



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-8625  
Fax: (914) 273-3554  
www.northcastleny.com

## RPRC DETERMINATION LETTER

Project Description: Second floor home office addition adjacent to the master bedroom, over the existing Foyer entrance

Street Location: 32 NICHOLS RD  
Zoning District: R-1A Tax ID: 108.03-2-19 Application No.: 2024-0098

RPRC DECISION: RPRC - Requires ARB

Date: 03/19/2024

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The above referenced application was reviewed by the Residential Project Review Committee (RPRC).

The Committee determined that Planning Board and Architectural Review Board approval of the proposed project is NOT REQUIRED.

However, the following issues will need to be addressed prior to the issuance of a building permit:

- The project shall be referred to the ARB for review unless the proposed cupola is removed from the plans.

**At this time, you must submit a hard copy of revised plans addressing the above issues, this determination letter and a completed building permit application directly to the North Castle Building Department as well as directly to the Town Engineer. DO NOT START CONSTRUCTION WITHOUT A VALID BUILDING DEPARTMENT PERMIT.**

**If blasting or rock chipping is proposed, a permit pursuant to Chapter 122 is required.**

If you would like to further discuss this matter, please do not hesitate to contact the Building Department.

Adam R. Kaufman, AICP  
Director of Planning



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RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

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## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 32 Nichols Road, Armonk, NY

### Section III- DESCRIPTION OF WORK:

Second Floor home office addition adjacent to the master bedroom, over the existing Foyer entrance.  
New cupola at roof over existing foyer to provide natural light at interior space.

### Section III- CONTACT INFORMATION:

APPLICANT: Mark W. Fritz Architect AIA

ADDRESS: 133 Fernwood Road, Trumbull, CT 06611

PHONE: 203-880-9800 MOBILE: 203-981-8930 EMAIL: mwfarchitects@gmail.com

PROPERTY OWNER: Jared Kostick

ADDRESS: 32 Nichols Road, Armonk, NY

PHONE: MOBILE: 631-664-4418 EMAIL: jaredkostick@yahoo.com

PROFESSIONAL: Mark W. Fritz Architect AIA

ADDRESS: 133 Fernwood Road, Trumbull, CT 06611

PHONE: 203-880-9800 MOBILE: 203-981-8930

EMAIL: mwfarchitects@gmail.com

### Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 108.03-2-19



**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: Kostick Residence

Initial Submittal  Revised Preliminary

Street Location: 32 Nichols Road, Armonk, NY

Zoning District: R-1A Property Acreage: 1.18 Tax Map Parcel ID: 108.03-2-19

Date: 2/28/2024

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



**TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning**

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Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)**

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: Mark W. Fritz Date: 2/28/2024  
Tax Map Designation or Proposed Lot No.: 108.03-2-19

Gross Lot Coverage

- |     |   |                    |
|-----|---|--------------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>51,400 sf</u>   |
| 2.  | <b>Maximum</b> permitted gross land coverage (per Section 355-26.C(1)(b)):  | <u>10,055 sf</u>   |
| 3.  | <b>BONUS</b> maximum gross land cover (per Section 355-26.C(1)(b)):   |                    |
|     | <u>29.9ft</u> Distance principal home is beyond minimum front yard setback<br>x 10 = <u>299</u>                               | <u>299 sf</u>      |
| 4.  | <b>TOTAL Maximum Permitted gross land coverage</b> = Sum of lines 2 and 3   | <u>10,354 sf</u>   |
| 5.  | Amount of lot area covered by <b>principal building</b> :<br><u>1,616.85</u> existing + <u>0</u> proposed =                   | <u>1,616.85 sf</u> |
| 6.  | Amount of lot area covered by <b>accessory buildings</b> :<br><u>0</u> existing + <u>0</u> proposed =                         | <u>0</u>           |
| 7.  | Amount of lot area covered by <b>decks</b> :<br><u>386.26</u> existing + <u>0</u> proposed =                                  | <u>386.26 sf</u>   |
| 8.  | Amount of lot area covered by <b>porches</b> :<br><u>57.05</u> existing + <u>0</u> proposed =                                 | <u>57.05 sf</u>    |
| 9.  | Amount of lot area covered by <b>driveway, parking areas and walkways</b> :<br><u>3,362.28</u> existing + <u>0</u> proposed = | <u>3,362.28 sf</u> |
| 10. | Amount of lot area covered by <b>terraces</b> :<br><u>235.28</u> existing + <u>0</u> proposed =                               | <u>235.28 sf</u>   |
| 11. | Amount of lot area covered by <b>tennis court, pool and mechanical equip</b> :<br><u>30.94</u> existing + <u>0</u> proposed = | <u>30.94 sf</u>    |
| 12. | Amount of lot area covered by <b>all other structures</b> :<br><u>96.48</u> existing + <u>0</u> proposed =                    | <u>96.48 sf</u>    |
| 13. | Proposed <b>gross land coverage</b> : Total of Lines 5 – 12 =   | <u>5,549.86 sf</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Mark W. Fritz  
Signature and Seal of Professional Preparing Worksheet



2/28/2024  
Date



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

January 29, 2019  
 Telephone: (914) 273-3542  
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[www.northcastleny.com](http://www.northcastleny.com)

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

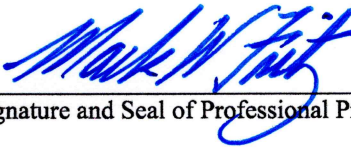
**FLOOR AREA CALCULATIONS WORKSHEET**

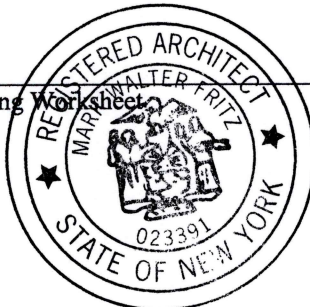
Application Name or Identifying Title: KOSTICK RESIDENCE Date: 2/28/2024  
 Tax Map Designation or Proposed Lot No.: 108.03-219

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>51,400</u>
2.	Maximum permitted floor area (per Section 355-26.B(4)):	<u>8,197.4</u>
3.	Amount of floor area contained within first floor: <u>1667</u> existing + <u>0</u> proposed =	<u>1,667</u>
4.	Amount of floor area contained within second floor: <u>1620</u> existing + <u>82</u> proposed =	<u>1702</u>
5.	Amount of floor area contained within garage: <u>425</u> existing + <u>0</u> proposed =	<u>425</u>
6.	Amount of floor area contained within porches capable of being enclosed: <u>0</u> existing + <u>0</u> proposed =	<u>0</u>
7.	Amount of floor area contained within basement (if applicable – see definition): <u>N/A</u> existing + <u>N/A</u> proposed =	<u>0</u>
8.	Amount of floor area contained within attic (if applicable – see definition): <u>N/A</u> existing + <u>N/A</u> proposed =	<u>0</u>
9.	Amount of floor area contained within all accessory buildings: <u>0</u> existing + <u>0</u> proposed =	<u>0</u>
10.	Proposed floor area: Total of Lines 3 – 9 =	<u>3,794 sf</u>

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town’s maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town’s regulations.

