



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: _____

Section III- DESCRIPTION OF WORK:

Section III- CONTACT INFORMATION:

APPLICANT: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROPERTY OWNER:

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____

EMAIL: _____

Section IV- PROPERTY INFORMATION:

Zone: _____ Tax ID (lot designation) _____



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 5 Overlook Rd. Date: 1/29/24

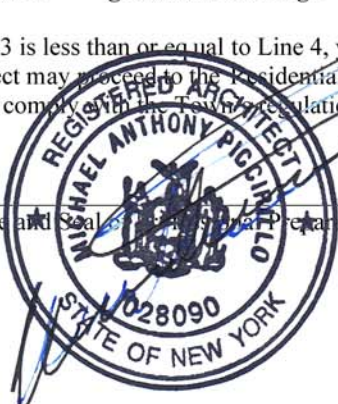
Tax Map Designation or Proposed Lot No.: 122.08-2-65

Gross Lot Coverage

- 1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 18,360
- 2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 5,804
- 3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
0 x 10 = 0
- 4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 5,804
- 5. Amount of lot area covered by **principal building**:
1184 existing + 30 proposed = 1214
- 6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0
- 7. Amount of lot area covered by **decks**:
0 existing + 0 proposed = 0
- 8. Amount of lot area covered by **porches**:
0 existing + 0 proposed = 0
- 9. Amount of lot area covered by **driveway, parking areas and walkways**:
1260 existing + 0 proposed = 1,260
- 10. Amount of lot area covered by **terraces**:
0 existing + 0 proposed = 0
- 11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 0 proposed = 0
- 12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
- 13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 2,474

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of the Planning Worksheet



1-29-24
 Date



**TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning**

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 5 Overlook Rd. Date: 1/29/24

Tax Map Designation or Proposed Lot No.: 122.08-2-65

Floor Area

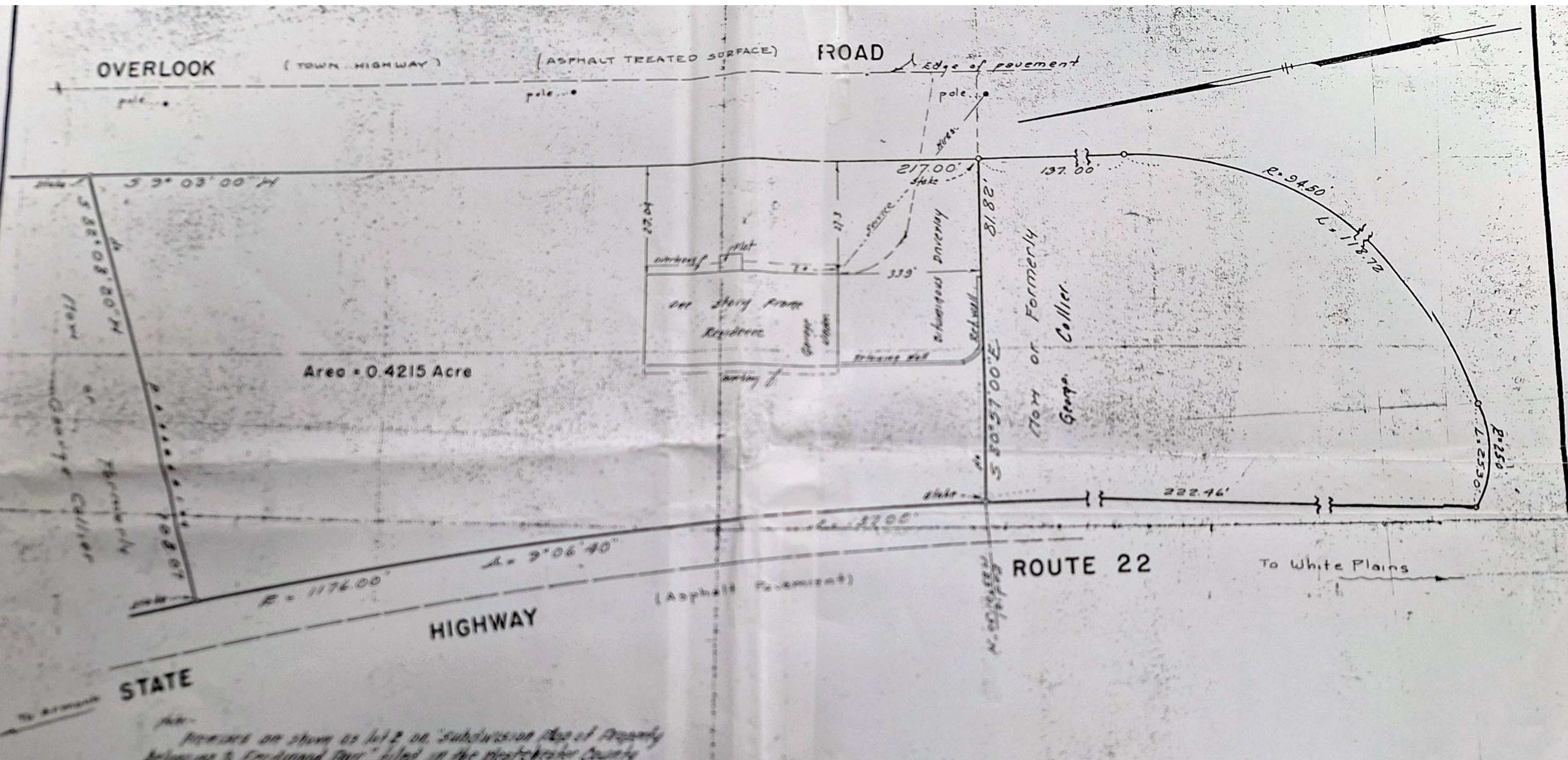
- | | | |
|-----|---|---------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>18,360</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>5,422</u> |
| 3. | Amount of floor area contained within first floor:
— <u>506</u> existing + <u>0</u> proposed = — | <u>506</u> |
| 4. | Amount of floor area contained within second floor:
— <u>1209</u> existing + <u>30</u> proposed = — | <u>1239</u> |
| 5. | Amount of floor area contained within garage:
— <u>506</u> existing + <u>51</u> proposed = — | <u>557</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
— <u>0</u> existing + <u>0</u> proposed = — | <u>0</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
— <u>0</u> existing + <u>0</u> proposed = — | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
— <u>0</u> existing + <u>0</u> proposed = — | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
— <u>0</u> existing + <u>0</u> proposed = — | <u>0</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = — | <u>2,302</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

1-29-24

Date



premises are shown as lot 2 on "Subdivision Map of Property belonging to Ferdinand Parr," filed in the Westchester County Clerk's office, Division of Land Records as map no. 13021.

This is to certify that the field work for this survey was completed November 30, 1961 and that this map was completed December 2, 1961.

Ralph L. McDonald

Certified as correct to The Empire State Federal Surveys and Loan Act and The Title Guarantee Co.

FIRST AMERICAN TITLE INSURANCE COMPANY OF NEW YORK
TITLE # 201-W-2224

SURVEY OF PROPERTY
PREPARED FOR

GEORGE COLLIER

TOWN OF NORTH CASTLE - WESTCHESTER CO., N.Y.

SCALE: 1" = 20'

DECEMBER 2, 1961

Ralph L. McDonald
N.Y. State Lic. No. 9080

Brought A Date 2-24-62 2247
8-1-62 2247

ADDITION 5 OVERLOOK RD. NORTH CASTLE, NY

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA TABLE R301.2(1)

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMPERATURE	ICE SHIELD UNDERLAYMENT REQUIREMENT	FLOOD HAZARDS
			WEATHERING	FROST DEPTH LINE	TERMITE	DECAY			
30 PSF	115 MPH	B	SEVERE	42"	MODERATE HEAVY	SLIGHT MODERATE	7° F	YES	NO

