



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 32 Nichols Road, Armonk, NY

Section III- DESCRIPTION OF WORK:

Second Floor home office addition adjacent to the master bedroom, over the existing Foyer entrance.

Section III- CONTACT INFORMATION:

APPLICANT: Mark W. Fritz Architect AIA
ADDRESS: 133 Fernwood Road, Trumbull, CT 06611
PHONE: 203-880-9800 MOBILE: 203-981-8930 EMAIL: mwfarchitects@gmail.com

PROPERTY OWNER: Jared Kostick
ADDRESS: 32 Nichols Road, Armonk, NY
PHONE: MOBILE: 631-664-4418 EMAIL: jaredkostick@yahoo.com

PROFESSIONAL: Mark W. Fritz Architect AIA
ADDRESS: 133 Fernwood Road, Trumbull, CT 06611
PHONE: 203-880-9800 MOBILE: 203-981-8930
EMAIL: mwfarchitects@gmail.com

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 108.03-2-19



Town of North Castle
Residential Project Review Committee

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Kostick Residence

☒ Initial Submittal ☐ Revised Preliminary

Street Location: 32 Nichols Road, Armonk, NY

Zoning District: R-1A Property Acreage: 1.18 Tax Map Parcel ID: 108.03-2-19

Date: 2/28/2024

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a ☐ are complete, items left blank ☐ are incomplete and must be completed, "NA" means not applicable.

- ☐ 1. Plan prepared by a registered architect or professional engineer
- ☐ 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- ☐ 3. Map showing the applicant's entire property and adjacent properties and streets
- ☐ 4. A locator map at a convenient scale
- ☐ 5. The proposed location, use and design of all buildings and structures
- ☐ 6. Existing topography and proposed grade elevations
- ☐ 7. Location of drives
- ☐ 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

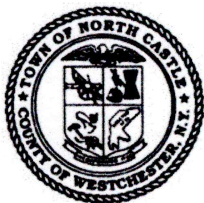
RPRC COMPLETENESS REVIEW FORM

Page 2

- ☐ 9. Description of method of water supply and sewage disposal and location of such facilities
- ☐ 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- ☐ 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- ☐ 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- ☐ 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Mark W. Fritz Date: 2/28/2024

Tax Map Designation or Proposed Lot No.: 108.03-2-19

Gross Lot Coverage

- | | | |
|-----|---|--------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>51,400 sf</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>10,055 sf</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | <u>29.9ft</u> Distance principal home is beyond minimum front yard setback
x 10 = <u>299</u> | <u>299 sf</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>10,354 sf</u> |
| 5. | Amount of lot area covered by principal building:
<u>1,616.85</u> existing + <u>0</u> proposed = | <u>1,616.85 sf</u> |
| 6. | Amount of lot area covered by accessory buildings:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of lot area covered by decks:
<u>386.26</u> existing + <u>0</u> proposed = | <u>386.26 sf</u> |
| 8. | Amount of lot area covered by porches:
<u>57.05</u> existing + <u>0</u> proposed = | <u>57.05 sf</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways:
<u>3,362.28</u> existing + <u>0</u> proposed = | <u>3,362.28 sf</u> |
| 10. | Amount of lot area covered by terraces:
<u>235.28</u> existing + <u>0</u> proposed = | <u>235.28 sf</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:
<u>30.94</u> existing + <u>0</u> proposed = | <u>30.94 sf</u> |
| 12. | Amount of lot area covered by all other structures:
<u>96.48</u> existing + <u>0</u> proposed = | <u>96.48 sf</u> |
| 13. | Proposed gross land coverage: Total of Lines 5 – 12 = | <u>5,549.86 sf</u> |

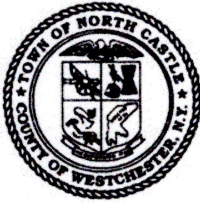
If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



2/28/2024

Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com


FLOOR AREA CALCULATIONS WORKSHEET

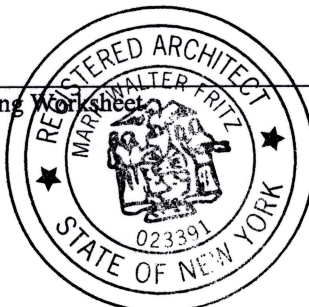
Application Name or Identifying Title: KOSTICK RESIDENCE Date: 2/28/2024
Tax Map Designation or Proposed Lot No.: 108.03-219

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>51,400</u>
2.	Maximum permitted floor area (per Section 355-26.B(4)):	<u>8,197.4</u>
3.	Amount of floor area contained within first floor: <u>1667</u> existing + <u>0</u> proposed =	<u>1,667</u>
4.	Amount of floor area contained within second floor: <u>1620</u> existing + <u>82</u> proposed =	<u>1702</u>
5.	Amount of floor area contained within garage: <u>425</u> existing + <u>0</u> proposed =	<u>425</u>
6.	Amount of floor area contained within porches capable of being enclosed: <u>0</u> existing + <u>0</u> proposed =	<u>0</u>
7.	Amount of floor area contained within basement (if applicable – see definition): <u>N/A</u> existing + <u>N/A</u> proposed =	<u>0</u>
8.	Amount of floor area contained within attic (if applicable – see definition): <u>N/A</u> existing + <u>N/A</u> proposed =	<u>0</u>
9.	Amount of floor area contained within all accessory buildings: <u>0</u> existing + <u>0</u> proposed =	<u>0</u>
10.	Proposed floor area: Total of Lines 3 – 9 =	<u>3,794 sf</u>

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.


Signature and Seal of Professional Preparing Worksheet



2/28/2024

Date



PP
SCALE: 1"=20'-0"

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA
[REFER TO TABLE R301.2(1) OF THE RESIDENTIAL CODE OF NEW YORK STATE]

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATAGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQ	FLOOD HAZARD
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
30 PSF	130	C	SEVERE	42"	MODERATE/ HEAVY	MODERATE/ HEAVY	7°F	YES	FIRM SEPT.28, 2007

2020 RESIDENTIAL CODE
OF NEW YORK STATE

BUILDING CODE DATA

Use & Occupancy Classification: Residential Group R-3 per 302.1;
Construction Classification: Construction Type IV per 602
of the 2020 International Building Code

	Proposed	
	No Rating	No Rating
Floor Construction	No Rating	No Rating
Other Elements	No Rating	No Rating
Design Loads	Live/ Snow	Dead
First Floor	40 psf.	10 psf.
Second Floor	30 psf.	10 psf.
Attic	20 psf.	10 psf.
Roof	20 psf.	10 psf.

Energy Conservation Code

N1104.1 (R404) A MINIMUM OF 75% OF LAMPS INSTALLED IN PERMANENT
FIXTURES (RECESSED LIGHTING) SHALL BE HIGH EFFICIENCY LAMPS

ENERGY EFFICIENCY CRITERIA

CLIMATE ZONE: 4A WESTCHESTER COUNTY
DOOR U-FACTOR:

UNINSULATED METAL: 1.20
INSULATED METAL: 0.60
0.50
INSULATED NON METAL
45% MAX GLAZE
DOUBLE PANE: 0.35

THERMAL ENVELOPE:
GLAZED FENESTRATION U-FACTOR: U-0.35
SKYLIGHTS: R-49 : R38 CONTINUOUS OVER TOP PLATE
CEILING R-VALUE: R-20 CAVITY
WOOD FRAME WALL R-VALUE: R-13 CAVITY + R-3 CONTINUOUS
R-13/17
MASS WALL R-VALUE: R-19
FLOOR R-VALUE: R-13 CAVITY
BASEMENT WALL R-VALUE: R-10, 2 FT
SLAB R-VALUE: R-10 CONTINUOUS
CRAWL SPACE WALL R VALUE: R-10 CONTINUOUS