  
 Signature and Seal of Professional Preparing Worksheet



2/28/2024  
 Date



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OWNER  
**KOSTICK RESIDENCE**  
32 NICHOLS ROAD  
ARMONK, NY

**LEGEND**

- DOOR NUMBER
- WINDOW NUMBER
- POURED CONCRETE
- NEW 2x4 & 2x6 STUD WALL @ 16" O.C.
- BEAM
- NEW
- EXISTING
- FOOTING
- BOTTOM EACH WAY
- CEILING JOIST
- COLLAR TIE
- RAFTER TIE
- ROOF RAFTER
- FLOOR JOIST
- GATED OPENING
- SELF CLOSING FIRE DOOR



**PP PLOT PLAN**  
SCALE: 1"=20'-0"

**CLIMATE AND GEOGRAPHIC DESIGN CRITERIA**  
[REFER TO TABLE R301.2(1) OF THE RESIDENTIAL CODE OF NEW YORK STATE]

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQ	FLOOD HAZARD
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
30 PSF	130	C	SEVERE	42"	MODERATE/HEAVY	MODERATE/HEAVY	7°F	YES	FIRM SEPT.28, 2007

**2020 RESIDENTIAL CODE OF NEW YORK STATE BUILDING CODE DATA**

Use & Occupancy Classification: Residential Group R-3 per 302.1;  
Construction Classification: Construction Type IV per 602 of the 2020 International Building Code

Floor Construction	No Rating	
	No Rating	No Rating
Other Elements	No Rating	No Rating
Design Loads	Live/ Snow	Dead
First Floor	40 psf.	10 psf.
Second Floor	30 psf.	10 psf.
Attic	20 psf.	10 psf.
Roof	20 psf.	10 psf.

**ZONING CODE DATA**

32 NICHOLS RD ARMONK, NEW YORK  
Zone R-1A  
TAX MAP 1.08.03-2-19  
Zoning District: Single Family Residence

Code	Requirements	Proposed
Lot Area	43,560 SQ.FT.	51,400 sq. ft.
Minimum Lot Width	125 ft.	100 FT.
Minimum Yards:		
Front	50 ft.	79.9 ft.
Side	25 ft.	26.4 FT
Side	25 ft.	40.8 FT
Rear	50 ft.	278 FT
Maximum Height:	30 ft.	32'6"AVG MEAN HGT

**Energy Conservation Code**

N1104.1 (R404) A MINIMUM OF 75% OF LAMPS INSTALLED IN PERMANENT FIXTURES (RECESSED LIGHTING) SHALL BE HIGH EFFICIENCY LAMPS

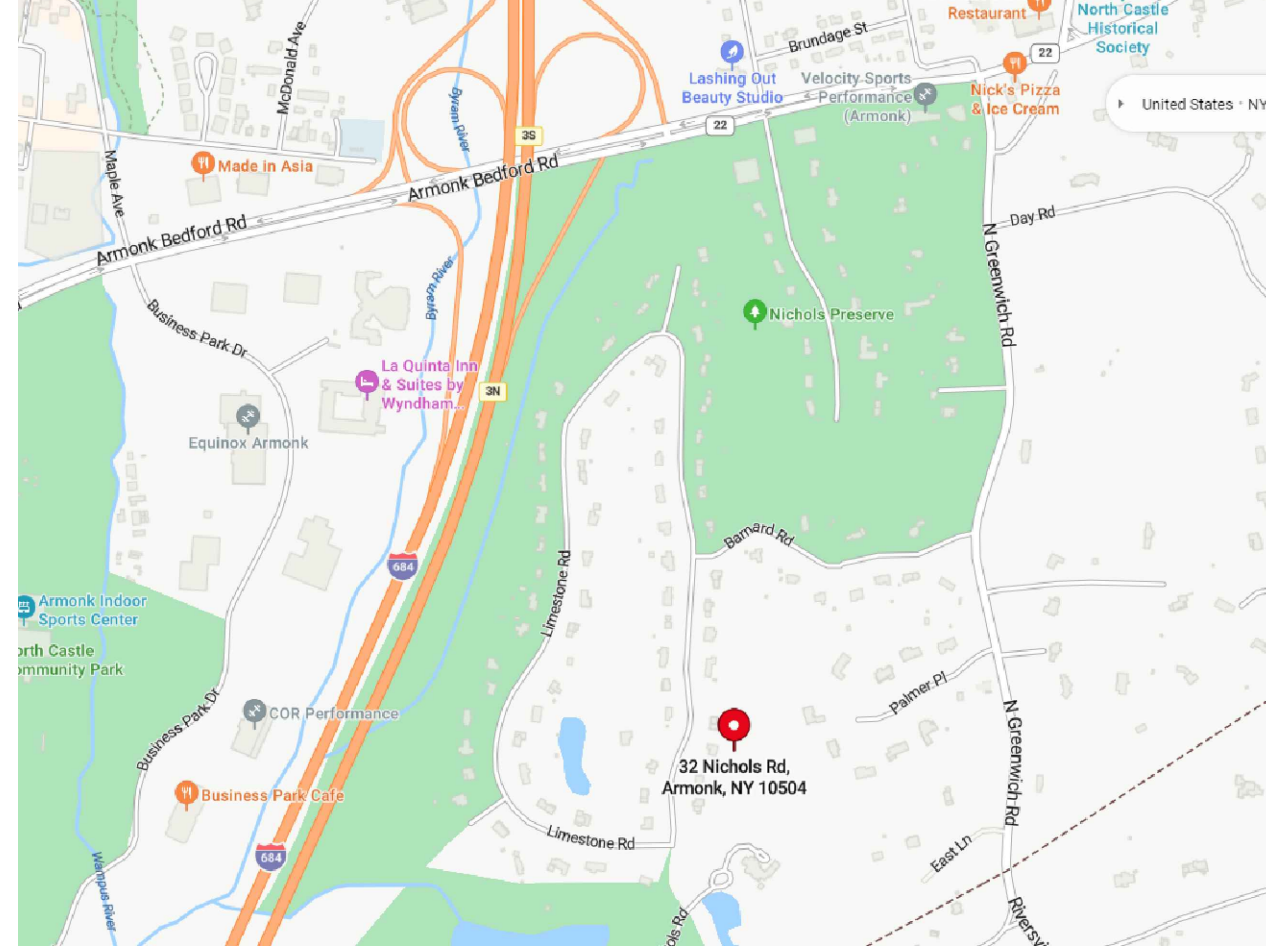
**ENERGY EFFICIENCY CRITERIA**

- CLIMATE ZONE: 4A WESTCHESTER COUNTY  
DOOR U-FACTOR: UNINSULATED METAL: 1.20  
INSULATED METAL: 0.60
- WOOD: 0.50  
INSULATED NON METAL 45% MAX GLAZE  
DOUBLE PANE: 0.35
- THERMAL ENVELOPE:  
GLAZED FENESTRATION U-FACTOR: U-0.35  
SKYLIGHTS: U-0.55  
CEILING R-VALUE: R-49 : R38 CONTINUOUS OVER TOP PLATE  
WOOD FRAME WALL R-VALUE: R-20 CAVITY  
R-13 CAVITY + R-3 CONTINUOUS  
R-13/17  
MASS WALL R-VALUE: R-19  
FLOOR R-VALUE: R-13 CAVITY  
BASEMENT WALL R-VALUE: R-10, 2 FT  
SLAB R-VALUE: R-10 CONTINUOUS  
CRAWL SPACE WALL R VALUE: R-10 CONTINUOUS