APPLICABLE CODES:
2020 RCNYS

SCOPE OF WORK:
ADDITION

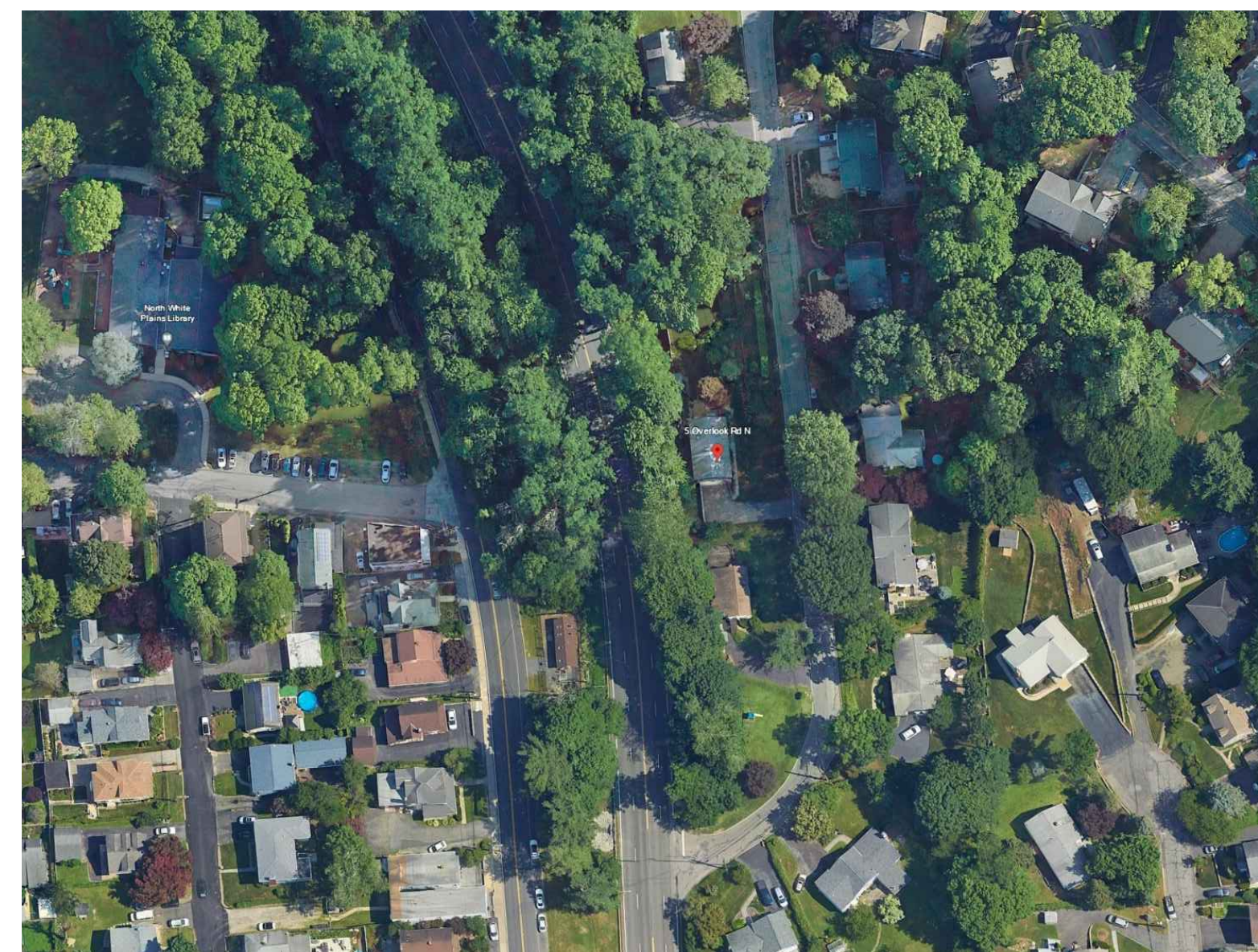
GENERAL NOTES

- ALL WORK SHALL CONFORM TO 2020 RCNYS, AND LOCAL CODES. ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES.
- MATERIALS, WORKMANSHIP AND INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH NOT ONLY MANUFACTURERS' PRINTED INSTRUCTIONS, BUT ALSO THE STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS.
- ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
- PROVIDE TEMPORARY PROTECTION OF MATERIALS AND EQUIPMENT.
- IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB. ANY OMISSIONS IN THESE GENERAL INSTRUCTIONS OR THE OUTLINE OF WORK ARE NOT TO BE CONSTRUED AS REMOVING SUCH ITEMS FROM THE RESPONSIBILITIES OF THE CONTRACTOR.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES. CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTERESTS OF THE
- CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK; THE CHARACTER, QUALITY, AND QUANTITY OF MATERIALS; THE DIFFICULTIES LIKELY TO BE

5 OVERLOOK RD N. ID: 122.08-2-65 (North Castle)



WESTCHESTER COUNTY GIS



GOOGLE EARTH

ZONING DATA : NORTH CASTLE

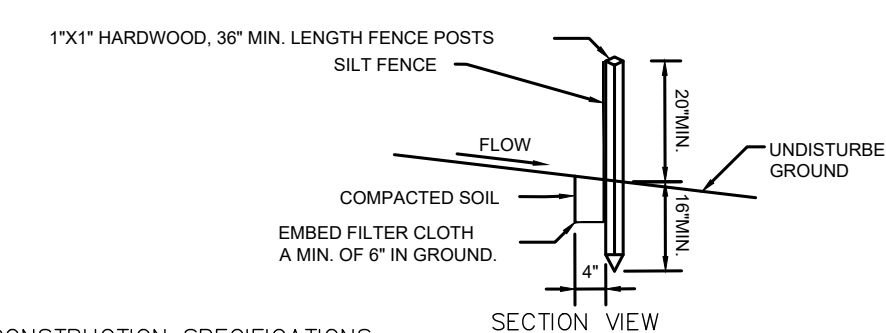
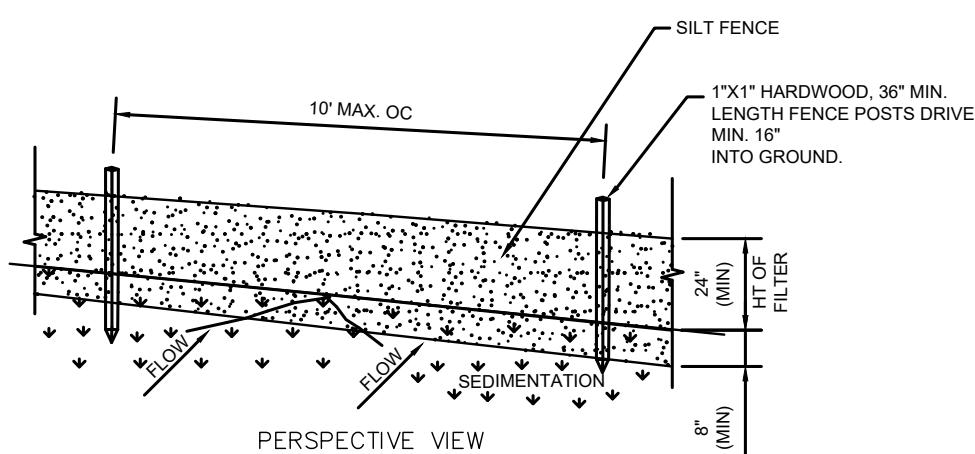
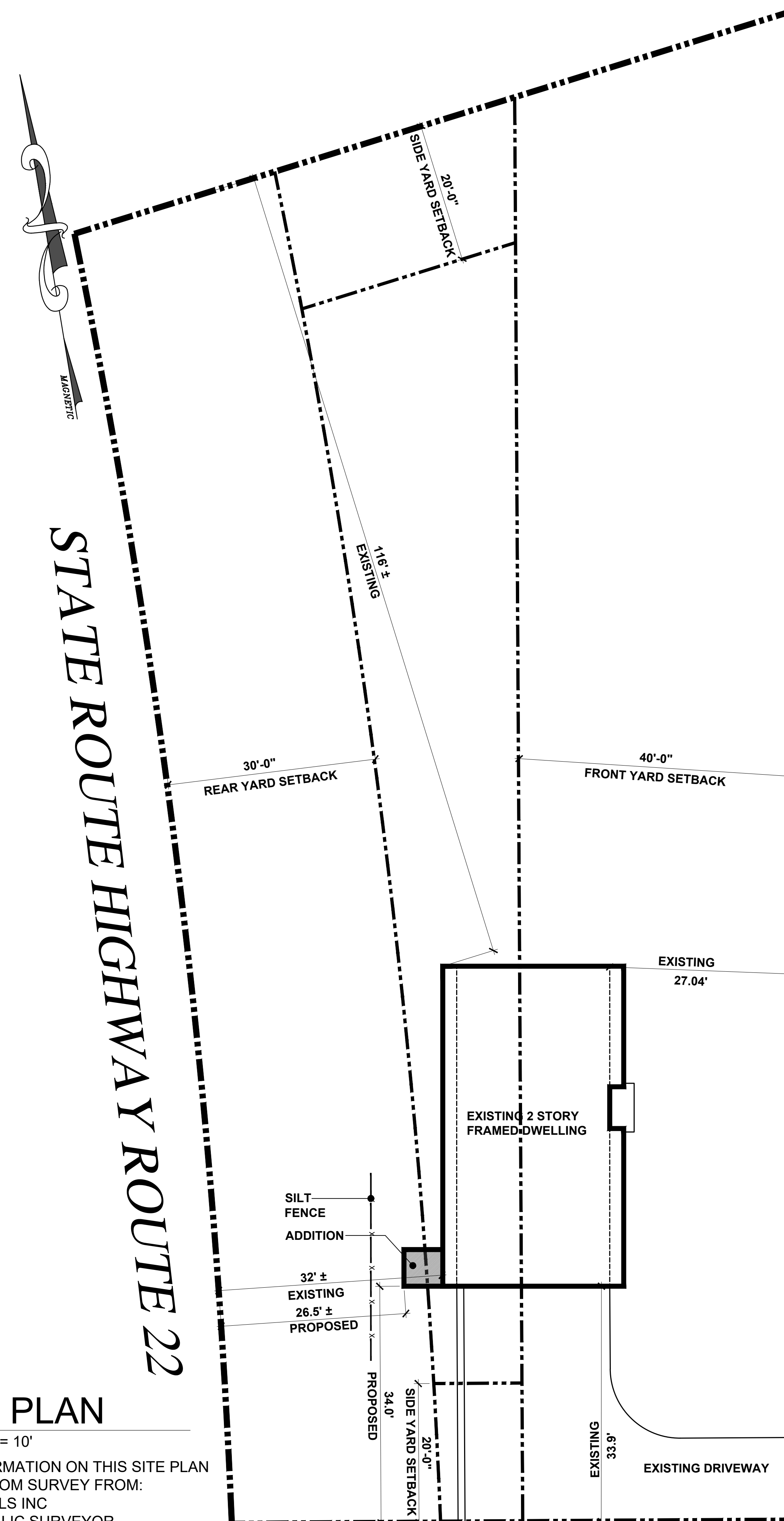
TAX MAP #:	122.08-2-65		
ZONE:	R 1/2A		
TABLE BUILDING REQUIREMENTS			
MINIMUM LOT AREA	REQUIRED 1/2 ACRE 21,780 SF	EXISTING .4215 ACRE 18,360.54 SF	PROPOSED NO CHANGE
MINIMUM LOT FRONTAGE	125 FT	217 FT	NO CHANGE
MINIMUM LOT WIDTH	125 FT	137 FT	NO CHANGE
MINIMUM LOT DEPTH	100 FT	81.82 FT	NO CHANGE
BUILDING COVERAGE MAX	2,754.08 SF (15%)	1,184 SF (6.4%)	1,214 SF (6.6%)
FLOOR AREA RATIO *	REFER TO WORKSHEET		
LAND COVERAGE **	REFER TO WORKSHEET		
MAXIMUM HEIGHT	2 1/2 STORIES 30 FEET	2 STORIES 24'-0"	NO CHANGE
SETBACK REQUIREMENTS			
MIN. FRONT (EAST)	40 FT	27.04 FT	27.04 FT
MIN. REAR (WEST)	30 FT	±32 FT	± 26.5 FT
MIN. SIDE (SOUTH)	20 FT	33.9 FT	33.9 FT
MIN. SIDE (NORTH)	20 FT	±116 FT	± 116 FT