1 THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER; ALL BREAKS
IN THE AIR BARRIER SHALL BE SEALED.

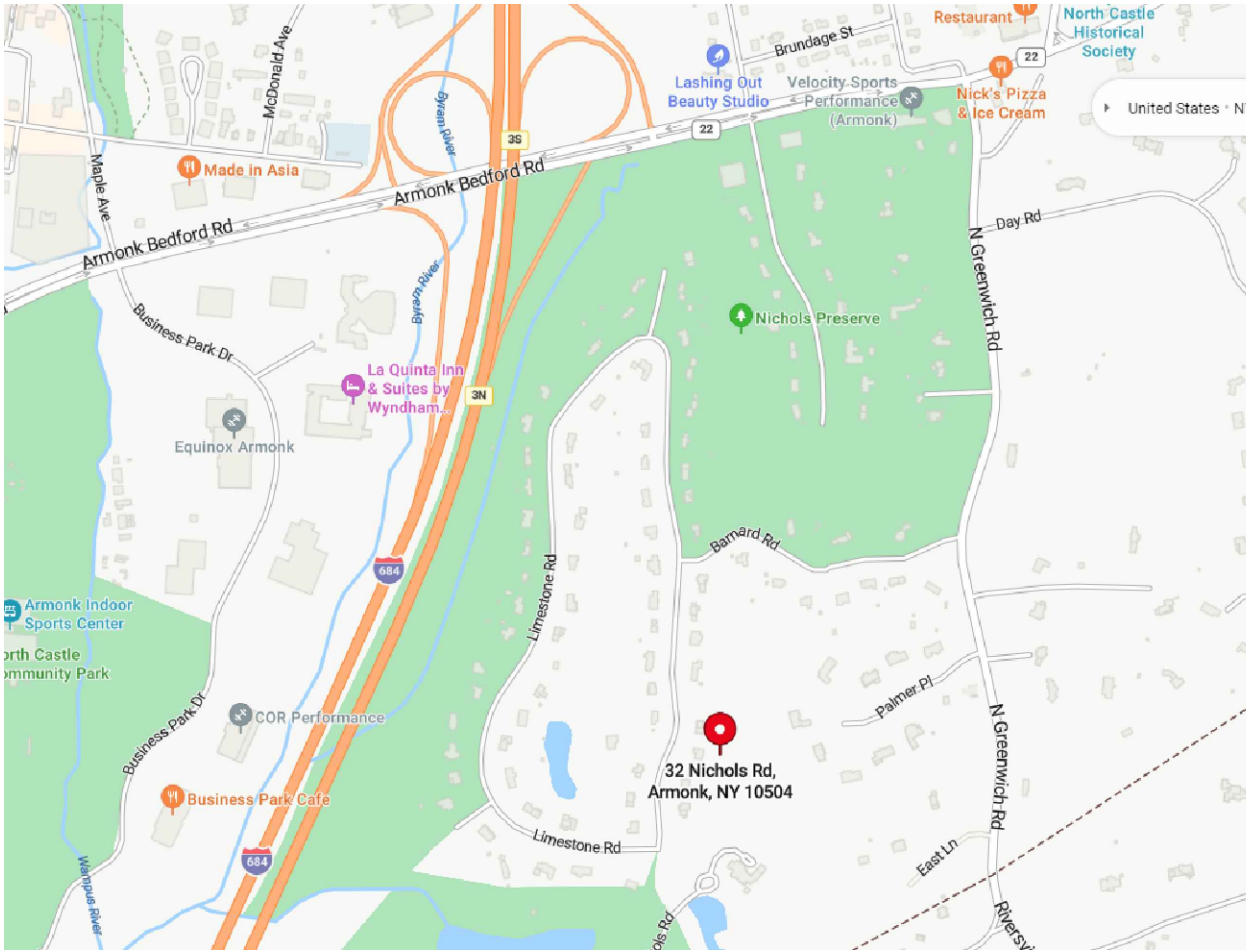
ZONING CODE DATA

32 NICHOLS RD ARMONK, NEW YORK
Zone R-1A
TAX MAP 1.08.03-2-19
Zoning District: Single Family Residence

Code	Requirements	Proposed
Lot Area	43,560 SQ.FT.	51,400 sq. ft.
Minimum Lot Width	125 ft.	100 FT.
Minimum Yards:		
Front	50 ft.	79.9 ft.
Side	25 ft.	26.4 FT
Side	25 ft.	40.8 FT
Rear	50 ft.	278 FT
Maximum Height:	30 ft.	32'6"AVG MEAN HGT



6" DIAMETER
PRE ENGINEERED
WOOD PLACKARD
(in accordance with Title 19 NYCRR PART 1265)
THE LOCATION OF THE PLACARD SHALL BE APPROVED IN
THE FIELD BY THE BUILDING INSPECTOR.



Mark Fritz Architects
133 Fernwood Road, Trumbull
Connecticut, 06611
Phone: 203-880-9800
MWFARCHITECTS@AOL.COM



CONSULTANTS

It is a violation of the Law for any person, unless
acting under the direction of a licensed Architect to
alter this document in any way. If this document is
altered, the altering Architect shall affix his seal and
the notation "altered by" followed by his signature
and the date of such alteration, and a specific
description of the alteration.
Any alteration of this document, by any party,
without written permission of Mark W. Fritz
Architects, A.I.A is strictly prohibited.

OWNER

KOSTICK RESIDENCE
32 NICHOLS ROAD
ARMONK, NY

LEGEND

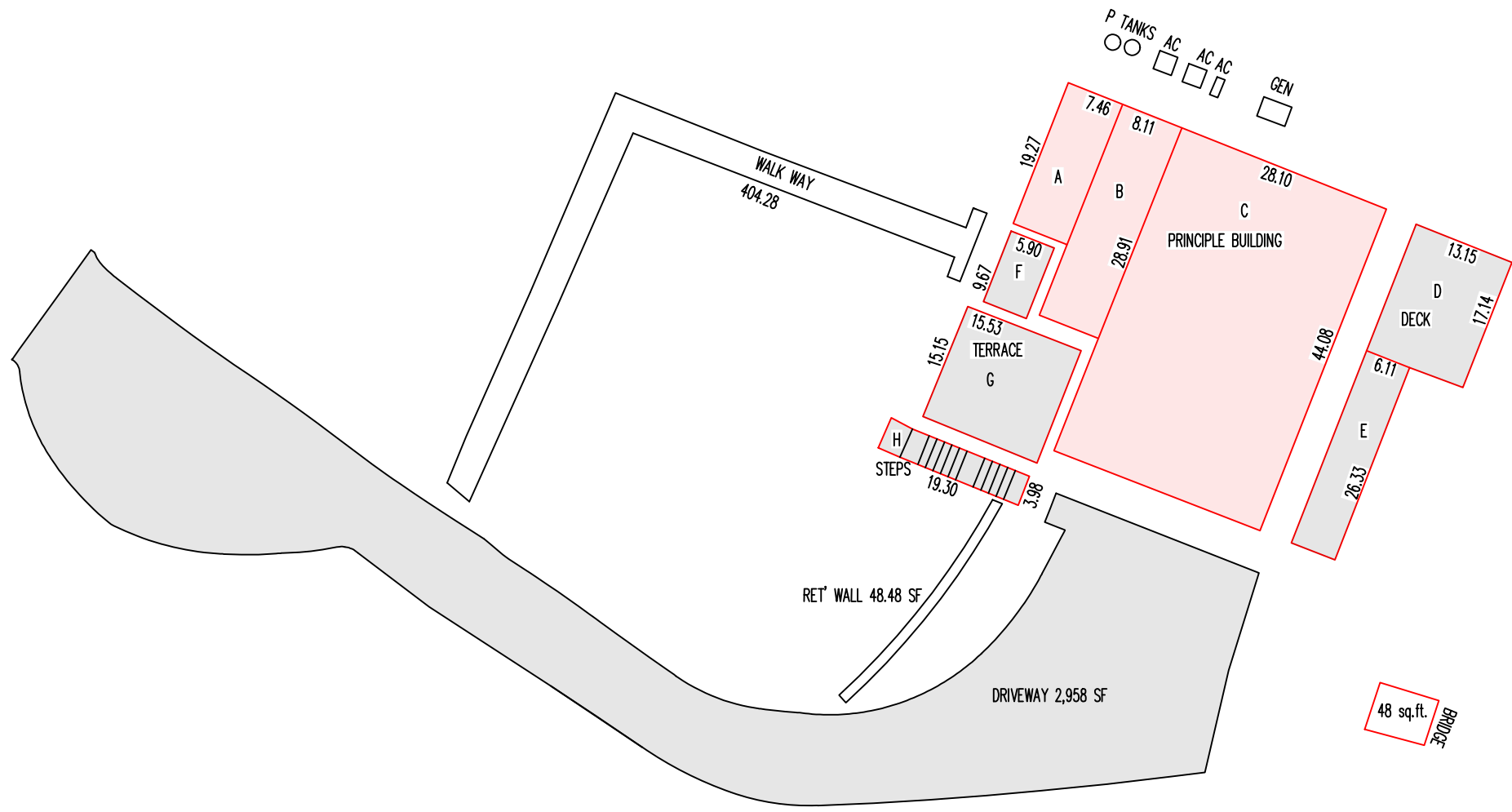
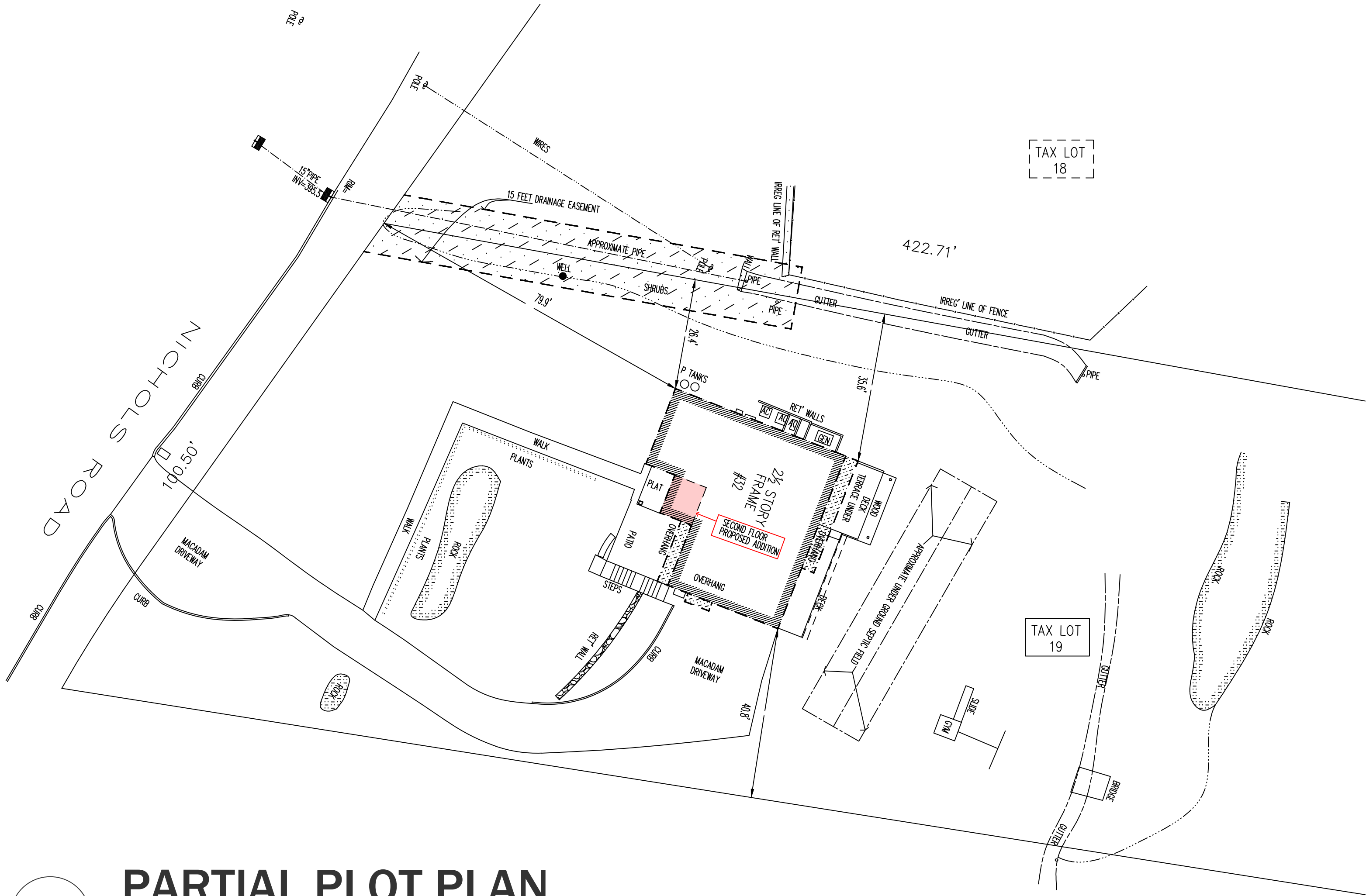
- ⊙ DOOR NUMBER
- Ⓐ WINDOW NUMBER
- POURED CONCRETE
- NEW 2x4 & 2x6
STUD WALL @ 16"OC.
- PEAM
- N NEW
- EX EXISTING
- FTG FOOTING
- BEW BOTTOM EACH WAY
- CJ CEILING JOIST
 CT COLLAR TIE | RT RAFTER TIE | RR ROOF RAFTER | FJ FLOOR JOIST | GO GATED OPENING | FF&C SELF CLOSING FIRE DOOR |


