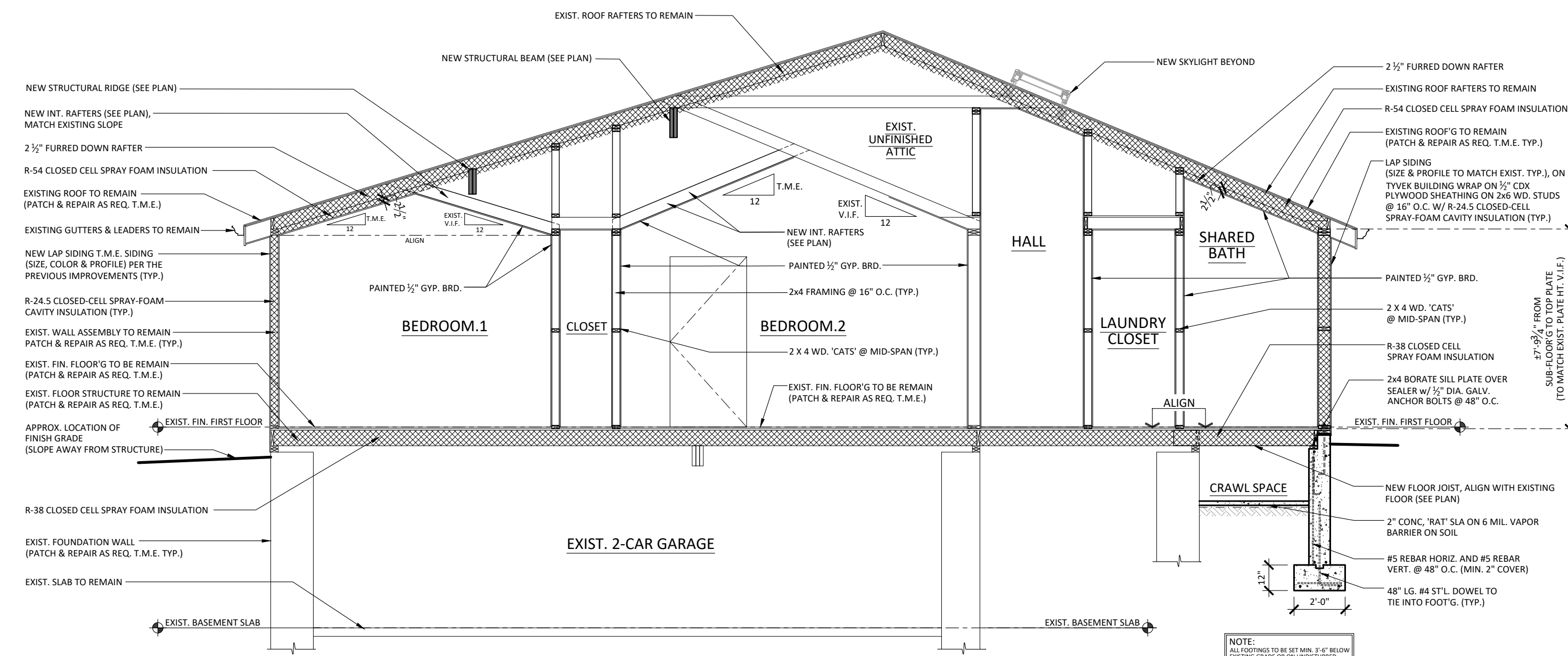
A-201



1 CROSS-SECTION
SCALE: 1/4" = 1'-0"



2 CROSS-SECTION
SCALE: 1/4" = 1'-0"



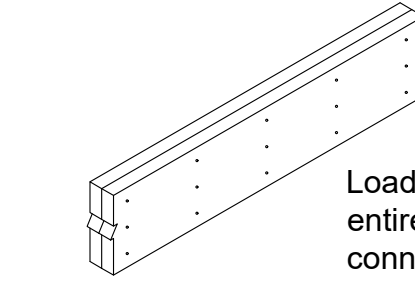
3 CROSS-SECTION
SCALE: 1/4" = 1'-0"