* FLOOR AREA: 4,750 + (0.218,360 - 15,000) = 5,422 SF
** LAND COVERAGE: 5,200 + (0.1818,360 - 15,000) = 5,804 SF

A SITE PLAN

SCALE: 1" = 10'

ALL INFORMATION ON THIS SITE PLAN
TAKEN FROM SURVEY FROM:
CHAS SELLS INC
NY STATE LIC SURVEYOR
DATED: APRIL 8, 1959



- CONSTRUCTION SPECIFICATIONS
- SILT FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES. POSTS SHALL BE 1"x1" HARDWOOD, OR APPROVED EQUAL.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE WRAPPED AROUND 2 STAPLES, MIN 2X. FILTER CLOTH SHALL BE EITHER FILTER USOP M55F100, MIRAFF 100X OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED. REINFORCE AREA LOW POINTS WITH ADDITIONAL STAPLES OR OTHER MATERIALS (AS RECOMMENDED BY ENGINEER). MATERIAL SHALL BE REMOVED WHEN SEDIMENT LOAD REACHES 50% HEIGHT OF FENCE.

SILT FENCE INSTALLATION DETAIL
NTS

MAP

Michael Piccirillo Architecture

NOTE:
DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.
© Copyright 2021 MICHAEL PICCIRILLO ARCHITECTURE PLLC

No.	DATE	ISSUE
1	01/29/24	ISSUED

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ADDITION

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5 OVERLOOK RD
NORTH CASTLE, NY



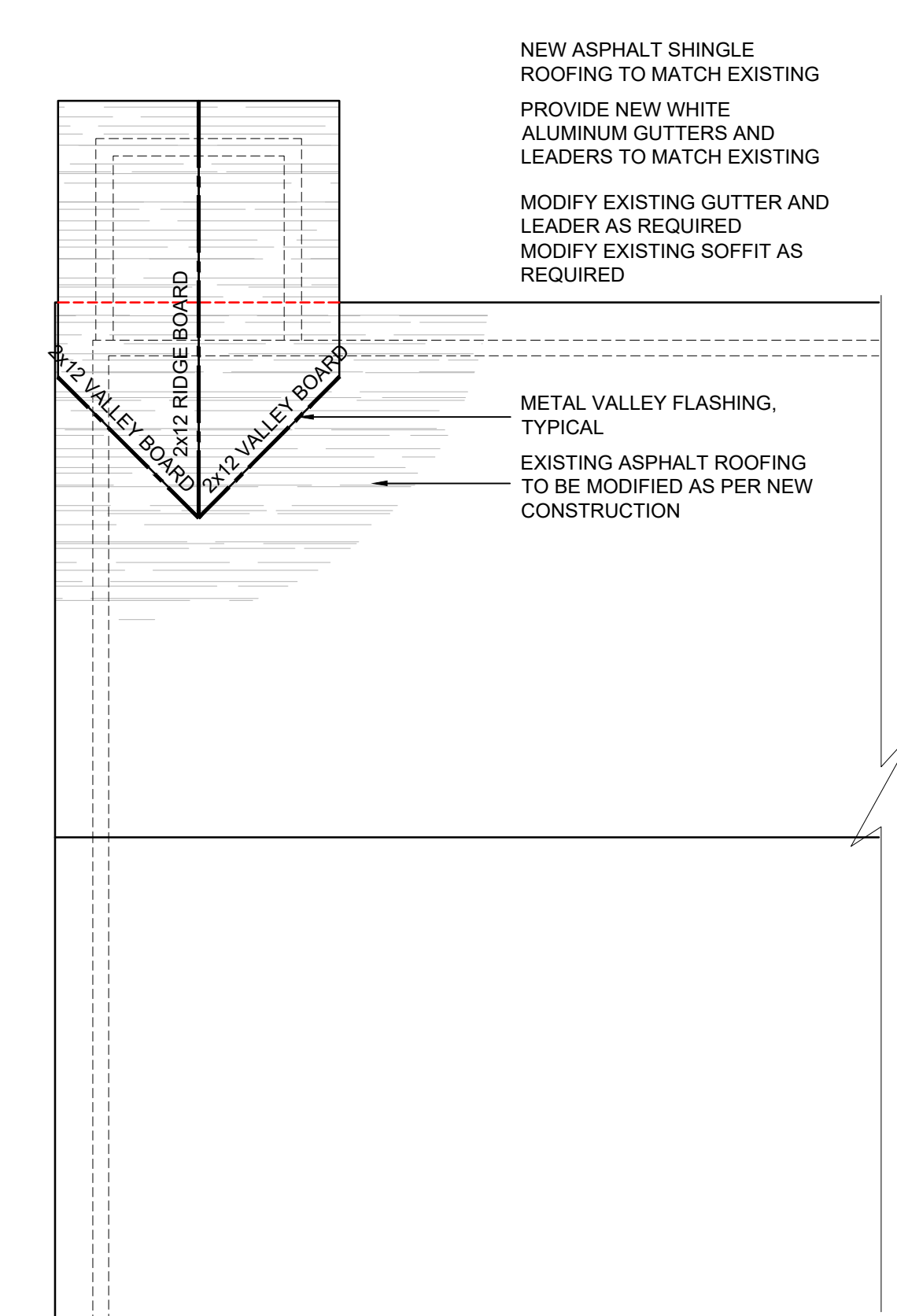
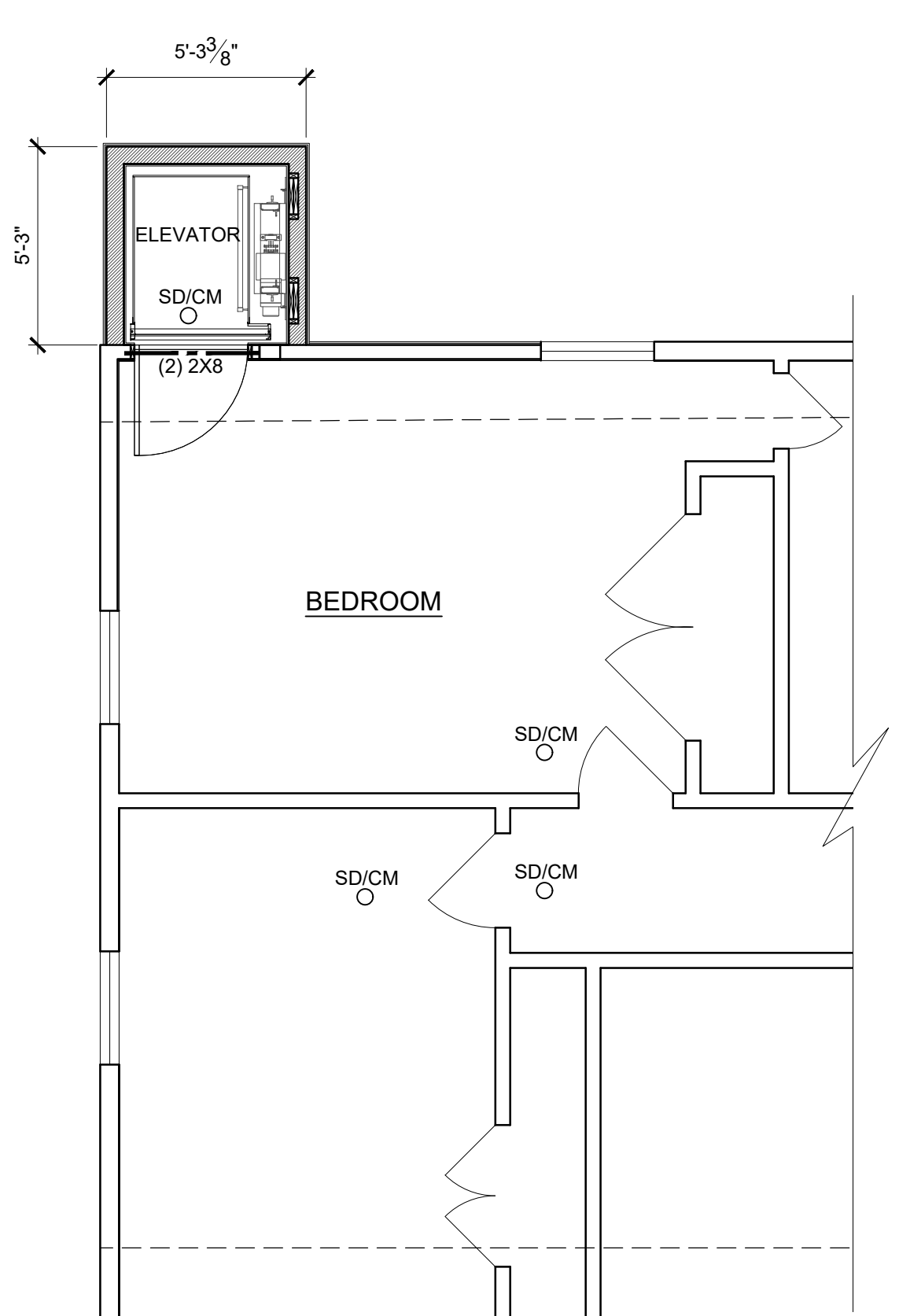
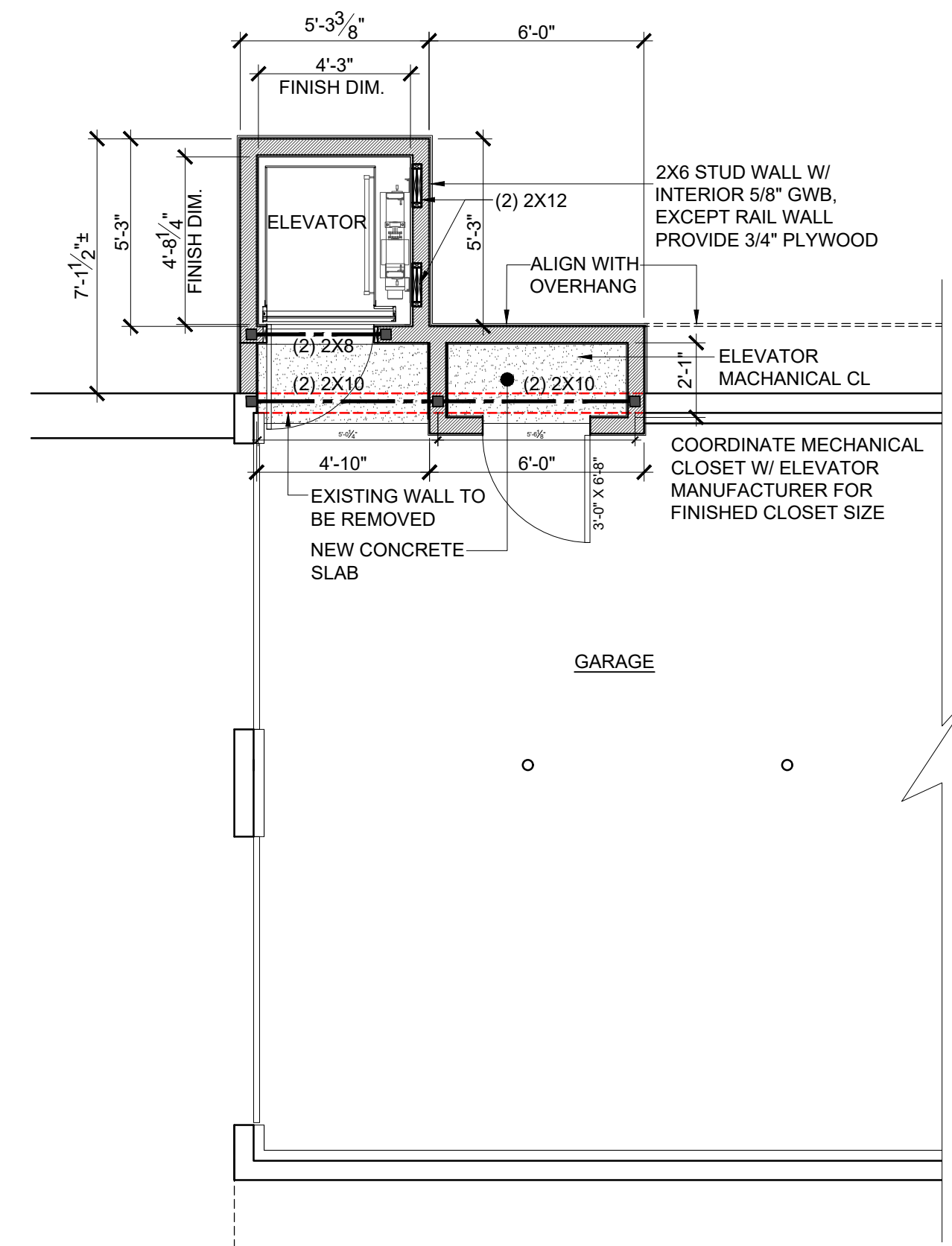
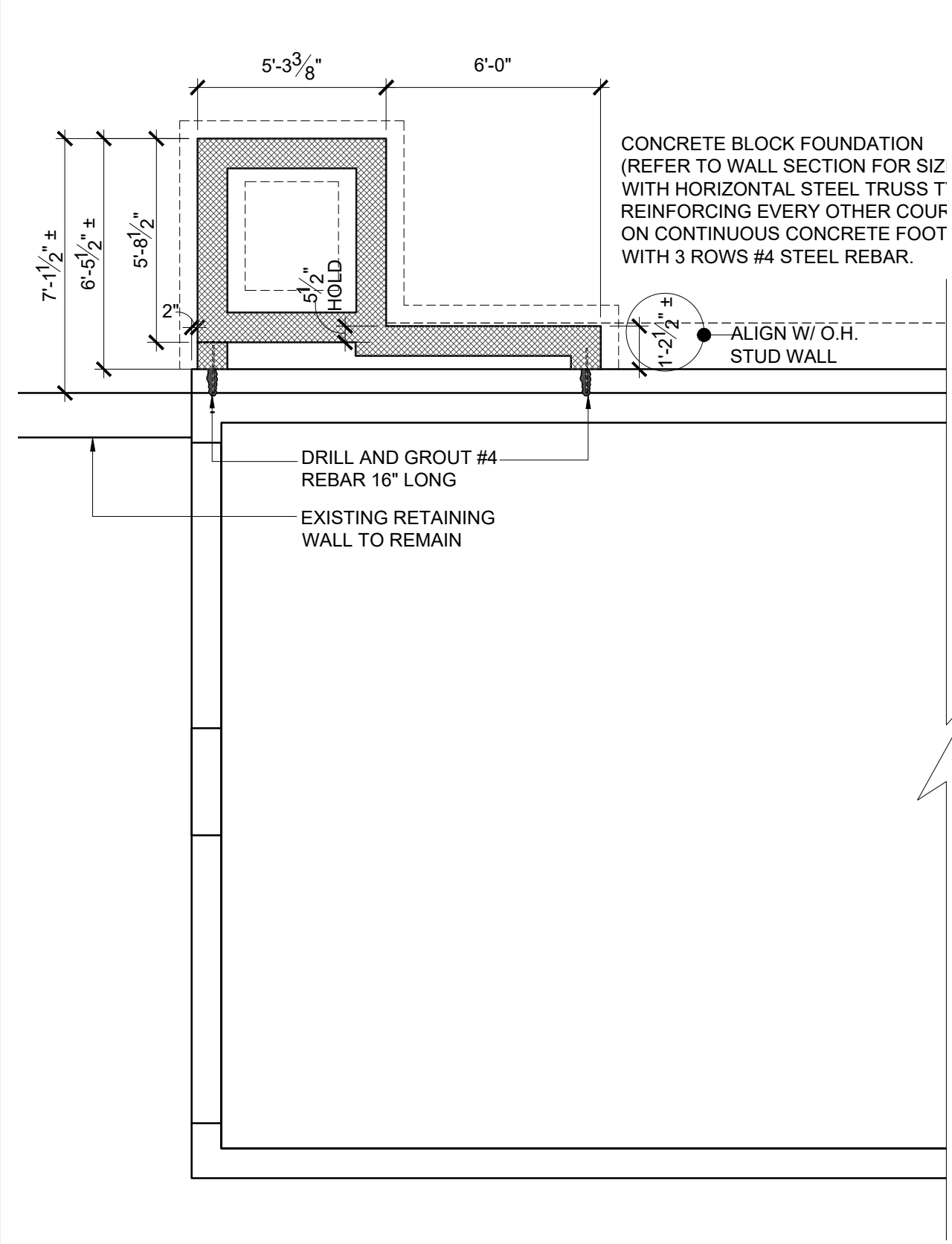
MICHAEL A PICCIRILLO, AIA