DESCRIPTION	DATE
FILE	2/12/2024

PROJECT NO:
CAD DWG FILE: 021122
SHEET TITLE: 2211

SITE PLAN

SHEET
T-1



MECHANICAL		
P TANK	3.14 SF	
P TANK	3.14 SF	
AC CONDENSER	2.89 SF	
AC CONDENSER	6.00 SF	
AC CONDENSER	6.00 SF	
GENERATOR	9.87 SF	
TOTAL	30.94 SF	

A = 7.46 X 19.27	= 143.75 SF
B = 8.11 X 28.91	= 234.46 SF
C = 28.10 X 44.08	= 1,238.64 SF
PRINCIPLE BUILDING 1,616.85 SF	

D = 13.15 X 17.14	= 225.39 SF
E = 6.11 X 26.33	= 160.87 SF
DECK 386.26 SF	
F = 5.90 X 9.67	= 57.05 SF
PORCH 57.05 SF	
G = 15.53 X 15.15	= 235.28 SF
TERRACE 235.28 SF	
H = 3.96 X 19.30	= 76.81 SF
STEPS 76.81 SF	

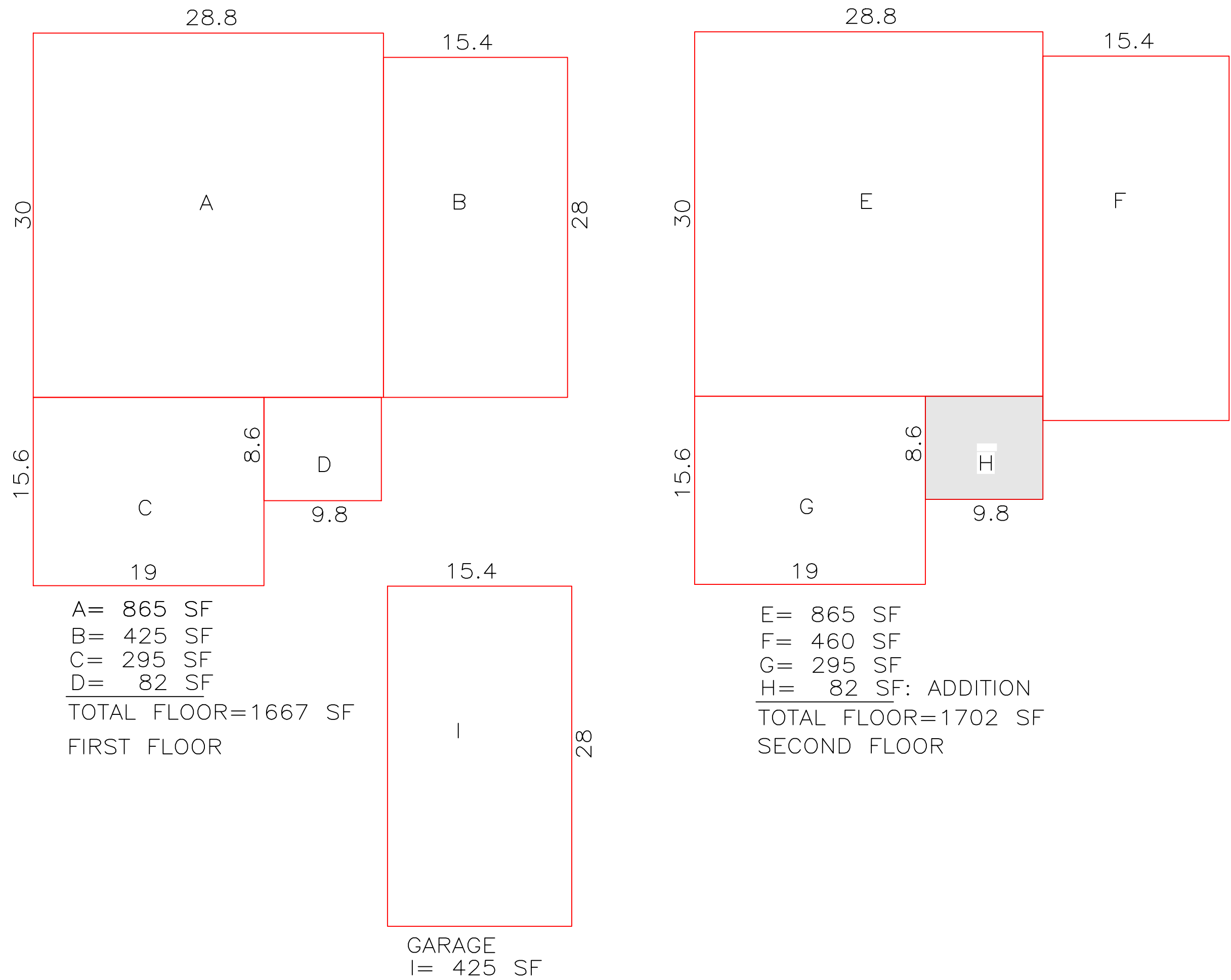
WALKWAY	404.28 SF
DRIVEWAY	2,958 SF
DRIVEWAY & WALKS 3,362.28 SF	

OTHER: RET WALL	48.48 SF
OTHER: BRIDGE	48.00 SF
OTHER:	96.48 SF

GLC: GROSS LAND COVERAGE

PARTIAL PLOT PLAN

SCALE: 1"=20'-0"



FLOOR AREA CALCULATIONS

GFA: GROSS FLOOR AREA

FIRST FLOOR = 1,667 SF
SECOND FLOOR = 1,702 SF
PRINCIPAL STRUCTURE = 3,369 SF
MAX. PERMITTED GROSS FLOOR COVERAGE = 8,197 SF

basement is NOT considered a "story" in accordance with ALL alternative measurements:
The finished surface of the floor above the basement is NOT more than six feet above average grade.
The finished surface of the floor above the basement is NOT more than six feet above the finished ground level for more than 50% of the total building perimeter.
The finished surface of the floor above the basement is NOT more than 12 feet above the finished ground level at any point along the building perimeter.

Mark Fritz Architects
133 Fernwood Road, Trumbull
Connecticut, 06611
Phone: 203-880-9800
MWFARCHITECTS@AOL.COM

CONSULTANTS

It is a violation of the Law for any person, unless acting under the direction of a licensed Architect to alter this document in any way. If this document is altered, the altering Architect shall affix his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.
Any alteration of this document, by any party, without written permission of Mark W. Fritz Architects, A.I.A. is strictly prohibited.