1 THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER; ALL BREAKS IN THE AIR BARRIER SHALL BE SEALED.



**6" DIAMETER PRE ENGINEERED WOOD PLACKARD**  
(in accordance with Title 19 NYCRR PART 1265)  
THE LOCATION OF THE PLACKARD SHALL BE APPROVED IN THE FIELD BY THE BUILDING INSPECTOR.



DESCRIPTION	DATE
FILE	2/12/2024

PROJECT NO:  
CAD DWG FILE: **021122**  
SHEET TITLE: **2211**

**SITE PLAN**





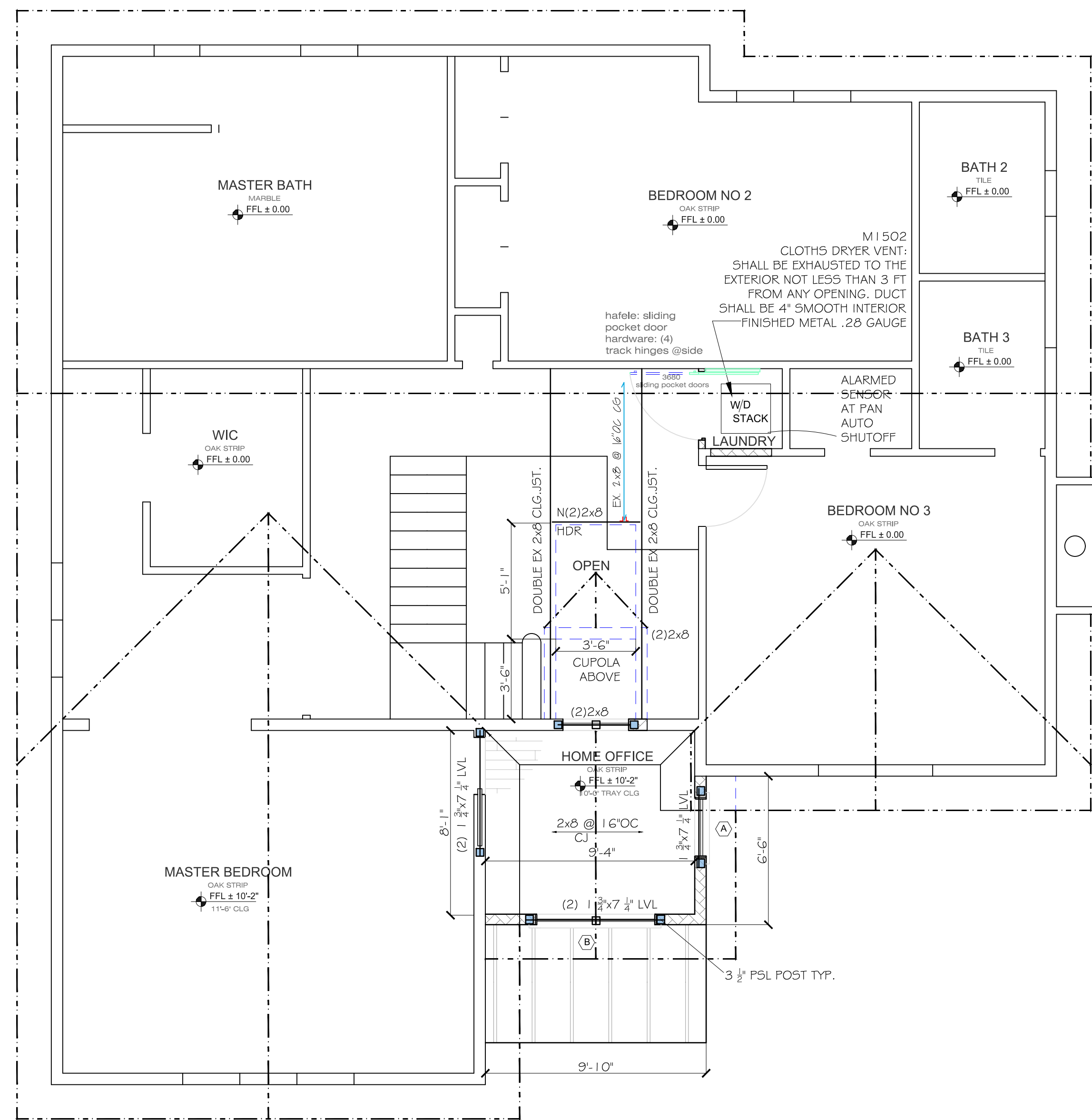


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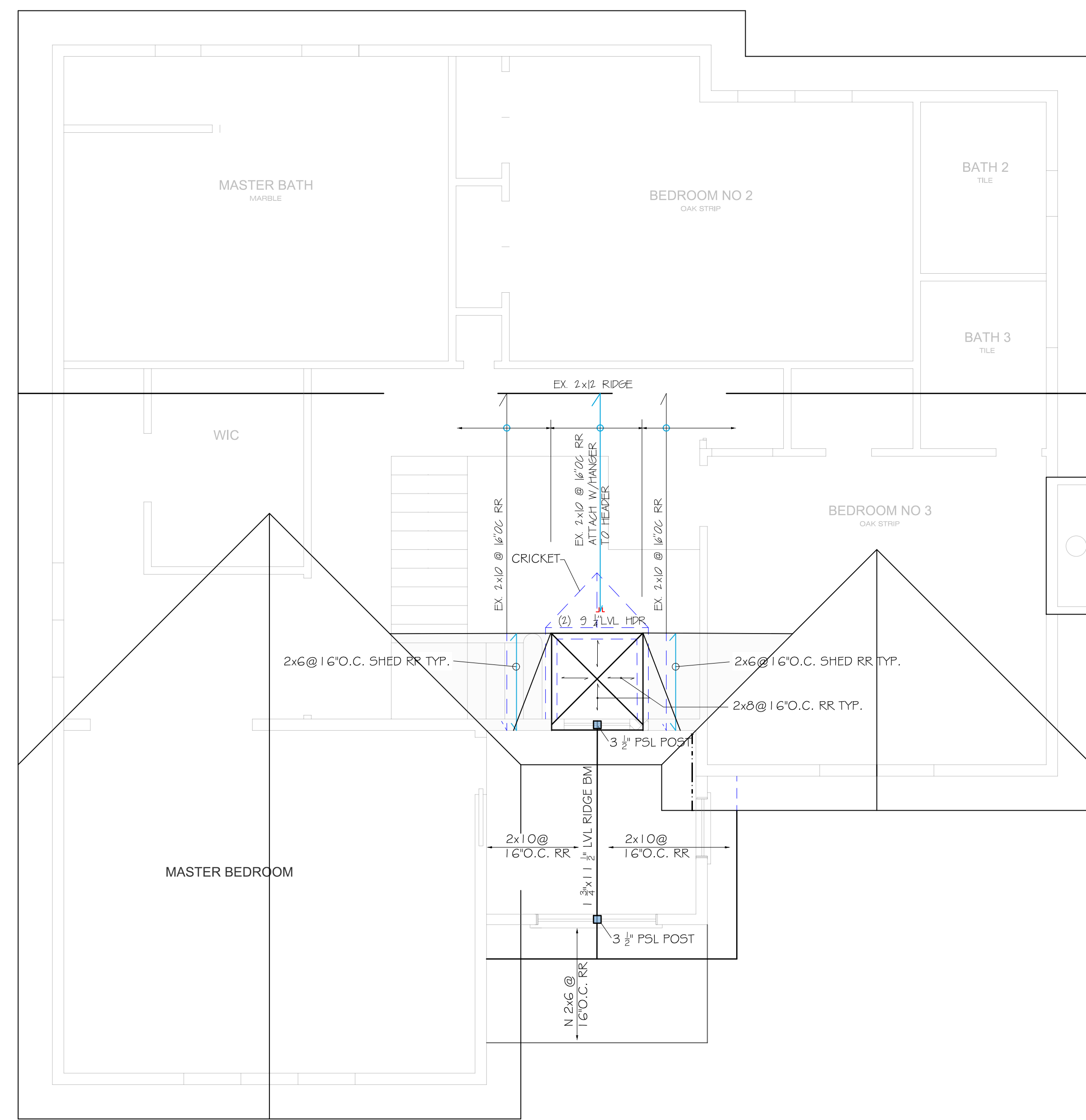
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OWNER  
**KOSTICK RESIDENCE**  
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 ARMONK, NY