345 KEAR STREET SUITE #203
YORKTOWN, NEW YORK 10598

TELEPHONE: 914-368-9838
FACSIMILE: 914-368-9839
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

SITE PLAN

A001



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

2 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

3 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

4 ROOF PLAN
SCALE: 1/4" = 1'-0"

FOUNDATIONS:

- FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON UNDISTURBED SOILS. ASSUMED SOIL BEARING PRESSURE: 1,500 POUNDS PER SQUARE FOOT.
- SHOULD IT BE NECESSARY TO LOWER FOOTINGS, ELEVATIONS OF ADJACENT FOOTINGS SHALL BE ADJUSTED TO LIMIT STEPPING TO 1 VERTICAL TO 2 HORIZONTAL. PLACE LOWEST FOOTING FIRST. SEE "STEPPED FOOTING DETAIL."
- KEEP FOOTING BOTTOMS WELL DRAINED UNTIL FOOTINGS ARE IN PLACE. PUMP AS REQUIRED.
- DO NOT BACKFILL AGAINST RETAINING WALLS UNLESS WALLS ARE SHORED OR UNTIL CONCRETE HAS ATTAINED SPECIFIED 28 DAY STRENGTH. SLABS ON GROUND SHALL BE PLACED IN ALTERNATIVE STRIP FASHION TO MINIMIZE SHRINKAGE.
- PROVIDE ALL NECESSARY SHORING, SHEETING AND BRACING FOR DEEP FOOTING EXCAVATIONS.
- ALL RETAINING WALLS SHALL HAVE 12" OF FREE-DRAINING GRANULAR BACKFILL BEHIND WALL FULL HEIGHT. PROVIDE CONTROL JOINTS IN RETAINING WALLS EVENLY SPACED NO MORE THAN 30 FEET O. C.
- SEE "CONCRETE" NOTES FOR ADDITIONAL REQUIREMENTS.