OWNER

KOSTICK RESIDENCE
32 NICHOLS ROAD
ARMONK, NY

LEGEND

- DOOR NUMBER
- WINDOW NUMBER
- POURED CONCRETE
- NEW 2x4 & 2x6 STUD WALL @ 16" O.C.
- PEAK
- NEW
- EXISTING
- FOOTING
- BOTTOM EACH WAY
- CELLING JOIST
- COLLAR TIE
- RAFTER TIE
- ROOF Rafter
- FLOOR JOIST
- CAGED OPENING
- SELF CLOSING FIRE DOOR



DESCRIPTION	DATE
FILE	2/12/2024

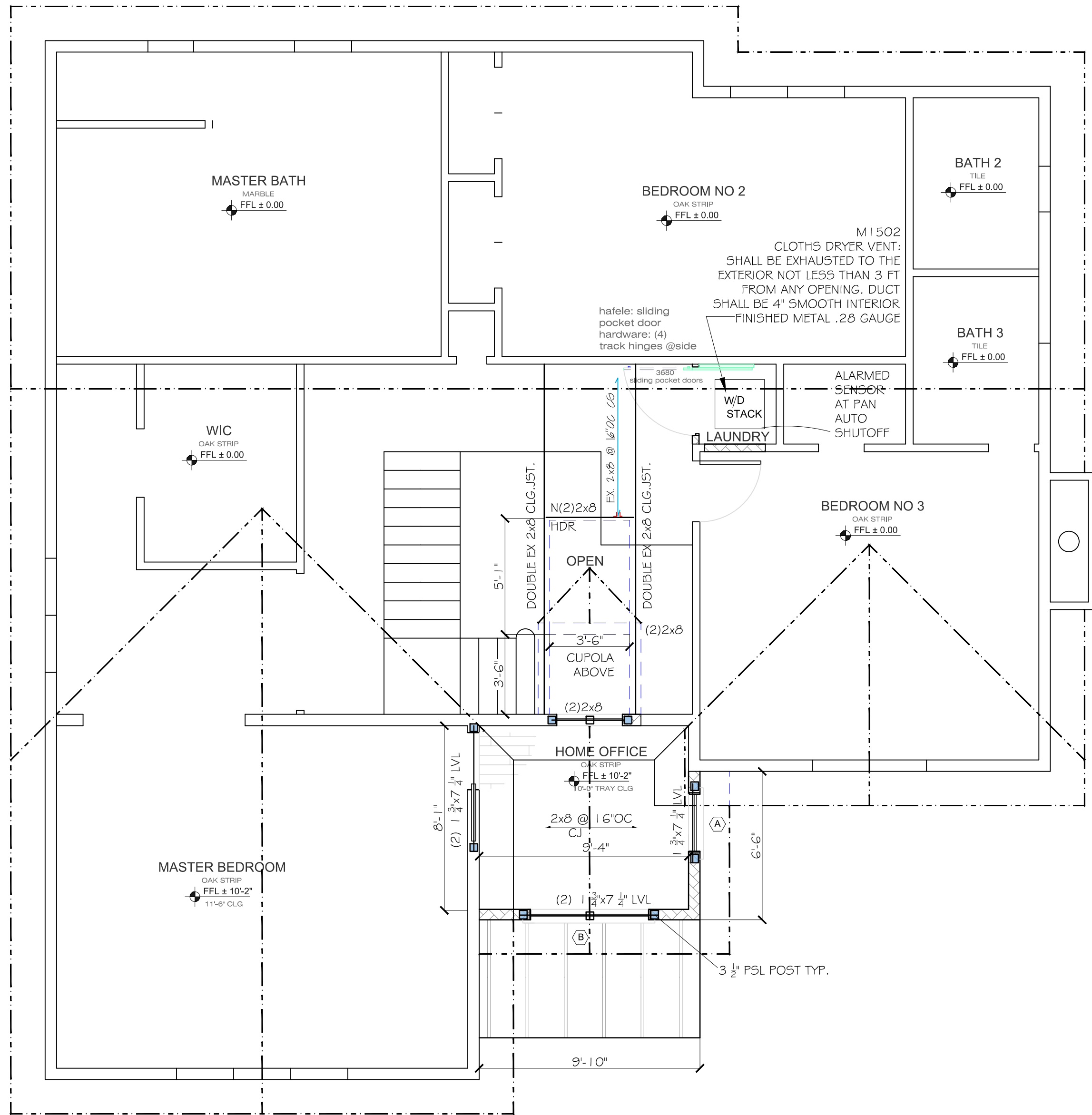
PROJECT NO:
CAD DWG FILE: 021122
SHEET TITLE: 2211

FLOOR & LOT COVERAGE

T-2

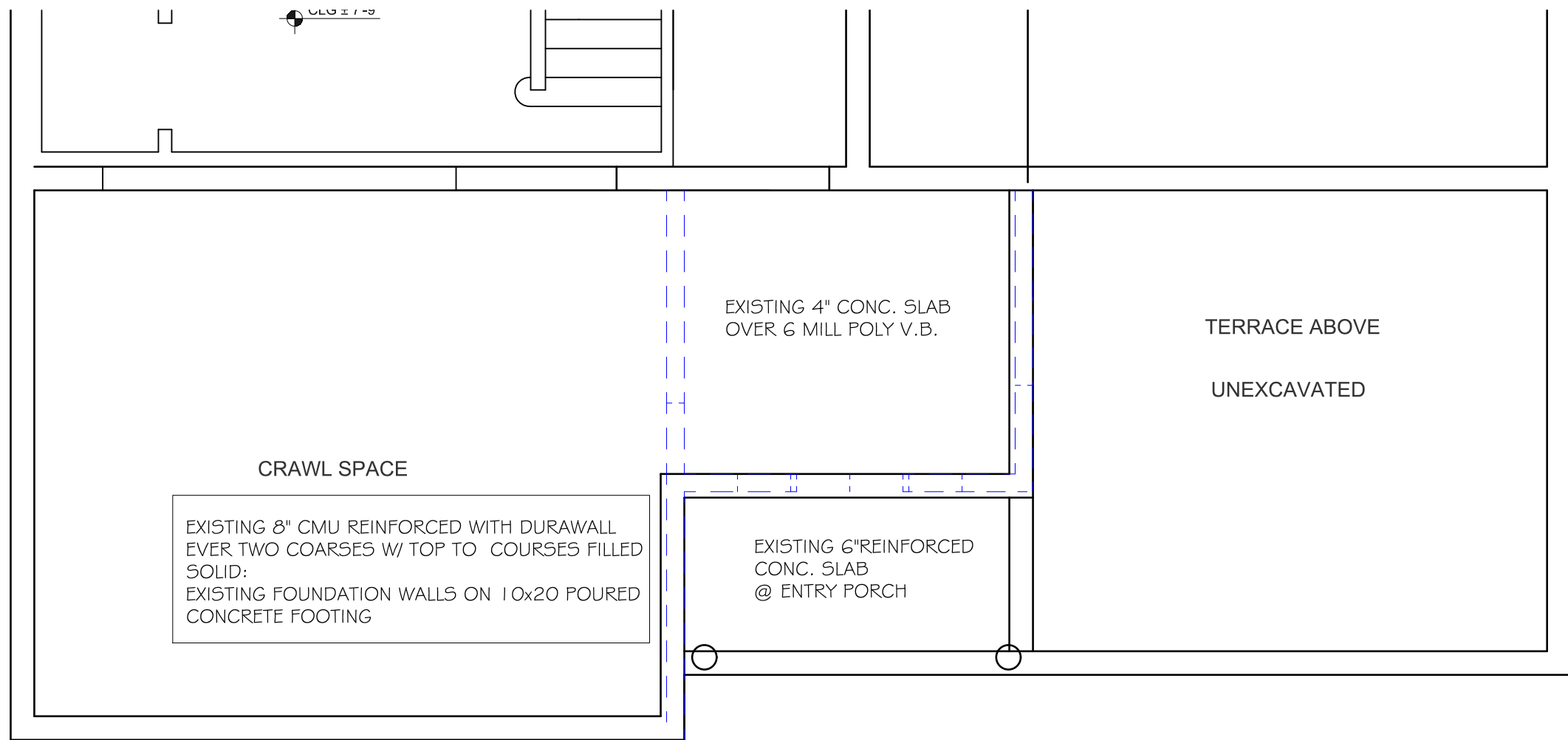
C:\Users\mfr\OneDrive\Desktop\my clients\kostick\construction plan home office.dwg, 2/13/2024, 10:52:19 AM, AutoCAD PDF (General Documentation).pcr