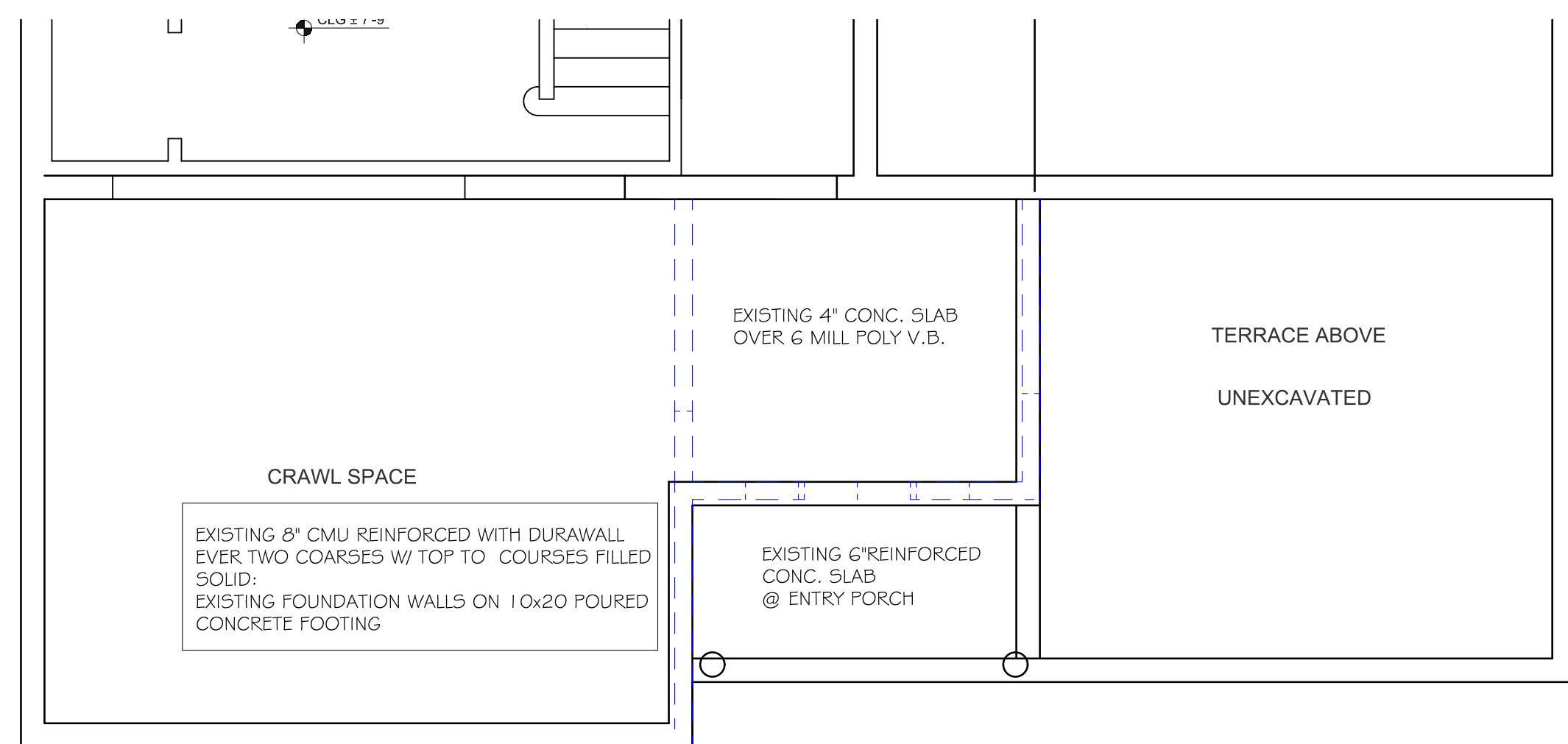
EXISTING DECK BELOW



**2 HOME OFFICE SECOND FLOOR CONSTRUCTION PLAN**  
 SCALE: 1/4"=1'-0"



**R ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0"



**B PARTIAL BASEMENT PLAN**  
 SCALE: 1/4"=1'-0"



#	DESCRIPTION	DATE
	PRELIMINARY	2/8/2022
	PRELIMINARY REV	3/1/2022
	PROPOSED	1/11/2024

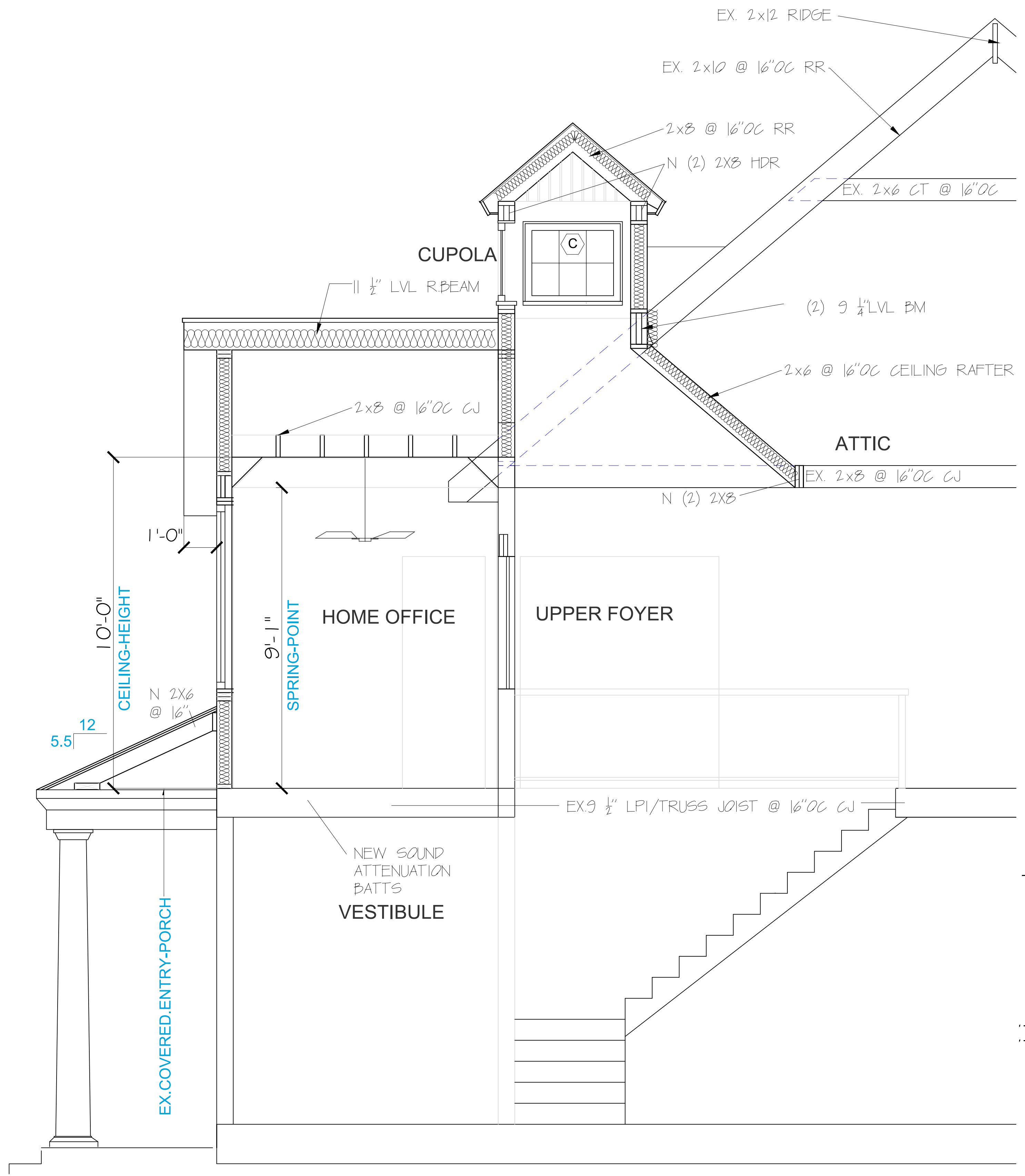
PROJECT NO: **021122**  
 CAD DWG FILE: **2211**

SHEET TITLE  
**FLOOR PLANS**

SHEET **A-1**

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**1** PROPOSED SECTION  
SCALE: 1/2" = 1'-0"



**F** PROPOSED FRONT YARD ELEVATION  
SCALE: 1/4" = 1'-0"



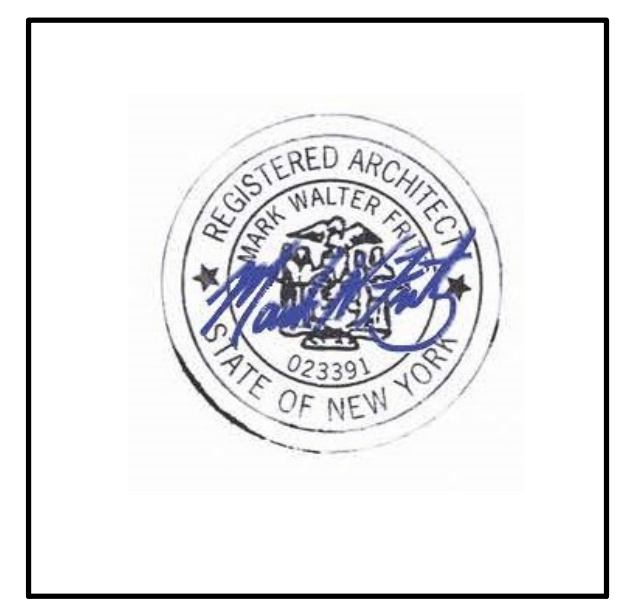
**S** PROPOSED SIDE YARD ELEVATION  
SCALE: 1/4" = 1'-0"

**Mark Fritz Architects**  
133 Fernwood Road, Trumbull  
Connecticut, 06611  
Phone: 203-880-9800  
MWFARCHITECTS@AOL.COM

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32 NICHOLS ROAD  
ARMONK, NY



#	DESCRIPTION	DATE
	PRELIMINARY	2/8/2022
	PRELIMINARY REV	3/1/2022
	PROPOSED	1/11/2024

PROJECT NO: **021122**  
CAD DWG FILE: **2211**

SHEET TITLE  
**ELEVATIONS SECTION**

SHEET **A-2**

**GENERAL NOTES**

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
2. THE CONTRACTOR SHALL FIELD MEASURE AND VERIFY ALL EXISTING CONDITIONS. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
3. ALL WORK SHALL COMPLY WITH THE RULES OF THE GOVERNING AGENCY HAVING JURISDICTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH EXISTING CONDITIONS.
5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING SAFE WORKING CONDITIONS AND OBSERVING ALL SAFETY PROTOCOLS OF THE GOVERNING AGENCY AND THE OWNER. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. CARE SHALL BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR THE STRUCTURE.
6. FURNISH ALL SCAFFOLDING, HOISTING EQUIPMENT AND ANY OTHER EQUIPMENT THAT MAY BE REQUIRED TO PERFORM THE WORK IN A SAFE AND ORDERLY MANNER.