CONCRETE MASONRY UNITS: SHALL CONFORM TO ATSM C90

- MORTAR SHALL BE TYPE M OR TYPE S MORTAR.
- MORTAR SHALL BE SUFFICIENTLY PLASTIC AND UNITS SHALL BE PLACED WITH SUFFICIENT PRESSURE TO EXTRUDE MORTAR FROM THE JOINT AND PRODUCE A TIGHT JOINT
- REINFORCEMENT BARS SHALL BE COMPLETELY EMBEDDED IN MORTAR.
- CELLS CONTAINING REINFORCEMENT SHALL BE FILLED SOLID WITH GROUT
- JOINT REINFORCEMENT SHALL BE ASTM A153, CLASS B-2
- GROUT SHALL BE A PLASTIC MIX SUITABLE FOR PUMPING WITHOUT SEGREGATION OF THE CONSTITUENTS.
- GROUT SHALL BE CONSOLIDATED BY PUDDLING OR MECHANICAL VIBRATING DURING PLACING AND RECONSOLIDATED AFTER EXCESS MOISTURE HAS BEEN ABSORBED BUT BEFORE PLASTICITY IS LOST

CONCRETE:

- ALL CONCRETE DESIGN AND PLACEMENT SHALL COMPLY WITH THE LATEST EDITION OF THE ACI 301, "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS". HOT WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 305. COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306. ALL OTHER APPLICABLE CODES SHALL ALSO BE FOLLOWED.
- CONCRETE SHALL BE NORMAL WEIGHT CONCRETE EXCEPT LIGHT WEIGHT CONCRETE SHALL BE USED FOR SLABS ON STEEL DECK UNLESS NOTED OTHERWISE. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS FOR FOUNDATIONS AND 4,000 PSI WITH A MINIMUM OF 4% AIR ENTRAINMENT FOR ALL OTHER CONCRETE. (INCLUDING SLABS ON GROUND).
- REINFORCEMENT SHALL BE DEFORMED INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. THE USE OF POLYPROPYLENE FIBERS MAY ONLY BE USED IN ADDITION TO MESH AND REINFORCEMENT CALLED OUT FOR SLABS.
- FOLLOW ACI RULES AS TO TIES, ANCHORAGE, SPLICES, CONCRETE COVERAGE AND REINFORCEMENT SUPPORTS.
- REINFORCEMENT MARKED "CONTINUOUS" (CONT.) SHALL BE LAPPED 36 BAR DIAMETERS AT SPLICES AND CORNERS, AND HOOKED AT NON-CONTINUOUS ENDS OR EXTENDED 36 BAR DIAMETERS UNLESS OTHERWISE NOTED.
- CONSTRUCTION JOINTS SHALL BE LOCATED AT POINTS OF ZERO SHEAR. NO CONSTRUCTION JOINTS SHALL BE LOCATED IN MEMBERS CARRYING A CONCENTRATED LOAD. PROVIDE SHEAR BARS AS DIRECTED BY THE ENGINEER. LOCATIONS OF CONSTRUCTION JOINTS SHALL BE ACCEPTED BY THE ENGINEER.
- PROVIDE SLEEVES AND BOX OUT FOR OPENINGS FOR MECHANICAL TRADES. FOR SIZE AND LOCATION OF ALL OPENINGS, SEE ARCHITECTURAL AND MECHANICAL DRAWINGS. OPENINGS SHALL BE PLACED SO AS NOT TO AFFECT THE STRENGTH OF THE STRUCTURAL MEMBERS.
- CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATIONS OF ALL OPENINGS, PIPE SLEEVES, ANCHOR BOLTS, ETC., AS REQUIRED BY ALL TRADES, BEFORE CONCRETE IS PLACED.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO NYSRC2020, AND LOCAL ZONING CODES.
- DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT. G.C. SHALL SURVEY AND EXAMINE THE EXISTING STRUCTURE IN ESTABLISHING LAYOUT OF THE WORK IN ORDER TO ASSURE PROPER FIT AND ALIGNMENT OF THE NEW WORK WITH PROPER RELATIONSHIP TO EXISTING FEATURES. DO NOT SCALE DRAWINGS.
- ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES.
- CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK.
- ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK DESCRIBED IN THIS DRAWING

ELEVATOR NOTES

- VERIFY ALL DIMENSIONS WITH ELEVATOR SHOP DRAWINGS PROVIDED BY OTHERS.
- REFER TO SPECIFIC MANUFACTURER INSTALLATION REQUIREMENTS.
- PROVIDE POWER AS REQUIRED BY MANUFACTURER

GENERAL FINISH NOTES:

- NEW DRYWALL SHALL BE 5/8" THICK, TAPED, FILLED (3 COAT APPLICATION) AND SANDED SMOOTH. FIRECODE DRYWALL SHALL BE 5/8" THICK TYPE X ON CEILINGS AND WALLS, TAPED, FILLED (3 COAT APPLICATION) AND SANDED SMOOTH.
- ALL PAINTING SHALL BE A MINIMUM PRIME PLUS 2-COAT JOB OF THE HIGHEST QUALITY WORKMANSHIP, FREE OF RUNS AND SAGS, WITH STRAIGHT CUTS.
- EXISTING FINISHED SURFACES DISTURBED BY NEW CONSTRUCTION SHALL BE PATCHED/REPAIRED AND BLEND SEAMLESSLY WITH NEW WORK.

ASPHALT ROOF:

- TIMBERLINE ULTRA HD MANUFACTURED BY GAF, COLOR CHARCOAL
- UNDERLAYMENT / INTERLAYMENT SHALL BE 30 LB. ASPHALT SATURATED FELT, UNLESS OTHERWISE NOTED.
- FLASHING: ALUMINUM
- NAILS, SCREWS, STRAPS AND FASTENINGS: SHALL BE OF A COMPATIBLE NON-CORROSIVE MATERIAL AS APPROVED BY THE MANUFACTURER.
- NAILS SHALL HAVE LARGE FLAT HEADS AND NEEDLE POINTS NOT SMALLER THAN 12 GAUGE.
- PROVIDE OPEN VALLEY WITH 36" WIDE ICE AND WATER SHIELD BY "GRACE" WATERPROOF UNDERLAYMENT BELOW 20" WIDE STRIP ALUMINUM FLASHING. FOLLOW ROOF MANUFACTURER'S INSTALLATION GUIDELINES FOR ALL FLASHING, VALLEY AND RIDGE CONDITIONS.

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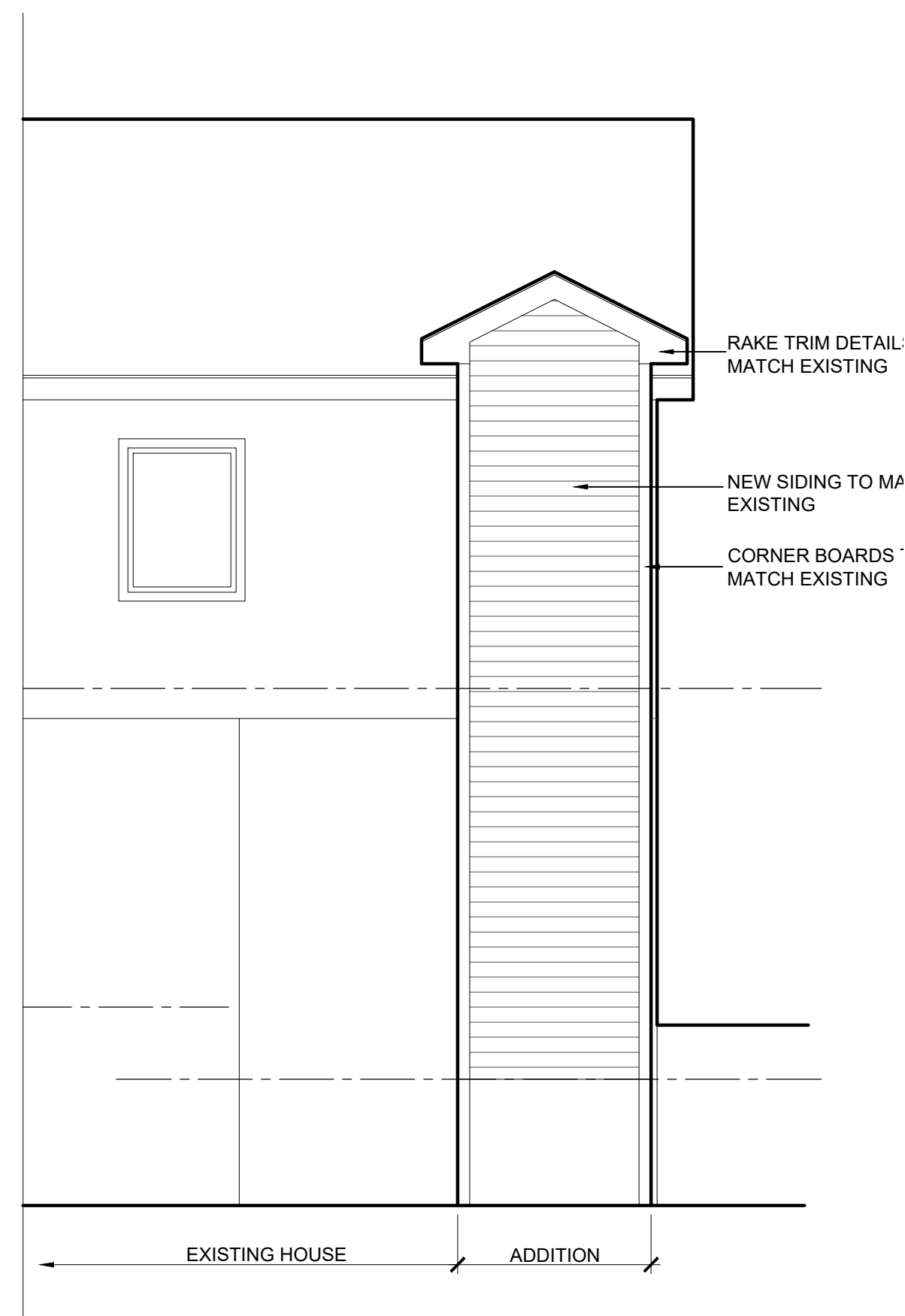