EXISTING DECK BELOW



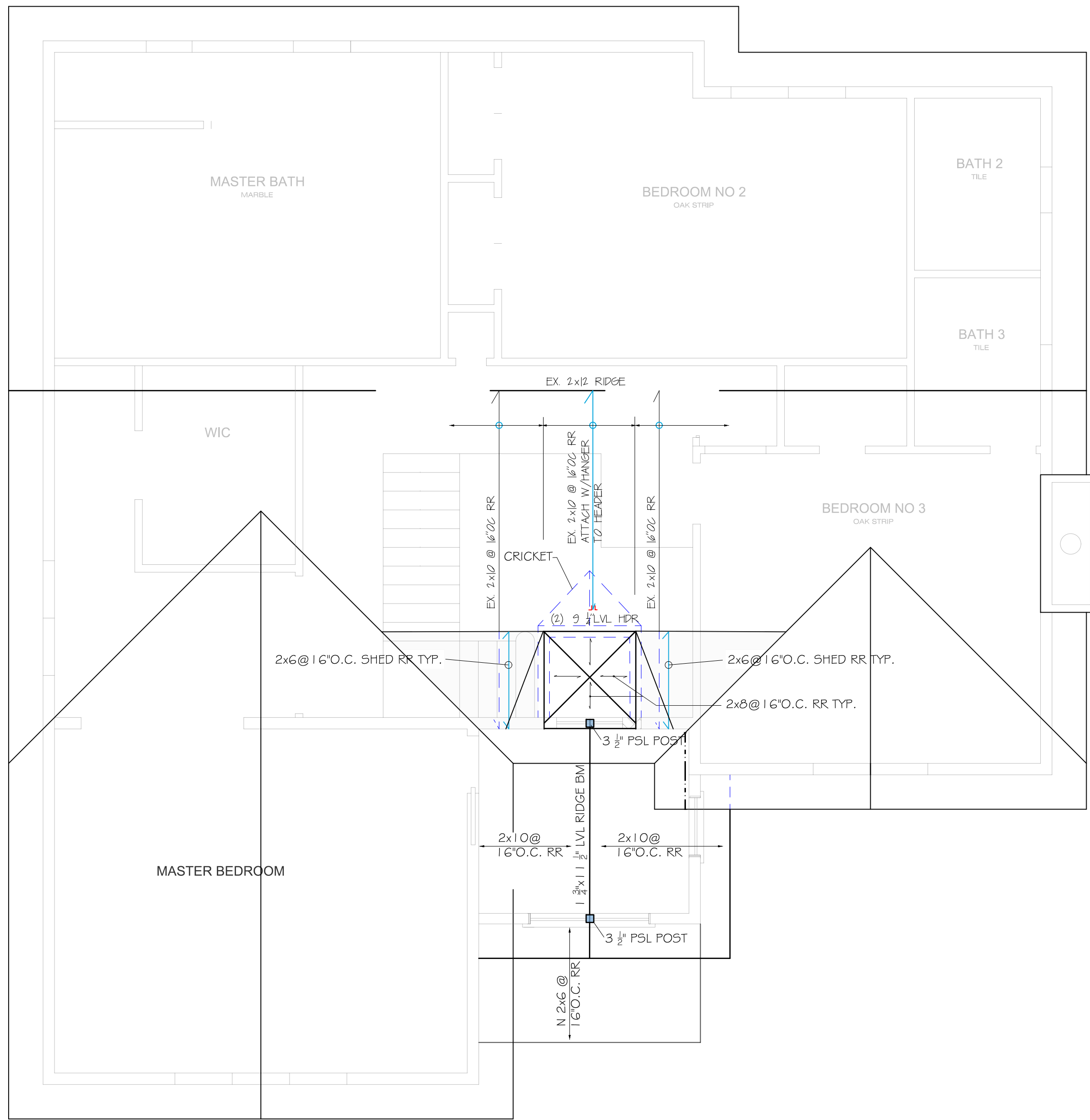
2 HOME OFFICE SECOND FLOOR CONSTRUCTION PLAN

SCALE: 1/8"=1'-0"



B PARTIAL BASEMENT PLAN

SCALE: 1/4"=1'-0"



R ROOF FRAMING PLAN

SCALE: 1/8"=1'-0"

Mark Fritz Architects

133 Fernwood Road, Trumbull
Connecticut, 06611
Phone: 203-880-9800
MWFARCHITECTS@AOL.COM



CONSULTANTS

It is a violation of the Law for any person, unless acting under the direction of a licensed Architect to alter this document in any way. If this document is altered, the altering Architect shall affix his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration. Any alteration of this document, by any party, without written permission of Mark W. Fritz Architects, A.I.A. is strictly prohibited.

OWNER

KOSTICK RESIDENCE
32 NICHOLS ROAD
ARMONK, NY



##	DESCRIPTION	DATE
	PRELIMINARY	2/8/2022
	PRELIMINARY REV	3/1/2022
	PROPOSED	1/11/2024

PROJECT NO: 021122


CAD DWG FILE: 2211

SHEET TITLE

FLOOR PLANS

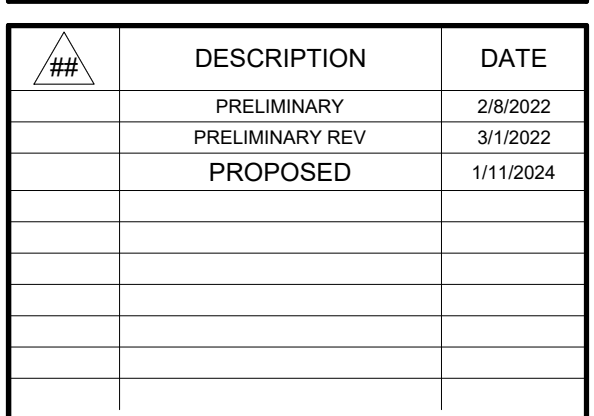
SHEET

A-1



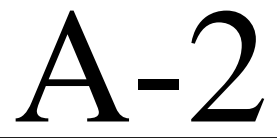
OWNER
KOSTICK RESIDENCE
32 NICHOLS ROAD
ARMONK, NY

1



PROJECT NO:	021122
QAR PNG FILE	0000

SHEET
A-2



GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- THE CONTRACTOR SHALL FIELD MEASURE AND VERIFY ALL EXISTING CONDITIONS, DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH THE RULES OF THE GOVERNING AGENCY HAVING JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING SAFE WORKING CONDITIONS AND OBSERVING ALL SAFETY PROTOCOLS OF THE GOVERNING AGENCY AND THE OWNER. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. CARE SHALL BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR THE STRUCTURE.
- FURNISH ALL SCAFFOLDING, HOISTING EQUIPMENT AND ANY OTHER EQUIPMENT THAT MAY BE REQUIRED TO PERFORM THE WORK IN A SAFE AND ORDERLY MANNER.

SITING WORK

CONCRETE

1. QUALITY CONTROL, STANDARDS, AND TOLERANCES
- A. FOLLOW THESE STANDARDS: PLACE CONCRETE ACCORDING TO ACI 301. REINFORCING TO COMPLY WITH ACI 301 AND RELATED ACI, CRSI, AND ASTM STANDARDS. FORMWORK TO COMPLY WITH ACI 301, 310, AND ACI 347. TOLERANCE STANDARDS FOR LEVEL, PLUMB, AND ALIGNED CONSTRUCTION SHALL BE AS PER ACI 117.
- FORMWORK MATERIALS
- REINFORCING BARS: DEFORMED STEEL BARS, GRADE 60, TYPE 3, TO COMPLY WITH ASTM A 615. PLAIN FINISH BARS MAY BE USED IN SPIRAL FABRICATION TO COMPLY WITH CRSI RE-BAR DETAILING.
- B. WELDED WIRE REINFORCING: DEFORMED TO COMPLY WITH ASTM A 497. PLAIN TO COMPLY WITH ASTM A 185.
- CONCRETE MATERIALS
- A. CONCRETE INGREDIENTS: PORTLAND CEMENT ASTM C 150 NORMAL-TYPE I. AGGREGATE, FINE AND COURSE AS PER ASTM C 33. WATER AS PER ASTM C 94. CLEAN, FREE OF SALT OR ANY CHEMICALS THAT MIGHT INTERFERE WITH THE CONCRETE.
- B. ADMIXTURES AND MISCELLANEOUS MATERIALS: AIR ENTRAINING ADMIXTURE AS PER ASTM C 260 AND MANUFACTURER'S INSTRUCTIONS. WATER REDUCING, RETARDING, ACCELERATING ADMIXTURES AS PER: ASTM C 494 AND MANUFACTURER'S INSTRUCTIONS. BONDING AGENT: POLYMER RESIN, NON-SHRINK GROUT: NON-METALLIC MINERAL AGGREGATE, CEMENT, WATER REDUCING MATERIALS AS PER ASTM C 494 AND AS PER MANUFACTURER'S INSTRUCTIONS.

- ALL WIRING AND TESTS TO ASSURE COMPLIANCE WITH STANDARDS AS PER ACI 301. PROVIDE CONCRETE READY-MIXED IN COMPLIANCE WITH ASTM C 94. CONCRETE STRENGTH WILL CONFORM TO ACI 301, 310, AND APPLICABLE BUILDING CODE REQUIREMENTS. COMPRESSIVE STRENGTH OF 3,000 PSI IN 7 DAY TEST. COMPRESSIVE STRENGTH OF 3,600 PSI IN 28 DAY TEST.
- B. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
- SLABS:.....1-3/4"
- BEAMS:.....1-1/2"
- COLUMNS:.....2"
- CONCRETE PLACED ON GROUND.....3"

- STRUCTURAL STEEL FRAMING
- A. PROVIDE STRUCTURAL STEEL AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- B. ALL WORK MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS, AISC "SPECIFICATIONS FOR DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" AND THE AISC "CODE OF STANDARD PRACTICE."
- D. STEEL PLATES, BARS, AND OTHER SHAPES SHALL BE AS PER ASTM A36. ANCHOR BOLTS AS PER ASTM A307. NUTS, BOLTS, WASHERS AS PER ASTM A325. UNFINISHED THREADED FASTENERS AS PER ASTM A307. GRADE A, REGULAR, ARC WELDING ELECTRODES AS PER AWS CODE AND ASTM A233, AS REQUIRED FOR INTENDED USE.
- E. PRIMER: SSPC 15, TYPE I, RED OXIDE.

ROOF ASSEMBLY

- INSTALL METAL ROOFING OVER GRADE, TRI-FLEX-XT. INSTALL WITH CAP NAILS OR CAP STAPLES.
- PROVIDE ICE AND WATER-SHIELD AT ALL EAVES AND VALLEYS. INSTALL FROM OVERHANG EDGE TO 2'-0" FROM INSIDE FACE OF EXTERIOR WALLS TYPICAL.
- ALL FLASHING TO BE 16 OZ BRIGHT COPPER AT VALLEYS AND ROOF EAVES.
- FASCIA AND EXTERIOR TRIM TO BE BORAL TRIM BOARDS, PRIMED AND PAINTED TWO COATS EXTERIOR FLAT LATEX.
- SCOFFS AND MATERIAL ON EXTERIOR CEILINGS WILL BE BORAL OR EQUAL. NOMINAL 4" V GROOVE TAG. PRIMED AND PAINTED TWO COATS EXTERIOR FLAT LATEX.