Multiple-Member Connections for Top-Loaded Beams

Fastener Installation Requirements

Piece Width	# of Plies	Fastener				Location
		Type ⁽¹⁾	Min. Length	# Rows	O.C. Spacing	
1 3/4"	2	10d nails	3"	3 ⁽²⁾	12"	One side
		12d-16d nails	3 1/4"	2 ⁽²⁾		
		Screws	3 3/8" or 3 1/2"	2		
	3	10d nails	3"	3 ⁽²⁾	12"	Both sides
		12d-16d nails	3 1/4"	2 ⁽²⁾		
		Screws	3 3/8" or 3 1/2"	2		
3 1/2"	4	10d nails ⁽³⁾	3"	3 ⁽²⁾	12"	One side (per ply)
		12d-16d nails ⁽³⁾	3 1/4"	2 ⁽²⁾		
		Screws	5" or 6"	2		
	2	10d nails	3"	3 ⁽²⁾	12"	Both sides
		12d-16d nails	3 1/4"	2 ⁽²⁾		
		Screws	5" or 6"	2		
3 1/2"	2	Screws	5" or 6"	2	24"	One side
		1/2" bolts	8"			

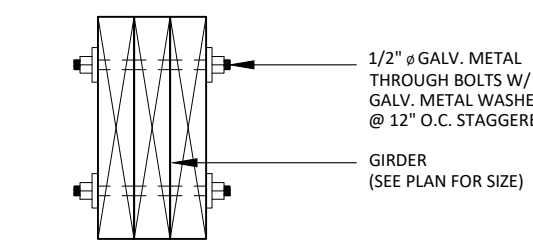
When fasteners are required on both sides, stagger fasteners on the second side so they fall halfway between fasteners on the first side.



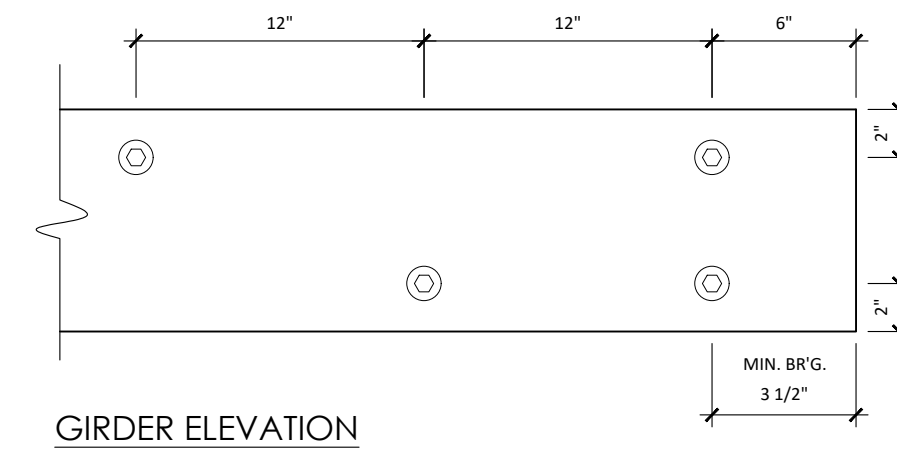
Load must be applied evenly across entire beam width. Otherwise, use connections for side-loaded beams.

L6 Multiple pieces can be nailed or bolted together to form a header or beam of the required size, up to a maximum width of 7"

- (1) 10d nails are 0.128" diameter; 12d-16d nails are 0.148" - 0.162" diameter; screws are SDS, SDW, WS, or Truss-LOK®.
- (2) An additional row of nails is required with depths of 14" or greater.
- (3) When connecting 4-ply members, nail each ply to the other and offset nail rows by 2" from the rows in the ply below.