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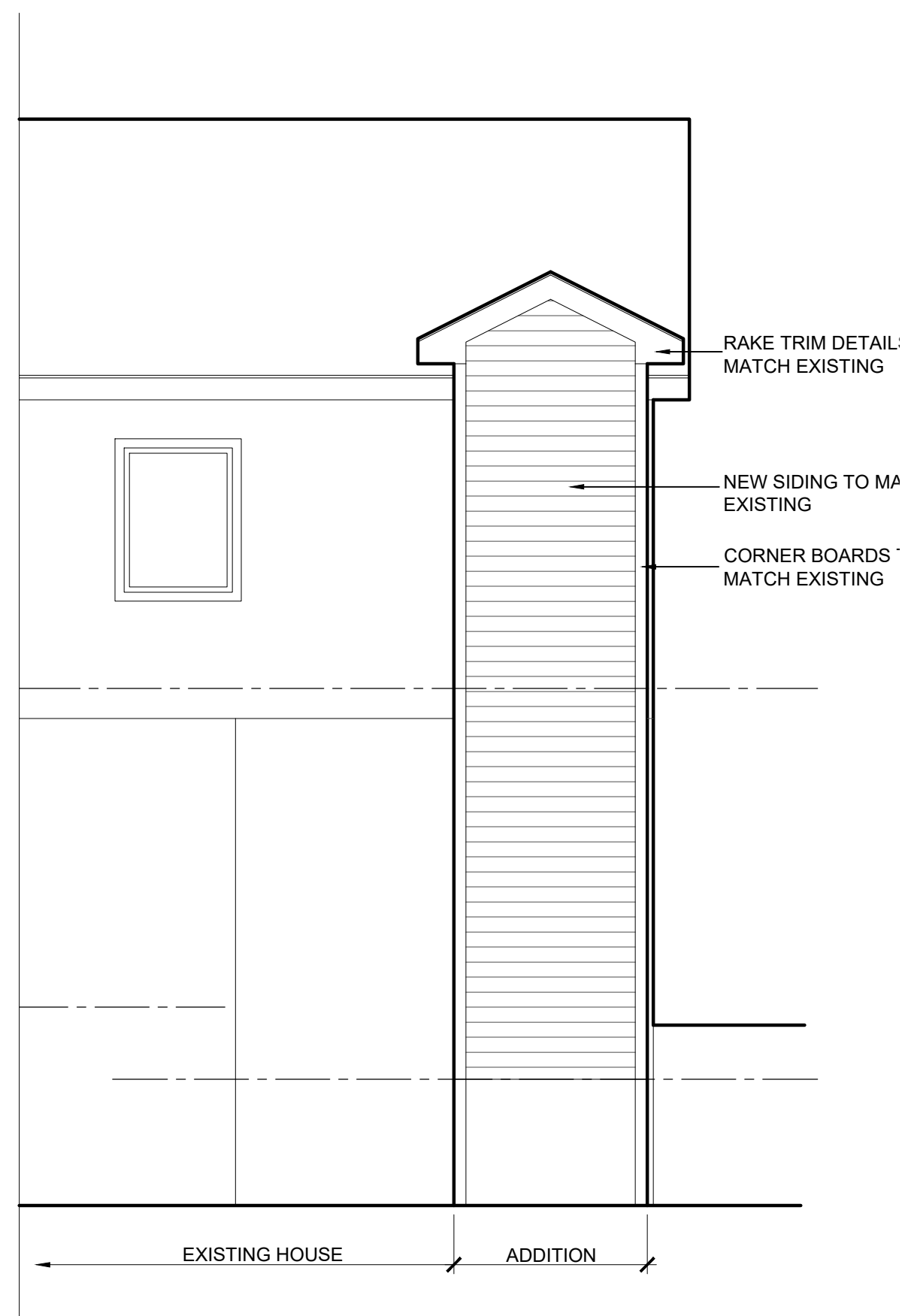
345 KEAR STREET SUITE #203
YORKTOWN, NEW YORK 10598

TELEPHONE: 914-368-9838
FACSIMILE: 914-368-9839
michael@mpiccirilloarchitect.com
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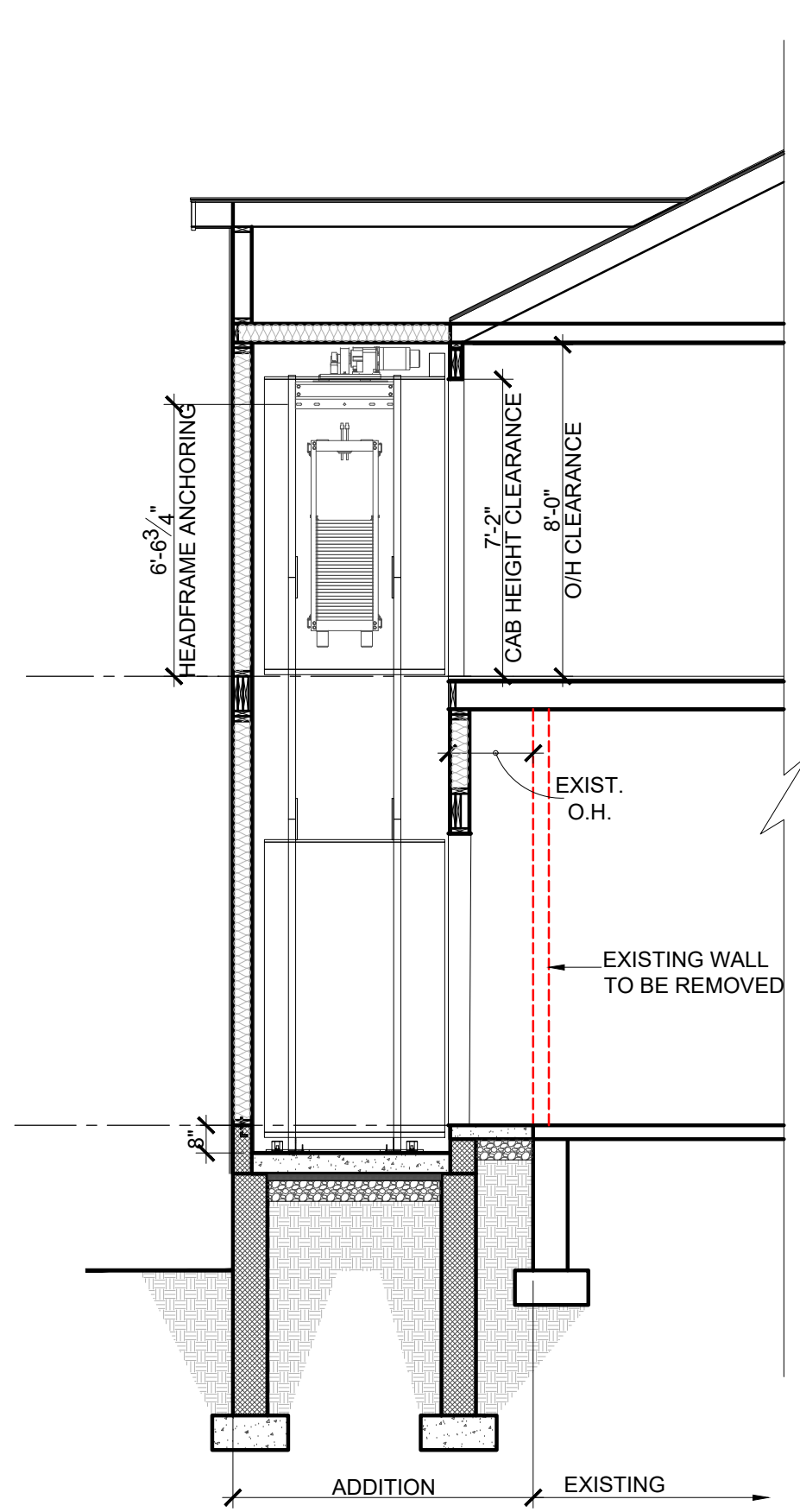
FLOOR PLANS



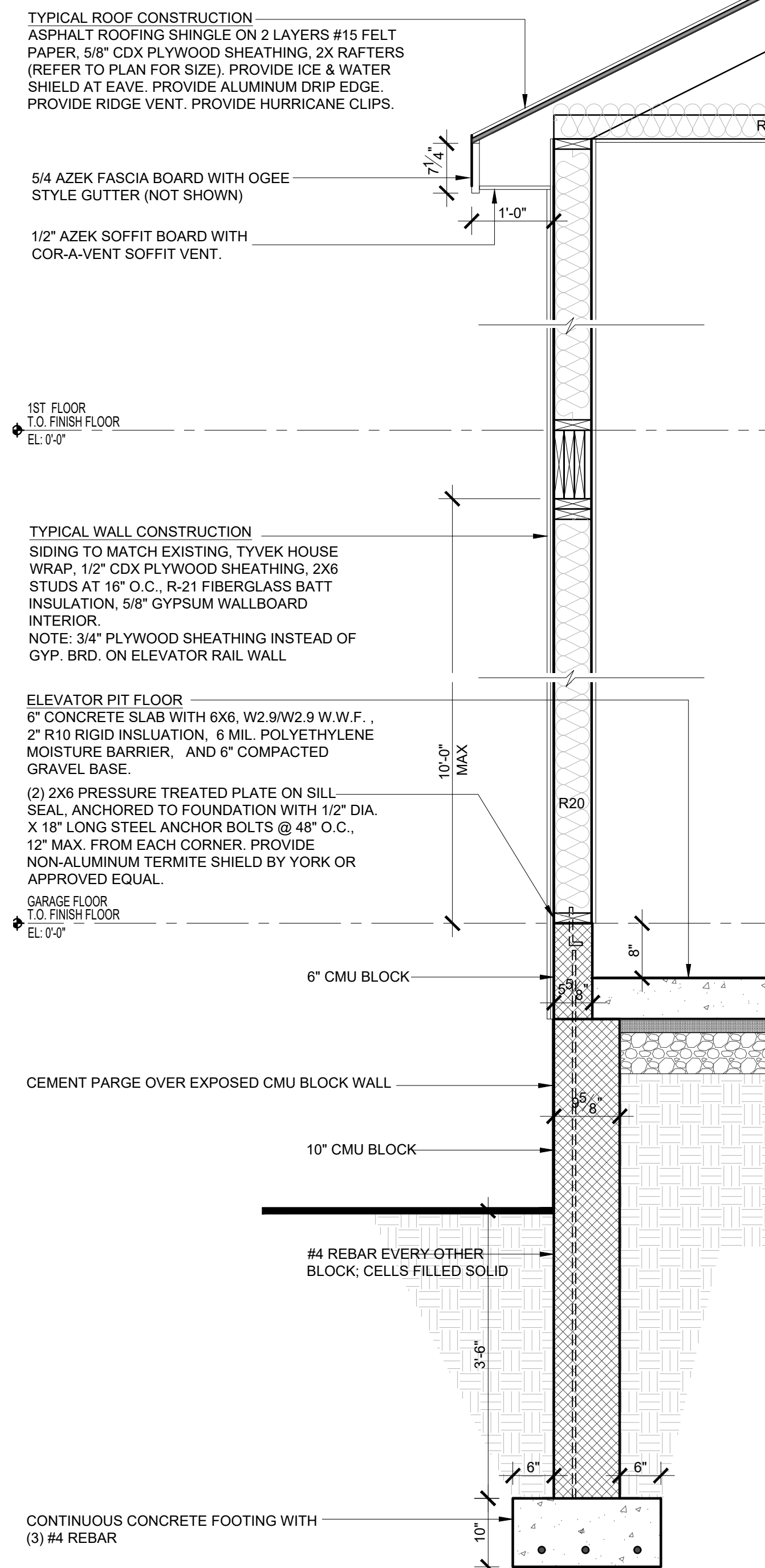
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