**SITING**

- CONCRETE**
- QUALITY CONTROL STANDARDS AND TOLERANCES**
- A. FOLLOW THESE STANDARDS: PLACE CONCRETE ACCORDING TO ACI 301. REINFORCING TO COMPLY WITH ACI 301 AND RELATED ACI, CRSI, AND ASTM STANDARDS. FORMWORK TO COMPLY WITH ACI 301, 310, AND ACI 347. TOLERANCE STANDARDS FOR LEVEL, PLUMB, AND ALIGNED CONDITIONS SHALL BE AS PER ACI 117.
- FORMWORK MATERIALS**
- REINFORCING MATERIALS**
- REINFORCING BARS:** DEFORMED STEEL BARS, GRADE 60, TYPE 5, TO COMPLY WITH ASTM A 615. PLAIN FINISH BARS MAY BE USED IN SPIRAL FABRICATION TO COMPLY WITH CRSI REBAR DETAILING.
- B. WELDED WIRE REINFORCING: DEFORMED TO COMPLY WITH ASTM A 497. PLAIN TO COMPLY WITH ASTM A 105.
- CONCRETE MATERIALS**
- A. CONCRETE INGREDIENTS: PORTLAND CEMENT ASTM C 150 NORMAL-TYPE I, AGGREGATE, FINE AND COARSE AS PER ASTM C 33, WATER AS PER ASTM C 94, CLEAN, FREE OF SALT OR ANY CHEMICALS THAT MIGHT INTERFERE WITH THE CONCRETE.
- B. ADMIXTURES AND MISCELLANEOUS MATERIALS: AIR ENTRAINING ADMIXTURE AS PER ASTM C 260 AND MANUFACTURER'S INSTRUCTIONS. WATER REDUCING, RETARDING, ACCELERATING ADMIXTURES AS PER ASTM C 494 AND MANUFACTURER'S INSTRUCTIONS. BONDING AGENT: POLYMER RESIN, NON-SHRINK GROUT: NON-METALLIC MINERAL AGGREGATE, CEMENT, WATER REDUCING MATERIALS AS PER ASTM C 494 AND AS PER MANUFACTURER'S INSTRUCTIONS.
- CONCRETE MIXTURE**
- A. ALL MIXING AND TESTS TO ASSURE COMPLIANCE WITH STANDARDS AS PER ACI 301. PROVIDE CONCRETE READY-MIXED IN COMPLIANCE WITH ASTM C 94. CONCRETE STRENGTH WILL CONFORM TO ACI 301, 310, AND APPLICABLE BUILDING CODE REQUIREMENTS. COMPRESSIVE STRENGTH OF 3,000 PSI IN 7 DAY TEST. COMPRESSIVE STRENGTH OF 3,600 PSI IN 28 DAY TEST.
- B. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
- SLABS:.....3/4"
  - BEAMS:.....1-1/2"
  - COLUMNS:.....2"
- CONCRETE PLACED ON GROUND.....3"

- STRUCTURAL STEEL FRAMING**
- A. PROVIDE STRUCTURAL STEEL AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- B. ALL WORK MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS, AISC SPECIFICATIONS FOR DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AND THE AISC CODE OF STANDARD PRACTICE.
- D. STEEL PLATES, BARS, AND OTHER SHAPES SHALL BE AS PER ASTM A36. ANCHOR BOLTS AS PER ASTM A307. NUTS, BOLTS, WASHERS AS PER ASTM A325. UNFINISHED THREADED FASTENERS AS PER ASTM A307. GRADE A, REGULAR, ARC WELDING ELECTRODES AS PER ASW CODE AND ASTM A233, AS REQUIRED FOR INTENDED USE.
- E. PRIMER: SSPC 15, TYPE 1, RED OXIDE.

**ROOF ASSEMBLY**

1. INSTALL METAL ROOFING OVER GRACE, TRI-FLEX XT. INSTALL WITH CAP NAILS OR CAP STAPLES.
2. PROVIDE ICE AND WATER-SHIELD AT ALL EAVES AND VALLEYS. INSTALL FROM OVERHANG EDGE TO 2'-0" FROM INSIDE FACE OF EXTERIOR WALLS TYPICAL.
3. ALL FLASHING TO BE 16 OZ BRIGHT COPPER AT VALLEYS AND ROOF EAVES.
4. FASCIA AND EXTERIOR TRIM TO BE BORAL TRIM BOARDS, PRIMED AND PAINTED TWO COATS EXTERIOR FLAT LATEX.
5. SOFFITS AND MATERIAL ON EXTERIOR CEILING WILL BE BORAL OR EQUAL. NOMINAL 4" V GROOVE T&G. PRIMED AND PAINTED TWO COATS EXTERIOR FLAT LATEX.

**WALL ASSEMBLY**

1. EXTERIOR WALL SIDING TO BE JOHN HARDIE ARTISAN COLLECTION, MITERED CORNERS, (NO CORNER BOARDS).
2. ARTISAN CLAPBOARD SHALL RECEIVE TWO COATS EXTERIOR FLAT LATEX.
3. 2x6 WALL STUDS @ 16" O.C. 1/2" PLY WOOD SHEATHING.
4. INSULATION WILL BE "NU-WOOL" OR APPROVED EQUAL. R21 SPRAY-IN-PLACE CELLULOSE, INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

- FIRST FLOOR ASSEMBLY**
1. 5" POURED CONCRETE SLAB ON GRADE OVER 2" RIGID INSULATION R10.

**CEILING ASSEMBLY**

1. 2x8 @ 16" O.C. AS NOTED ON THE PLANS.
2. INSULATION TO BE "NU-WOOL" OR APPROVED EQUAL. SPRAY-IN-PLACE CELLULOSE (R=6 INCH), INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AT EFFECTED AREA.

**EXTERIOR TRIM AND FLASHING**

1. ALL EXTERIOR WINDOW AND DOOR TRIM WILL BE NOMINAL 1/2" x 4" STOCK, MATERIAL BORAL TRIM BOARD.
2. PROVIDE WATER TIGHT 1/8 OZ COPPER PAN FLASHING AT ALL WINDOW SILLS, WINDOW & DOOR HEADS, COLUMN CAPS AND OVER STONE BANDING.

**DOORS AND WINDOWS**

- SEE DOOR AND WINDOW SCHEDULES SHEET FOR DETAILS.
- EXTERIOR SHOWER ENCLOSURE ASSEMBLIES**
1. PRIVACY PANEL AND SHOWER DOOR: USE 1x4 "MATEVERDE" PREMIUM IPE FROM GENERAL WOODCRAFT (NEW LONDON). SEE DRAWINGS FOR DETAILS.

**INTERIOR DOORS**

1. ALL INTERIOR DOORS WILL BE PRE-HUNG, TWO PANEL SOLID CORE, MOF DOORS UNLESS NOTED OTHERWISE ON DOOR SCHEDULE SHEET.

**HARDWARE PACKAGES**

- PROVIDE HARDWARE AS FOLLOWS:
- A. LATCH, KEYS LOCK @ EXTERIOR DOORS
  - B. LATCHED PRIVACY LOCK @ BATH & CHANGING ROOM
  - C. KEYS LOCK SET AT STORAGE CLOSET.