WALL ASSEMBLY

- EXTERIOR WALL SIDING TO BE JOHN HARDIE ARTISAN COLLECTION, MITERED CORNERS, (NO CORNER BOARDS).
- ARTISAN CLAPBOARD SHALL RECEIVE TWO COATS EXTERIOR FLAT LATEX.
- 2x6 WALL STUDS @ 16" O.C. 2" PLY WOOD SHEATHING.
- INSULATION WILL BE "NU-WOOL" OR APPROVED EQUAL, R21 SPRAY-IN-PLACE CELLULOSE, INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS

- FIRST FLOOR ASSEMBLY
- 5" POURED CONCRETE SLAB ON GRADE OVER 2" RIGID INSULATION R10.

CEILING ASSEMBLY

- 2x8 @ 16" O.C. AS NOTED ON THE PLANS.
- INSULATION TO BE "NU-WOOL" OR APPROVED EQUAL, SPRAY-IN-PLACE CELLULOSE (R=6 INCH), INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AT EFFECTED AREA.

EXTERIOR TRIM AND FLASHING

- ALL EXTERIOR WINDOW AND DOOR TRIM WILL BE NOMINAL 2"x4" STOCK, MATERIAL BORAL TRIM BOARD.
- PROVIDE WATER TIGHT 1/2 OZ COPPER PAN FLASHING AT ALL WINDOW SILLS, WINDOW & DOOR HEADS, COLUMN CAPS AND OVER STONE BANDING.

DOORS AND WINDOWS

SEE DOOR AND WINDOW SCHEDULES SHEET

EXTERIOR SHOWER ENCLOSURE ASSEMBLIES

- PRIVACY PANEL AND SHOWER DOOR: USE 1x4 "MATEVERDE" PREMIUM IPE FROM GENERAL WOODCRAFT (NEW LONDON). SEE DRAWINGS FOR DETAILS.

INTERIOR DOORS

- INTERIOR DOORS WILL BE PRE-HUNG, TWO PANEL, SOLID CORE, MOP DOORS UNLESS NOTED OTHERWISE ON DOOR SCHEDULE SHEET.

HARDWARE PACKAGES

- PROVIDE HARDWARE AS FOLLOWS:

A. LATCH, KEYED LOCK @ EXTERIOR DOORS

B. LATCHED PRIVACY LOCK @ BATH & CHANGING ROOM

C. KEYED LOCK SET AT STORAGE CLOSET.
- ALL INTERIOR HARDWARE WILL BE OIL RUBBED BRONZE, STYLE AS SELECTED BY THE OWNER.

INTERIOR TRIM

- ALL TRIM WILL BE NON-FINGERJOINTED, FREE FROM KNOTS, EXCESSIVE FLAT GRAIN OR OTHER VISIBLE DEFECTS. INTERIOR WALLS OF CABANA SHALL BE SHIP-LAP.
- ALL INTERIOR TRIM, PRIMED AND PAINTED WITH TWO COATS SEMI GLOSS PAINT.
- WINDOWS WILL HAVE PROJECTING SILLS AND APRONS.

DRYWALL/PAINT/FINISHING NOTES

- PROVIDE MOISTURE RESISTANT 1/2 GWS THROUGHOUT BATHROOMS, AND CEMENT BACKING BEHIND ALL PROPOSED TILE SURFACES.
- ALL NEW DRYWALL TO BE 1/2 GWS AND WILL BE PRIMED AND PAINTED (2) COATS INTERIOR FLAT LATEX, OWNER TO SELECT COLOR. PAINT WILL BE BENJAMIN MOORE.
- TRIMWORK WILL BE SANDED SMOOTH TO RECEIVE A PRIMER AND (2) COATS INTERIOR TRIM PAINT BY BENJAMIN MOORE. OWNER TO SELECT COLOR.

FLOORS

- SCHLUTER DITRA 4 DITRA-XL/INCOUPLING AND WATERPROOFING MEMBRANE SHALL BE USED AT ALL TILE, STONE FLOORING SURFACES.

FRAMING NOTES

- FRAMING LUMBER SHALL BE EQUAL TO ANY OF THE FOLLOWING:

HEM-FIR, NO. 2 GRADE, Fb=850 PSI, E=1,200,000 PSI

E=1,300,000 PSI

HEM-FIR, NORTH NO. 1/NO. 2 GRADE, Fb=1,000 PSI, E=1,400,000 PSI

S-P-F, NO. 1/NO. 2 GRADE, Fb=875 PSI, E=1,200,000 PSI

S-P-F, NO. 1/NO. 2 GRADE, Fb=875 PSI, E=1,400,000 PSI

DOUG FIR LARCH, No. 1/No. 2 GRADE, Fb= 825, E= 95, E= 1,600,000
- STUD FRAMING SHALL BE EQUAL TO ANY OF THE FOLLOWING:

HEM-FIR, STUD GRADE, Fc=800 PSI, E=1,200,000 PSI

S-P-F, STUD GRADE, Fc=675, E=1,200,000 PSI
- FLOOR SHEATHING SHALL BE 3/4" T&G PLY WOOD.
- EXTERIOR WALL SHEATHING SHALL BE 7/8" PLY WOOD SHEATHING.
- ALL FRAMING INDICATED LVL SHALL BE LAMINATED VENEER LUMBER AS MANUFACTURED BY TRUS-JOIST OR EQUAL, 1-800-628-3997, MINIMUM ALLOWABLE STRESS SHALL BE Fb=2600 PSI, E=1,900,000 PSI.
- JOISTS AND GIRDERS SHALL HAVE FULL 4" MIN. BEARING AT FOUNDATION WALLS.
- ALL BRIDGING SHALL BE 5/4x3 X-BRIDGING AT 8'-0" CENTERS, FOR CONVENTIONAL FRAMING.
- USE SIMPSON STRONG-TIE METAL FRAMING ACCESSORIES AS SPECIFIED. USE NAILING AS RECOMMENDED BY THE MANUFACTURER.
- TOE NAILING OF JOISTS TO FLUSH HEADERS IS NOT PERMITTED; USE 16GA STANDARD JOIST HANGERS WHERE JOISTS FRAMED TO SIDE OF HEADER.
- PROVIDE AC POST CAP & BASE AND TC FRAMING CLIPS AT POST BASE FOR ALL INTERIOR AND EXTERIOR GIRDER/HEADER SPANS GREATER THAN 5'-6" CLEAR SPAN.
- ALL SHEATHING SHALL BE NAILED WITH 5D NAILS, 6" CENTERS AT EDGE AND 10" CENTERS IN FIELD
- BUILT-UP GIRDERS AND HEADERS SHALL BE FASTENED TOGETHER AS FOLLOWS:

A) FOR UP TO 3 PILES, USE 2 ROWS OF NAILS STAGGERED AT 12" CENTERS-USE 16D NAILS

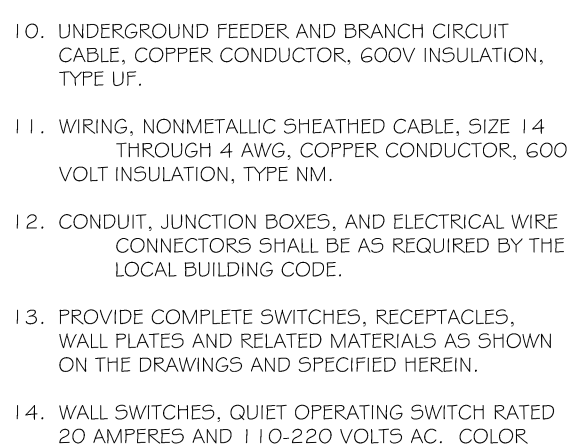
B) FOR MORE THAN 3 PILES, USE 2 ROWS OF 3" DIA. THROUGH BOLTS @ 12" CENTERS.
- PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO FRAMING.
- WHERE CEILING JOISTS ARE PERPENDICULAR TO RAFTERS AND WALLS PROVIDE METAL STRAP TIES FROM RAFTERS AND WALLS AT 4'-0" AND EXTEND TO ENGAGE NOT LESS THAN FOR CEILING JOISTS.