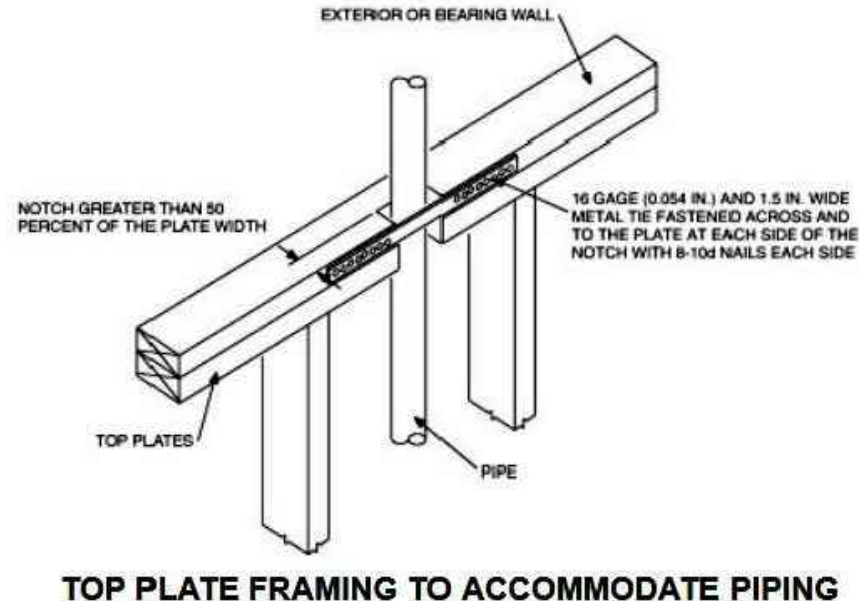
2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



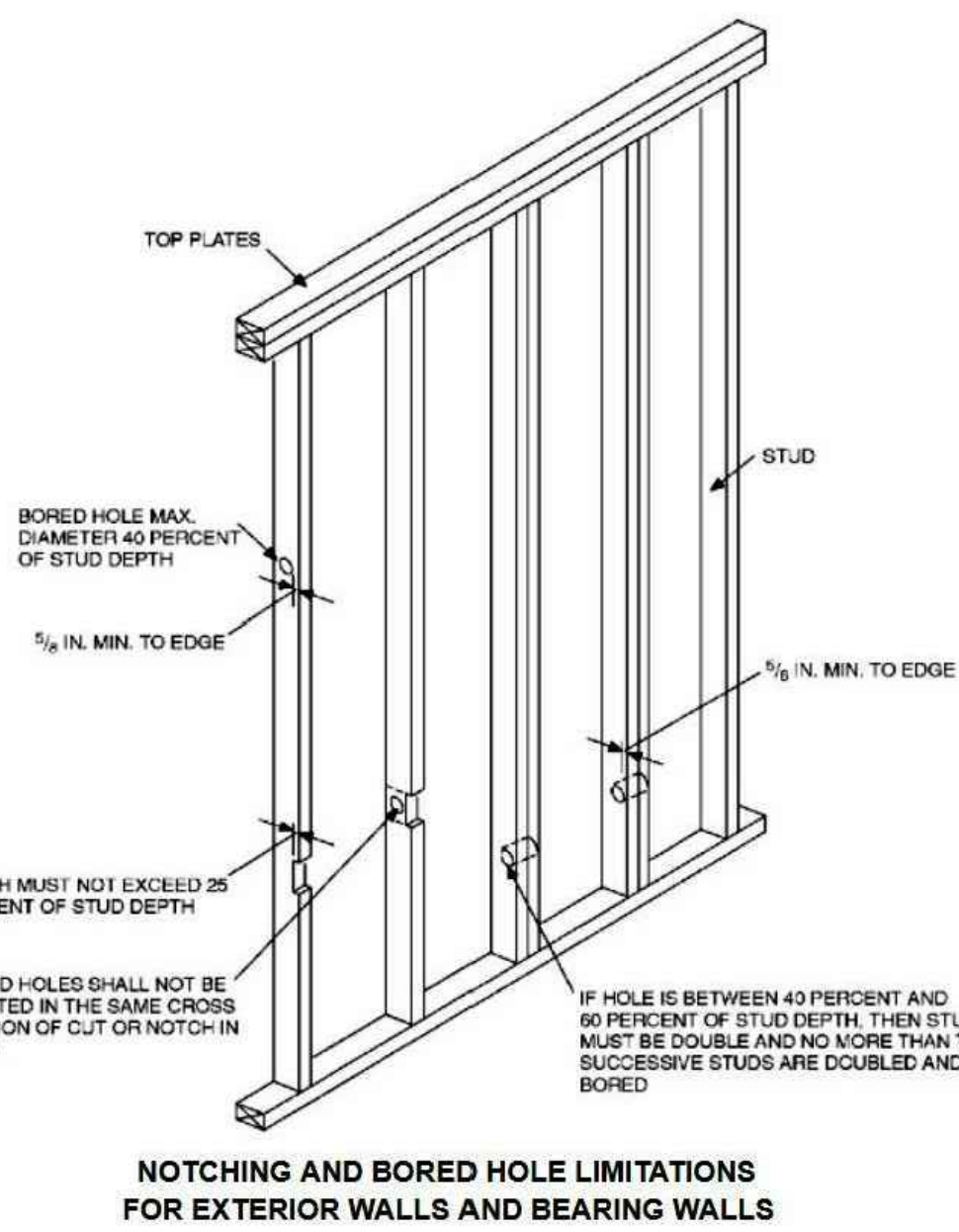
A BUILDING SECTION
SCALE: 1/4" = 1'-0"



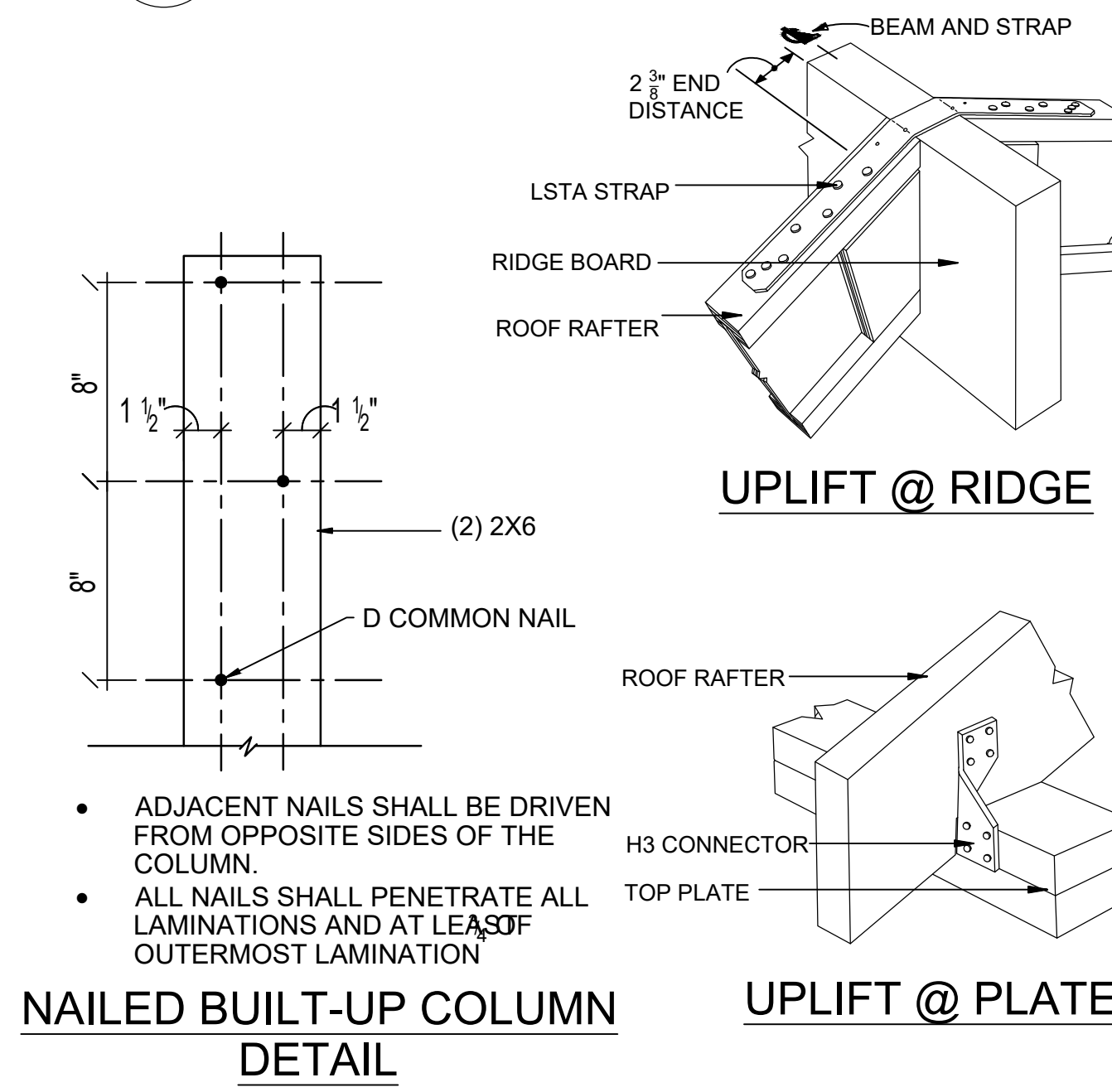
B WALL SECTION
SCALE: 3/4" = 1'-0"