**INTERIOR TRIM**

1. ALL TRIM WILL BE NON-FINGERJOINTED, FREE FROM KNOTS, EXCESSIVE FLAT GRAIN OR OTHER VISIBLE DEFECTS. INTERIOR WALLS OF CABANA SHALL BE SHIP-LAP.
2. ALL INTERIOR TRIM, PRIMED AND PAINTED WITH TWO COATS SEMI GLOSS PAINT.
3. WINDOWS WILL HAVE PROJECTING SILLS AND APRONS.

**DRYWALL/PAIN/FINISHING NOTES**

1. PROVIDE MOISTURE RESISTANT 1/2" GWB THROUGHOUT BATHROOMS, AND CEMENT BACKING BEHIND ALL PROPOSED TILE SURFACES.
2. ALL NEW DRYWALL TO BE 1/2" GWB AND WILL BE PRIMED AND PAINTED (2) COATS INTERIOR FLAT LATEX. OWNER TO SELECT COLOR. PAINT WILL BE BENJAMIN MOORE.
3. TRIMWORK WILL BE SANDED SMOOTH TO RECEIVE A PRIMER AND (2) COATS INTERIOR TRIM PAINT BY BENJAMIN MOORE. OWNER TO SELECT COLOR.

**FLOORS**

1. SCHLUTER DITRA 4 DITRA-XL/COUPLING AND WATERPROOFING MEMBRANE USED AT ALL TILE, STONE FLOORING SURFACES.

**FRAMING NOTES:**

1. FRAMING LUMBER SHALL BE EQUAL TO ANY OF THE FOLLOWING:
  - HEM-FIR, NO. 2 GRADE, F<sub>b</sub>=850 PSI, F<sub>v</sub>=75 PSI, E=1,300,000 PSI
  - HEM-FIR, NORTH NO. 1 AND 2 GRADE, F<sub>b</sub>=1,000 PSI, F<sub>v</sub>=75 PSI, E=1,600,000 PSI
  - S-P-F, NO. 1 AND 2 GRADE, F<sub>b</sub>=875 PSI, F<sub>v</sub>=70 PSI, E=1,400,000 PSI
  - DOUG-FIR, LARCH, No. 1/ No. 2 GRADE, F<sub>b</sub>=825, F<sub>v</sub> 95, E=1,600,000
2. STUD FRAMING SHALL BE EQUAL TO ANY OF THE FOLLOWING:
  - HEM-FIR, STUD GRADE, F<sub>c</sub>=800 PSI, E=1,200,000 PSI
  - S-P-F, STUD GRADE, F<sub>c</sub>=675, E=1,200,000 PSI
3. FLOOR SHEATHING SHALL BE 3/4" T&G PLY WOOD.
4. EXTERIOR WALL SHEATHING SHALL BE 7/8" PLY WOOD SHEATHING.
5. ALL FRAMING INDICATED LVL SHALL BE LAMINATED VENEER LUMBER AS MANUFACTURED BY TRUS-JOIST OR EQUAL. 1-800-628-3997. MINIMUM ALLOWABLE STRESS SHALL BE F<sub>b</sub>=2600 PSI, E=1,900,000 PSI.
6. JOISTS AND GRIDDERS SHALL HAVE FULL 4" MIN. BEARING AT FOUNDATION WALLS.
7. ALL BRIDGING SHALL BE 5/4x3 X-BRIDGING AT 8'-0" CENTERS FOR CONVENTIONAL FRAMING.
8. USE SIMPSON STRONG-TIE METAL FRAMING ACCESSORIES AS SPECIFIED. USE NAILING AS RECOMMENDED BY THE MANUFACTURER.
9. TOE NAILING OF JOISTS TO FLUSH HEADERS IS NOT PERMITTED; USE 1/2" DIA. STANDARD JOIST HANGERS WHERE JOISTS FRAMED TO SIDE OF HEADER.
10. PROVIDE 4x4 POST CAP 4" BASE AND T/C FRAMING CLIPS AT POST BASE FOR ALL INTERIOR AND EXTERIOR GIRDER/HEADER SPANS GREATER THAN 5'-6" CLEAR SPAN.
11. PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO FRAMING.
12. WHERE CEILING JOISTS ARE PERPENDICULAR TO RAFTERS AND WALLS PROVIDE METAL STRAP TIES FROM RAFTERS AND WALLS AT 4'-0" AND EXTEND TO ENGAGE NOT LESS THAN FOR CEILING JOISTS.

**INSULATION**

1. AT AREAS OF THE WORK WHERE EXISTING EXTERIOR WALLS, CEILING/TIC, AND FLOOR ABOVE BASEMENT ARE EXPOSED, PROVIDE INSULATION AS FOLLOWS:
  - ROOF/TIC LEVEL:.....R-49
  - WALLS:.....R-21
  - FIRST FLOOR OVER BASEMENT:.....R-30

**ELECTRICAL POWER DISTRIBUTION**

1. PROVIDE AND INSTALL COMPLETE ELECTRICAL SERVICE, POWER AND LIGHTING AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
2. ALL WORK SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND GOVERNING BUILDING AND SAFETY CODES.
3. STORE MATERIALS INDOORS, PROTECTED FROM DIRT, MOISTURE, CONTAMINANTS, AND WEATHER.
4. EXAMINE AND VERIFY THAT JOB CONDITIONS ARE SATISFACTORY FOR SPEEDY AND ACCEPTABLE WORK. MAINTAIN AND USE UP-TO-DATE CONSTRUCTION DOCUMENTS ON SITE. MAINTAIN AND USE UP-TO-DATE TRADE STANDARDS AND MANUFACTURER'S INSTRUCTIONS.
6. CONFIRM THERE IS NO CONFLICT BETWEEN THIS WORK AND GOVERNING BUILDING AND SAFETY CODES. CONFIRM THERE ARE NO CONFLICTS BETWEEN THIS WORK AND WORK OF OTHER TRADES. CONFIRM THAT WORK OF OTHER TRADES THAT MUST PRECEDE THIS WORK HAS BEEN COMPLETED. MEET ALL REQUIREMENTS TO SECURE WARRANTY.
7. ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
8. PROVIDE TEMPORARY POWER, POWER POLE, CONNECTION TO UTILITY, AND TEMPORARY METER AS REQUIRED FOR CONSTRUCTION.
9. SERVICE ENTRANCE CABLE, COPPER CONDUCTOR, 600 VOLT INSULATION, TYPE SE. MAIN DISTRIBUTION PANELS: NEMA PB 1 - CIRCUIT BREAKER TYPE. PROVIDE SURFACE CABINET WITH SCREW COVER AND HINGED DOOR. COPPER BUS AND GROUND BUS, 110/220 VOLTS.
10. UNDERGROUND FEEDER AND BRANCH CIRCUIT CABLE, COPPER CONDUCTOR, 600V INSULATION, TYPE UF.
11. WIRING, NONMETALLIC SHEATHED CABLE, SIZE 1/4" THROUGH 4 AWG. COPPER CONDUCTOR, 600 VOLT INSULATION, TYPE NM.
12. CONDUIT, JUNCTION BOXES, AND ELECTRICAL WIRE CONNECTORS SHALL BE AS REQUIRED BY THE BUILDING CODE.
13. PROVIDE COMPLETE SWITCHES, RECEPTACLES, WALL PLATES AND RELATED MATERIALS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
14. WALL SWITCHES, QUIET OPERATING SWITCH RATED 20 AMPERES AND 110-220 VOLTS AC. COLOR AND SWITCH TYPE AS SELECTED BY THE ARCHITECT. WALL DIMMERS, LINEAR SLIDE TYPE, COLOR SELECTED BY ARCHITECT. RATED FOR 600 WATTS MINIMUM, SIZE AS PER CIRCUIT.
15. RECEPTACLES, TYPE 5-20 R, PLASTIC FACE, COLOR AS SELECTED BY THE ARCHITECT. SPECIFIC PURPOSE RECEPTACLES AS SHOWN ON THE DRAWINGS.
16. EXTERIOR WEATHERPROOF COVER PLATES SHALL BE GASKETED CAST METAL WITH HINGED GASKETED COVERS.
17. UPON COMPLETION, SECURE ALL REQUIRED INSPECTIONS, AND APPROVALS OF THE COMPLETED SYSTEM. MAKE ALL REQUIRED ADJUSTMENTS AND CORRECTIONS AT NO ADDED COST TO THE OWNER.
- 18.