INSULATION

- AT AREAS OF THE WORK WHERE EXISTING EXTERIOR WALLS, CEILING/ATTIC, AND FLOOR ABOVE BASEMENT ARE EXPOSED, PROVIDE INSULATION AS FOLLOWS: ROOF/ATTIC LEVEL.....R-49 WALLS.....R-21 FIRST FLOOR OVER BASEMENT.....R-30

ELECTRICAL POWER DISTRIBUTION

- PROVIDE AND INSTALL COMPLETE ELECTRICAL SERVICE, POWER AND LIGHTING AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL WORK SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND GOVERNING BUILDING AND SAFETY CODES.
- STORE MATERIALS INDOORS, PROTECTED FROM DIRT, MOISTURE, CONTAMINANTS, AND WEATHER.
- EXAMINE AND VERIFY THAT JOB CONDITIONS ARE SATISFACTORY FOR SPEEDY AND ACCEPTABLE WORK. MAINTAIN AND USE UP-TO-DATE CONSTRUCTION DOCUMENTS ON SITE. MAINTAIN AND USE UP-TO-DATE TRADE STANDARDS AND MANUFACTURER'S INSTRUCTIONS.
- CONFIRM THERE IS NO CONFLICT BETWEEN THIS WORK AND GOVERNING BUILDING AND SAFETY CODES. CONFIRM THERE ARE NO CONFLICTS BETWEEN THIS WORK AND WORK OF OTHER TRADES. CONFIRM THAT WORK OF OTHER TRADES THAT MUST PRECEDE THIS WORK HAS BEEN COMPLETED. MEET ALL REQUIREMENTS TO SECURE WARRANTY.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE TEMPORARY POWER, POWER POLE, CONNECTION TO UTILITY, AND TEMPORARY METER AS REQUIRED FOR CONSTRUCTION.
- SERVICE ENTRANCE CABLE, COPPER CONDUCTOR, 600 VOLT INSULATION, TYPE SE. MAIN DISTRIBUTION PANELS: NEMA PB 1; CIRCUIT BREAKER TYPE. PROVIDE SURFACE CABINET WITH SCREW COVER AND HINGED DOOR. COPPER BUS AND GROUND BUS, 110/220 VOLTS.
- UNDERGROUND FEEDER AND BRANCH CIRCUIT CABLE, COPPER CONDUCTOR, 600V INSULATION, TYPE UF.
- WIRING, NONMETALLIC SHEATHED CABLE, SIZE 14 THROUGH 4 AWG, COPPER CONDUCTOR, 600 VOLT INSULATION, TYPE NM.
- CONDUIT, JUNCTION BOXES, AND ELECTRICAL WIRE CONNECTORS SHALL BE AS REQUIRED BY THE LOCAL BUILDING CODE.
- PROVIDE COMPLETE SWITCHES, RECEPTACLES, WALL PLATES AND RELATED MATERIALS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- WALL SWITCHES, QUIET OPERATING SWITCH RATED 20 AMPERES AND 110-220 VOLTS AC. COLOR AND SWITCH TYPE AS SELECTED BY THE ARCHITECT. WALL DIMMERS, LINEAR SLIDE TYPE, COLOR SELECTED BY ARCHITECT. RATED FOR 600 WATTS MINIMUM, SIZE AS PER CIRCUIT.
- RECEPTACLES, TYPE 5-20 R, PLASTIC FACE, COLOR AS SELECTED BY THE ARCHITECT. SPECIFIC PURPOSE RECEPTACLES AS SHOWN ON THE DRAWINGS.
- EXTERIOR WEATHERPROOF COVER PLATES SHALL BE GASKETED CAST METAL WITH HINGED GASKETED COVERS.
- UPON COMPLETION, SECURE ALL REQUIRED INSPECTIONS, AND APPROVALS OF THE COMPLETED SYSTEM. MAKE ALL REQUIRED ADJUSTMENTS AND CORRECTIONS AT NO ADDED COST TO THE OWNER.
-
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND



TWO PANEL
MOP SOLID CORE
PRIVACY
POCKET

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

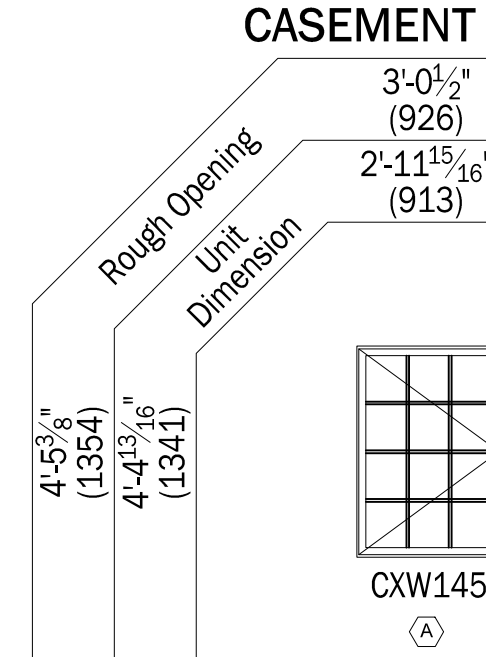
1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

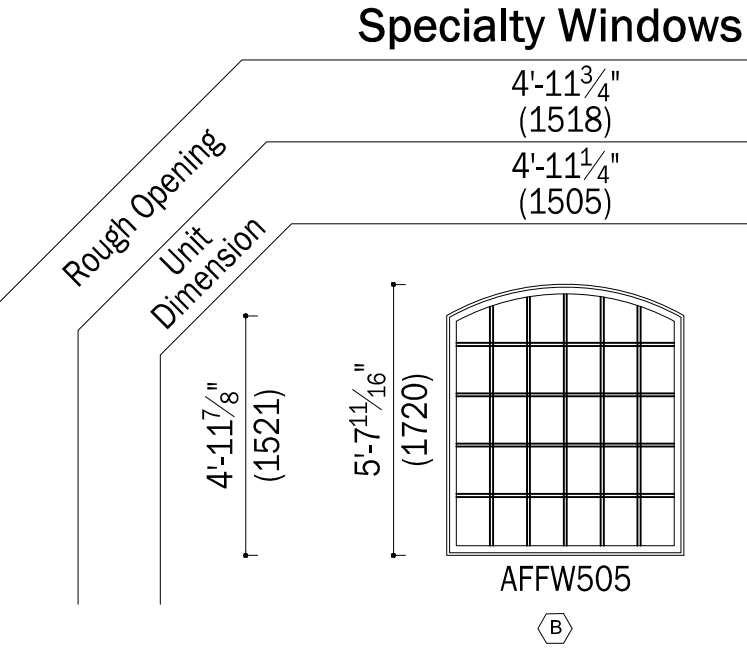
1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

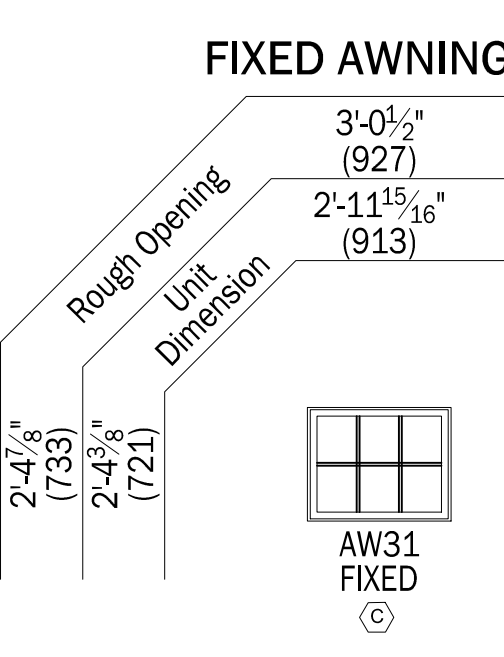
1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND



CASEMENT



Specialty Windows



FIXED AWNING

WINDOW NOTES:

- WINDOWS SHALL BE STOCK SIZE ANDERSEN 400 SERIES, WITH SCREENS, COLOR TO BE WHITE.
- DIMENSION SHOWN ARE UNIT DIMENSION (OUTSIDE OF FRAME TO FRAME DIMENSION).
- WINDOWS ARE 1/2" OR BETTER.
- WINDOWS WILL BE DOUBLE GLAZED LOW E II, ARGON FILLED, WITH SIMULATED DIVIDED LIGHTS.
- EXTERIOR FRAMES AND HARDWARE TO MATCH TRIM COLOR WHITE.
- PROVIDE 16 OZ COPPER HEAD AND PAN FLASHING AT ALL WINDOWS.



WINDOW NOTES:

- INTERIOR DOORS LISTED HEREIN ARE GENERIC IN BRAND. CONTRACTOR TO REVIEW DOOR QUALITY AND DESIGN OPTIONS WITH CLIENT PRIOR TO ORDERING ANY DOORS.
- ALL GLASS IN DOORS (IF ANY) TO BE TEMPERED.
- GAP AT UNDERSIDE OF DOOR LIMITED TO 1/8" OFF FINISHED FLOOR.
- POCKET DOORS TO RECEIVE HAFELE HANA POCKET DOOR TRACK.
- ALL HINGES AND DOOR HARDWARE TO BE REVIEWED WITH CLIENT PRIOR TO ORDERING. (OIL RUBBED BRONZE FINISH)