TOP PLATE FRAMING TO ACCOMMODATE PIPING



NOTCHING AND BORED HOLE LIMITATIONS FOR EXTERIOR WALLS AND BEARING WALLS



NAILED BUILT-UP COLUMN DETAIL

UPLIFT @ PLATE

GENERAL NOTES:

- THE FRAMING PLANS ARE DIAGRAMMATIC ONLY AND DO NOT REPRESENT EVERY PIECE OF LUMBER REQUIRED FOR A COMPLETE PROJECT. THE CONTRACTOR MUST DETERMINE THE CORRECT QUANTITIES OF MATERIALS REQUIRED FOR THE PROJECT INCLUDING BLOCKING, NAILERS, JOIST/BEAM HANGERS, ETC.
- THE CONTRACTOR MUST ALSO COMPLY WITH BUILDING CODE REQUIREMENTS GOVERNING THE OVERALL PROJECT.
- THE FRAMING LAYOUTS DEPICTED DO NOT ACCOUNT FOR SPECIFIC PROJECT REQUIREMENTS SUCH AS PLUMBING FIXTURE LOCATIONS, HVAC REGISTER LOCATIONS, LIGHTING LAYOUTS, ETC. CONTRACTOR MUST COORDINATE THE STARTING POINTS AND LAYOUT OF THE FRAMING IN ORDER TO MINIMIZE THE IMPACT OF THOSE ITEMS.
- DIMENSIONS INDICATED ARE ONLY A GUIDE TO INDICATE THE DESIGN MAXIMUM DESIGN SPANS USED. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND OVERALL CONSTRUCTION DETAILS.
- ENGINEERED LUMBER IS BASED ON I/LEVEL, MICROLAM LVL'S, I-JOIST, PARALLEL STRAND LUMBER (PSL), AND LAMINATED STRAND LUMBER (LSL) PRODUCTS. OTHER SUITABLE PRODUCTS MAY BE USED IF THEY MEET THE STRENGTH AND STIFFNESS PROPERTIES OF THE SPECIFIED PRODUCTS.
- WALL STUDS SHALL DOUGLAS FIR STUD GRADE UNLESS CALLED OUT OTHERWISE.
- ALL SHEATHING SHALL BE APA RATED PRODUCTS.
- UNLESS OTHERWISE NOTED FASTENERS PER THE BUILDING CODE FASTENER SCHEDULE.
- ALIGN FLOOR JOISTS WITH BEARING WALL STUDS. IF A JOIST IS MORE THAN 4" FROM THE FACE OF A STUD, INSTALL A WALL STUD UNDER THE JOIST.
- ALL BEAMS ARE FLUSH FRAMED UNLESS NOTED "DROPPED". PROVIDE JOIST HANGERS COMPATIBLE WITH THE MEMBER BEING SUPPORTED UNLESS A HANGER IS SPECIFIED.
- CONCRETE SHALL HAVE THE FOLLOWING 28 DAY COMPRESSIVE STRENGTH:
FOOTING: 3000 PSI
PIER: 4000 PSI
SLAB: 4000 PSI
- CONCRETE REINFORCING BARS SHALL BE ASTM A615 GRADE 60
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR BEDROCK.
- IN THE EVENT OF LARGE VARIATIONS OF BEDROCK, LOW SPOTS MAY BE FILLED WITH LEAN CONCRETE OR 1/2" CRUSHED STONE PRIOR TO FORMING AND PLACING FOOTING. VERIFY CONDITIONS AND NOTIFY THE ARCHITECT.
- ANY NEW WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED OR BE ISOLATED FROM THE CONCRETE.
- ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED, STAINLESS STEEL, OR BE COMPATIBLE WITH THE PRESERVATIVE USED.
- ALL FASTENERS FOR METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER LITERATURE.
- ALL METAL CONNECTORS SHALL BE HOT DIPPED GALVANIZED TO THE MANUFACTURERS MAXIMUM TREATMENT.

TABLE R602.3(1) FASTENING SCHEDULE

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a, b, c}	SPACING AND LOCATION
Roof			
1	Blocking between ceiling joists or rafters to top plate	4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail
2	Ceiling joists to top plate	4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Per joist, toe nail
4	Ceiling joist attached to parallel rafter (heel joint) (see Section R802.5.2 and Table R802.5.2)	Table R802.5.2	Face nail
6	Rafter or roof truss to plate	3-16d box nails (3 1/2" x 0.135"); or 3-10d common nails (3" x 0.148"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss ^d
7	Roof rafters to ridge, valley or hip rafters or roof rafter to minimum 2" ridge beam	4-16d (3 1/2" x 0.135"); or 3-10d common (3" x 0.148"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails 3-16d box (3 1/2" x 0.135"); or 2-16d common (3 1/2" x 0.162"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail End nail
Wall			
8	Stud to stud (not at braced wall panels)	16d common (3 1/2" x 0.162") 10d box (3" x 0.128"); or 3" x 0.131" nails	24" o.c. face nail 16" o.c. face nail
9	Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	16d box (3 1/2" x 0.135"); or 3" x 0.131" nails 16d common (3 1/2" x 0.162")	12" o.c. face nail 16" o.c. face nail
10	Built-up header (2" to 2" header with 1/2" spacer)	16d common (3 1/2" x 0.162") 16d box (3 1/2" x 0.135")	16" o.c. each edge face nail 12" o.c. each edge face nail
11	Continuous header to stud	5-8d box (2 1/2" x 0.113"); or 4-8d common (2 1/2" x 0.131"); or 4-10d box (3" x 0.128")	Toe nail
12	Top plate to top plate	16d common (3 1/2" x 0.162") 10d box (3" x 0.128"); or 3" x 0.131" nails	16" o.c. face nail 12" o.c. face nail
13	Double top plate splice	8-16d common (3 1/2" x 0.162"); or 12-16d box (3 1/2" x 0.135"); or 12-10d box (3" x 0.128"); or 12-3" x 0.131" nails	Face nail on each side of end joint (minimum 24" lap splice length each side of end joint)
14	Bottom plate to joist, rim joist, band joist or blocking (not at braced wall panels)	16d common (3 1/2" x 0.162") 16d box (3 1/2" x 0.135"); or 3" x 0.131" nails	16" o.c. face nail 12" o.c. face nail
15	Bottom plate to joist, rim joist, band joist or blocking (at braced wall panel)	3-16d box (3 1/2" x 0.135"); or 2-16d common (3 1/2" x 0.162"); or 4-3" x 0.131" nails	3 each 16" o.c. face nail each 16" o.c. face nail 4 each 16" o.c. face nail
16	Top or bottom plate to stud	4-8d box (2 1/2" x 0.113"); or 3-16d box (3 1/2" x 0.135"); or 4-8d common (2 1/2" x 0.131"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails 3-16d box (3 1/2" x 0.135"); or 2-16d common (3 1/2" x 0.162"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail End nail
17	Top plates, laps at corners and intersections	3-10d box (3" x 0.128"); or 2-16d common (3 1/2" x 0.162"); or 3-3" x 0.131" nails	Face nail
Floor			
21	Joist to sill, top plate or girder	4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail
22	Rim joist, band joist or blocking to sill or top plate (roof applications also)	8d box (2 1/2" x 0.113"); or 8d common (2 1/2" x 0.131"); or 10d box (3" x 0.128"); or 3" x 0.131" nails	4" o.c. toe nail 6" o.c. toe nail
26	Band or rim joist to joist	3-16d common (3 1/2" x 0.162") 4-10 box (3" x 0.128"); or 4-3" x 0.131" nails; or 4-3" 14 ga. staples, 7/16" crown	End nail
29	Bridging or blocking to joist	2-10d box (3" x 0.128"); or 2-8d common (2 1/2" x 0.131"); or 2-3" x 0.131" nails	Each end, toe nail
Wood structural panels, subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing (See Table R602.3(3) for wood structural panel exterior wall sheathing to wall framing)			
30	1/2" - 1/2"	6d common (2" x 0.113" nail (subfloor, wall) 8d common (2 1/2" x 0.131" nail (roof); or RSR5-01 (2 1/2" x 0.113" nail (roof))	6 12'
31	3/4" - 1"	8d common nail (2 1/2" x 0.131"); or RSR5-01; (2 1/2" x 0.113" nail (roof))	6 12'
32	1 1/8" - 1 1/4"	10d common (3" x 0.148" nail; or 8d (2 1/2" x 0.131" deformed nail	6 12'



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NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.
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PROJECT NAME:
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ELEVATIONS/ DETAILS

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