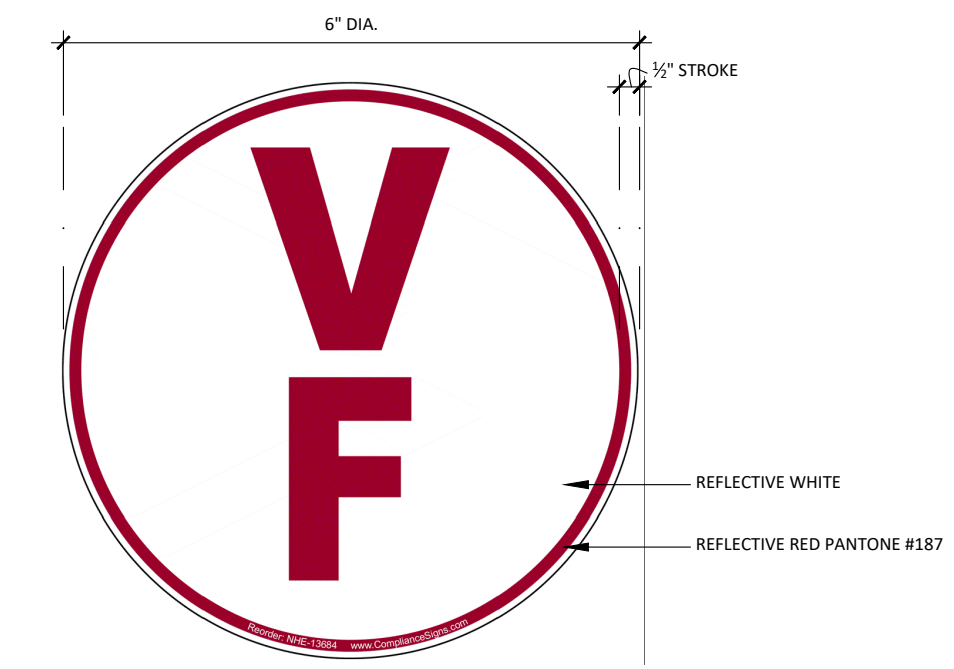


GIRDER SECTION



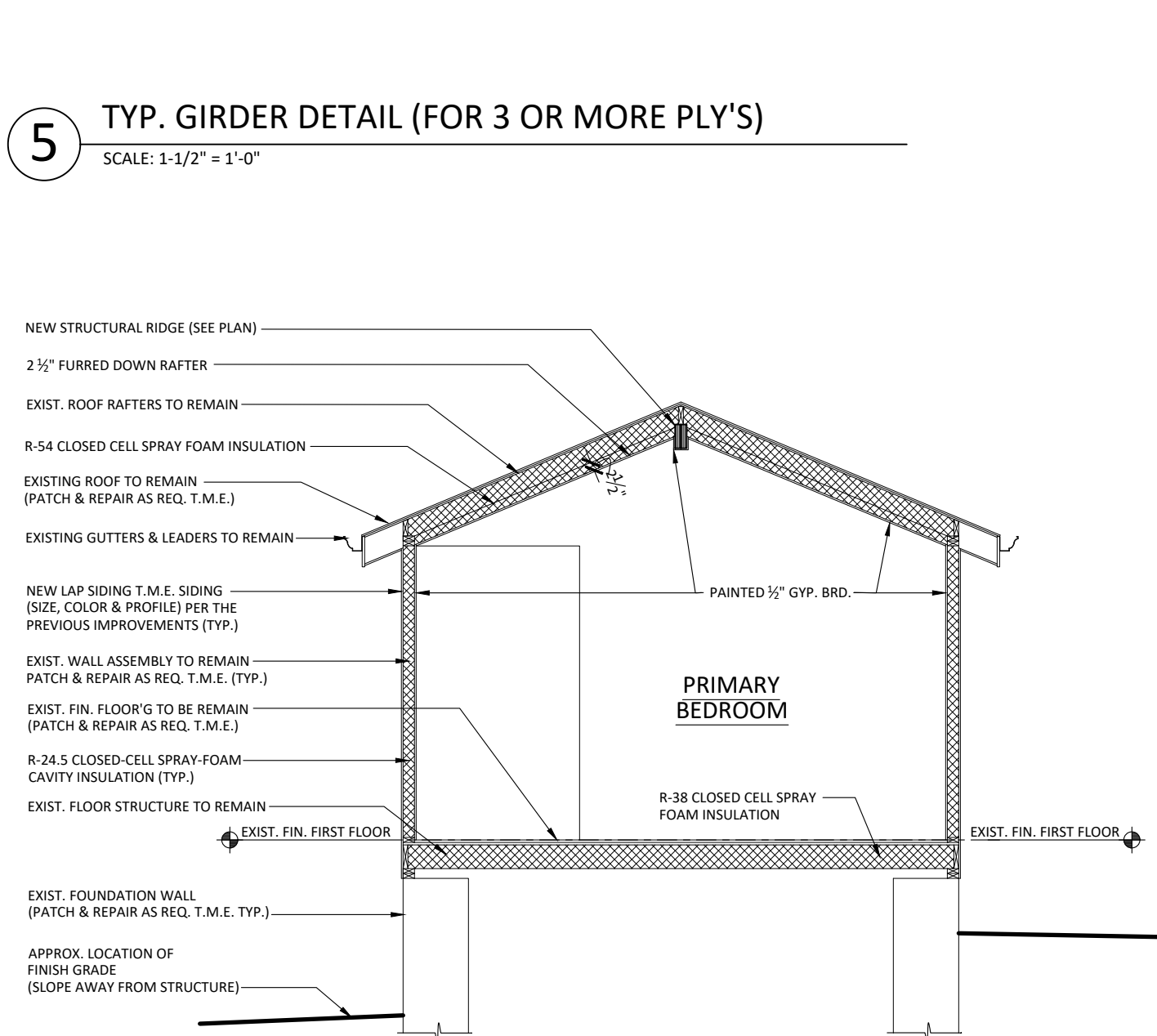
GIRDER ELEVATION

5 TYP. GIRDER DETAIL (FOR 3 OR MORE PLY'S)
SCALE: 1-1/2" = 1'-0"

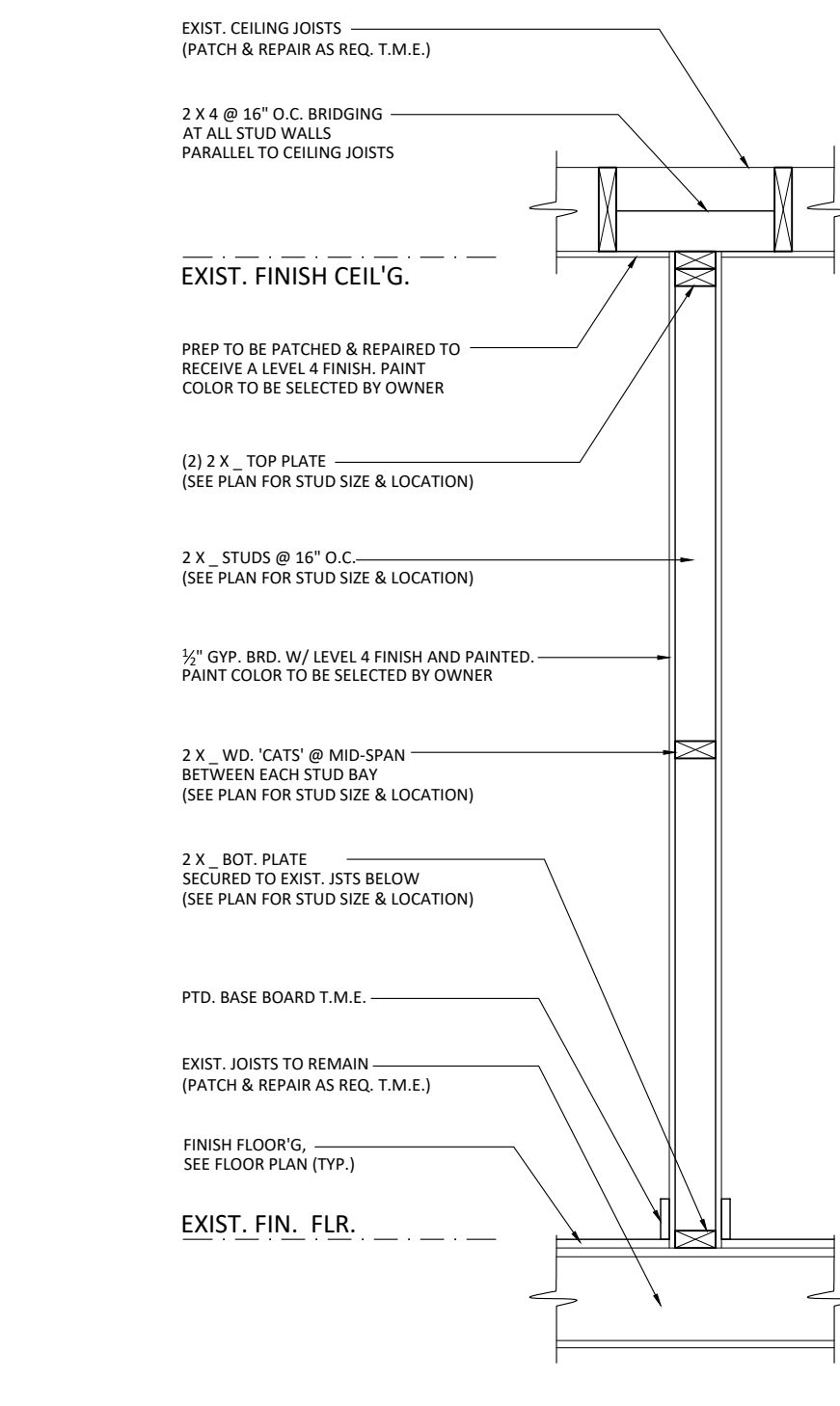


NOTE: LOCATE IN FIELD W/ BUILDING INSPECTOR

6 TRUSS TYPE CONSTRUCTION NOTIFICATION SIGN
SCALE: N.T.S.



4 PRIMARY BEDROOM CROSS-SECTION
SCALE: 1/4" = 1'-0"



7 TYP. INTERIOR WALL DETAIL
SCALE: 3/4" = 1'-0"

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A-301