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

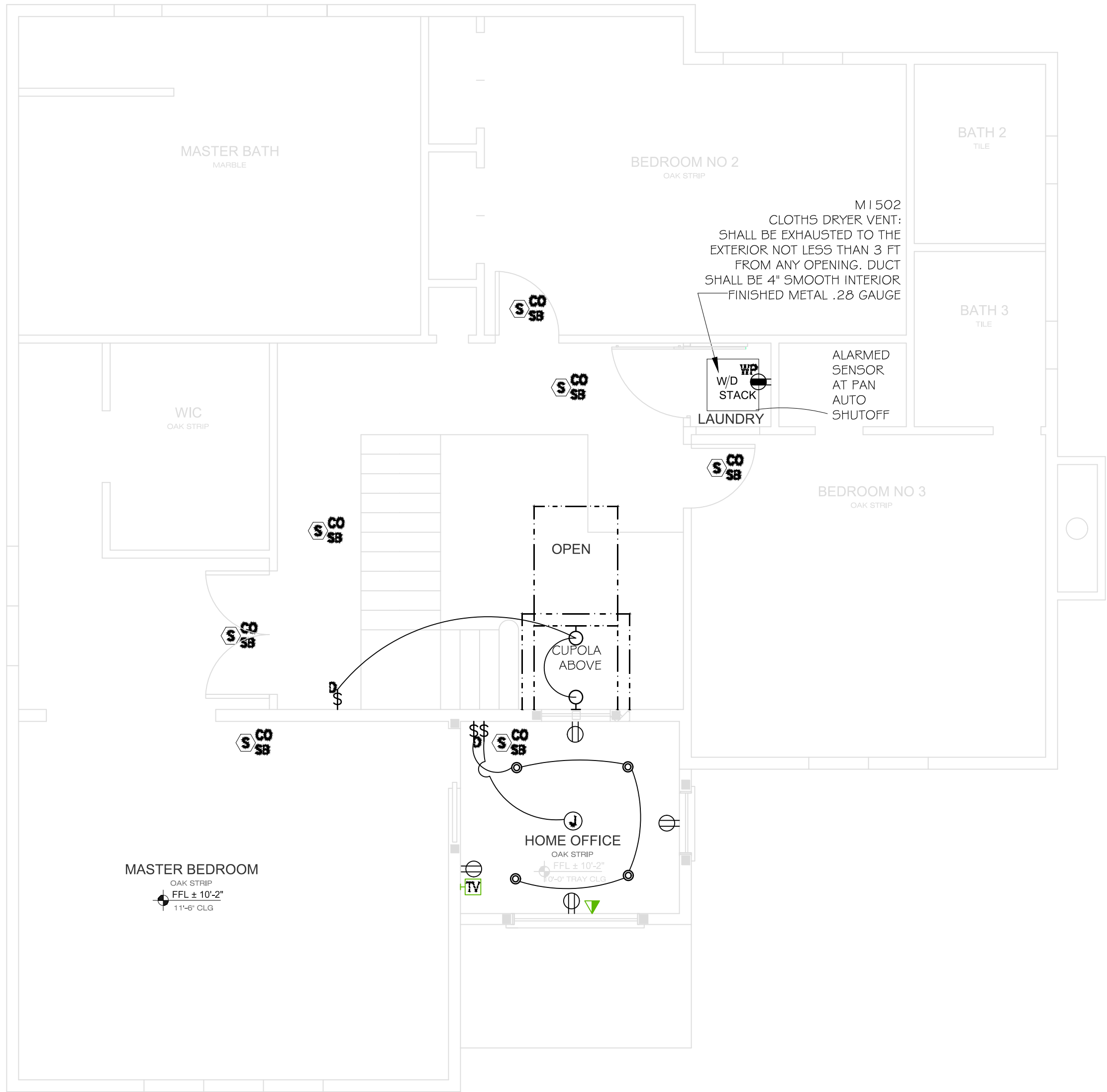
1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

1. PROVIDE AND INSTALL ALL INTERIOR AND EXTERIOR LIGHTING FIXTURES AND LAMPS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND

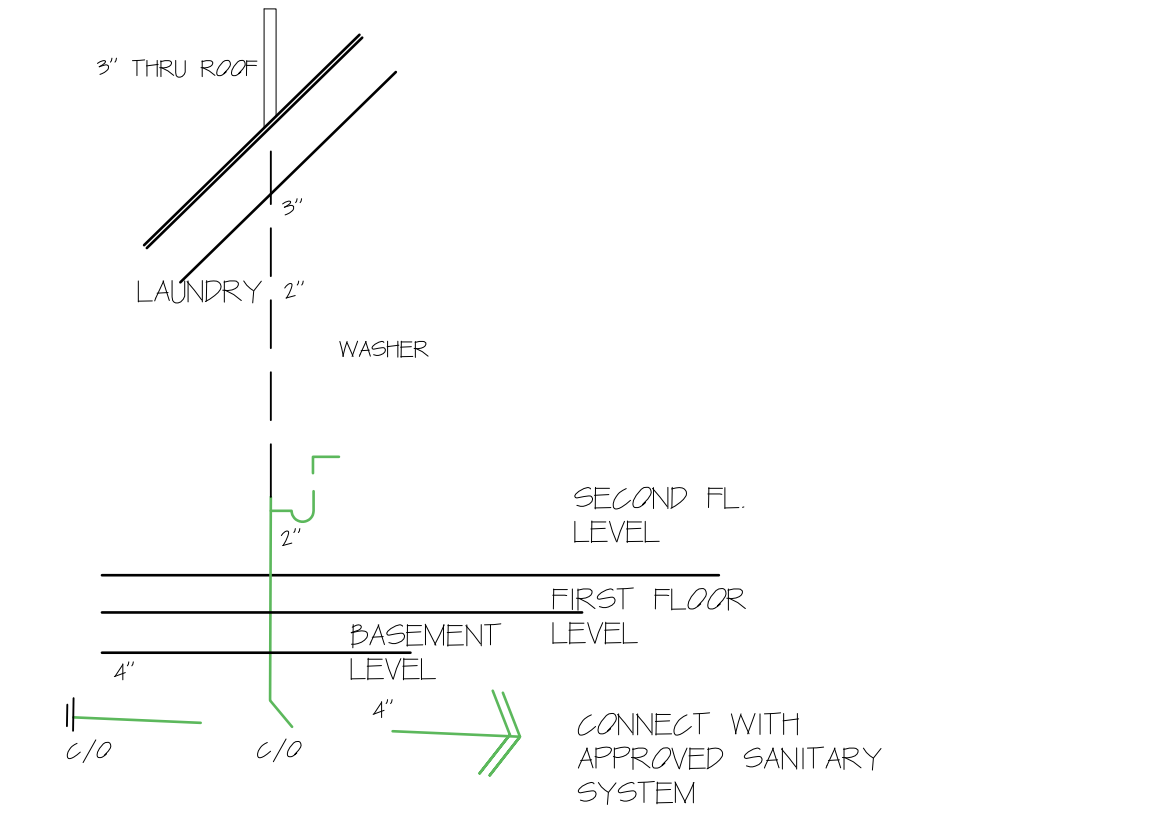
1. PROVIDE AND INSTALL ALL INTERIOR AND EX

C:\Users\mwf\OneDrive\Desktop\my clients\kostick\construction plan home office.dwg, 2/13/2024, 10:52:25 AM, AutoCAD PDF (General Documentation).pcr



EL HOME ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

ELECTRICAL SYMBOL LIST	
(NOT ALL SYMBOLS SHOWN ARE NECESSARILY USED ON THIS PROJECT)	
SYMBOL	DESCRIPTION
	20A, 125V DECORA STYLE DUPLEX RECEPTACLE -- FLUSH WALL MOUNTED
GFI	20A, 125V DECORA STYLE GFCI TYPE DUPLEX RECEPTACLE -- FLUSH WALL MOUNTED
WP	20A, 125V GFCI TYPE WEATHER RESISTANT DUPLEX RECEPTACLE IN WEATHER PROOF ENCLOSURE
	SPECIAL PURPOSE RECEPTACLE -- FLUSH MOUNTED
	CEILING MOUNTED JUNCTION BOX WITH FINAL EQUIPMENT CONNECTION
	CEILING MOUNTED LINE VOLTAGE (RESIDENTIAL TYPE) COMBINATION SMOKE/CARBON MONOXIDE DETECTOR WITH SOUNDER BASE
	FLUSH MOUNT LINE VOLTAGE PUCK LIGHTS (3000K) DIMMABLE.
UC	UC= UNDER CABINET IC= INTERIOR CABINET
	RECESSED DOWN LIGHT FIXTURE PROVIDE LENS AT SHOWERS AND TUB LOCATIONS LED TYPICAL. SLOPED CEILING ADAPTERS AT PITCHED LOCATIONS
	WALL MOUNTED LIGHT FIXTURE
	THREE WAY WALL MOUNTED LIGHT SWITCH
	SINGLE POLE WALL MOUNTED LIGHT SWITCH
	D = DIMMER
	TELEVISION OUTLET WITH 3/4" EMPTY CONDUIT AND DRAG LINE
	CATS WIRE
	EXHAUST FAN VENT TO EXTERIOR 50 CFM MINIMUM AS NOTED R303.3: BATHROOM VENTILATION IN COMPLIANCE W/ 2015 IRC



FIXTURES SHOWN ABOVE IN SCHEMATIC ORDER. PLUMBING SUB TO SEE FLOOR PLANS AND APPROVED SEPTIC ENGINEERING PLANS FOR ALL WASTE LINE LAYOUTS.

IF THE PLUMBING SUB HAS A CONDITION THAT REQUIRES A NON CODE STRUCTURAL MODIFICATION HE SHALL REPORT THE CONDITION TO THE GC PRIOR TO MAKING ANY CUTS AND THE ISSUE WILL SOLVED WITH THE ARCHITECT. ANY NON CODE MODIFICATIONS THAT CAUSE BUILDING DEPARTMENT VIOLATIONS SHALL BE REPLACED AT THE PLUMBING SUBS COST AND EXPENSE.

S SANITARY DIAGRAM

Mark Fritz Architects
133 Fernwood Road, Trumbull
Connecticut, 06611
Phone: 203-880-9800
MWFARCHITECTS@AOL.COM



CONSULTANTS

It is a violation of the Law for any person, unless acting under the direction of a licensed Architect to alter this document in any way. If this document is altered, the altering Architect shall affix his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.
Any alteration of this document, by any party, without written permission of Mark W. Fritz Architects, A.I.A. is strictly prohibited.

OWNER
KOSTICK RESIDENCE
32 NICHOLS ROAD
ARMONK, NY



##	DESCRIPTION	DATE
	PRELIMINARY	2/8/2022
	PRELIMINARY REV	3/1/2022
	PROPOSED	1/11/2024

PROJECT NO:	021122
CAD DWG FILE:	2211
SHEET TITLE	
ELECTRICAL PLANS	