**WINDOW NOTES:**

1. WINDOWS SHALL BE STOCK SIZE ANDERSEN 400 SERIES, WITH SCREENS, COLOR TO BE WHITE.
2. DIMENSION SHOWN ARE UNIT DIMENSION (OUTSIDE OF FRAME TO FRAME DIMENSION).
3. WINDOWS ARE U 26 OR BETTER.
4. WINDOWS WILL BE DOUBLE GLAZED LOW E II, ARGON FILLED, WITH SIMULATED DIVIDED LIGHTS.
5. EXTERIOR FRAMES AND HARDWARE TO MATCH TRIM. COLOR WHITE.
6. PROVIDE 1/8 OZ COPPER HEAD AND PAN FLASHING AT ALL WINDOWS.

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**INTERIOR DOOR NOTES:**

- TOILET ROOM & CHANGING ROOM
1. INTERIOR DOORS LISTED HEREIN ARE GENERIC IN BRAND. CONTRACTOR TO REVIEW DOOR QUALITY AND DESIGN OPTIONS WITH CLIENT PRIOR TO ORDERING ANY DOORS.
  2. ALL GLASS IN DOORS (IF ANY) TO BE TEMPERED.
  3. GAP AT UNDERSIDE OF DOOR LIMITED TO 1/2" OFF FINISHED FLOOR.
  4. POCKET DOORS TO RECEIVE HAFELE HANA POCKET DOOR TRACK.
  5. ALL HINGES AND DOOR HARDWARE TO BE REVIEWED WITH CLIENT PRIOR TO ORDERING. (OIL RUBBED BRONZE FINISH)

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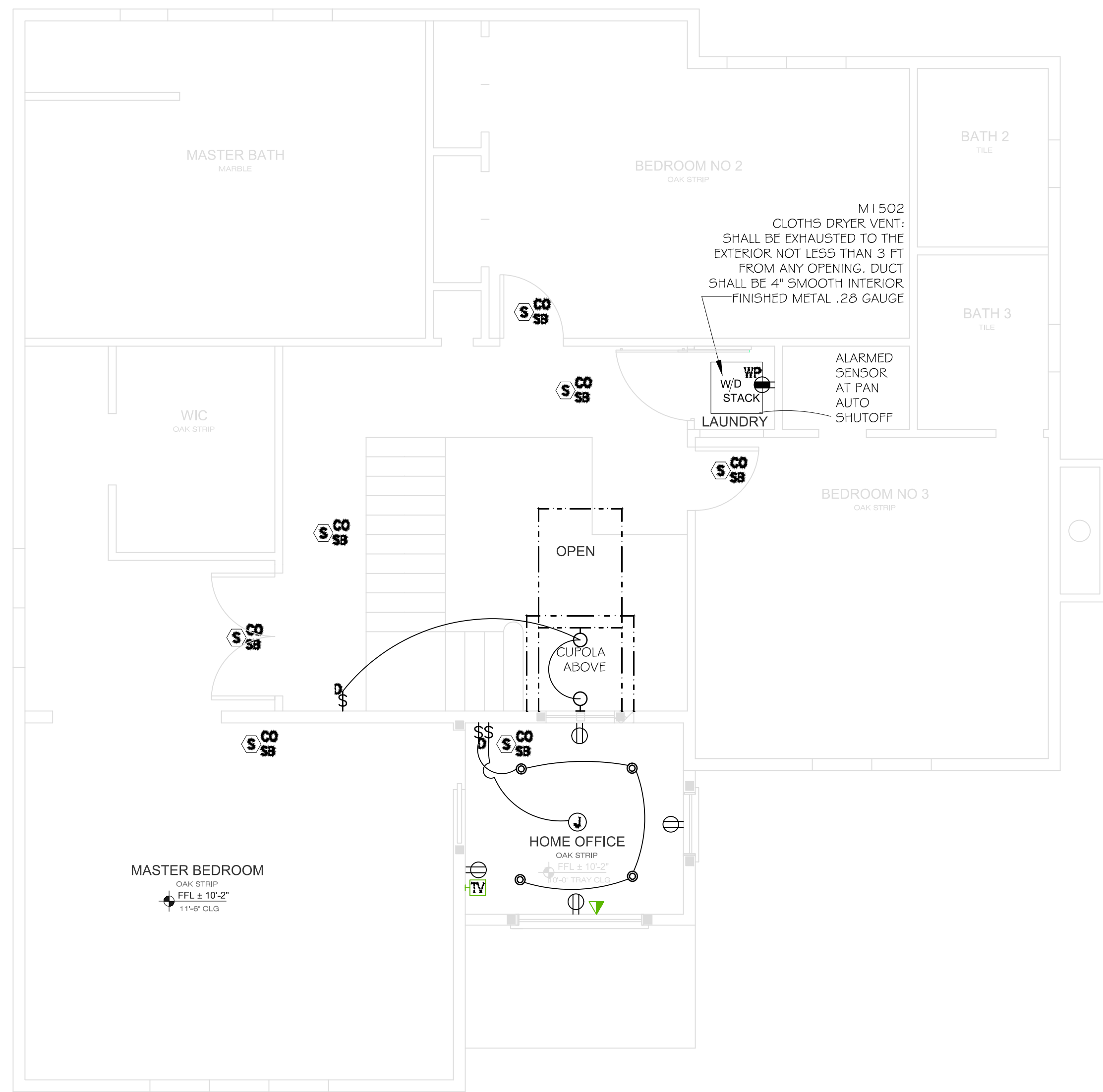
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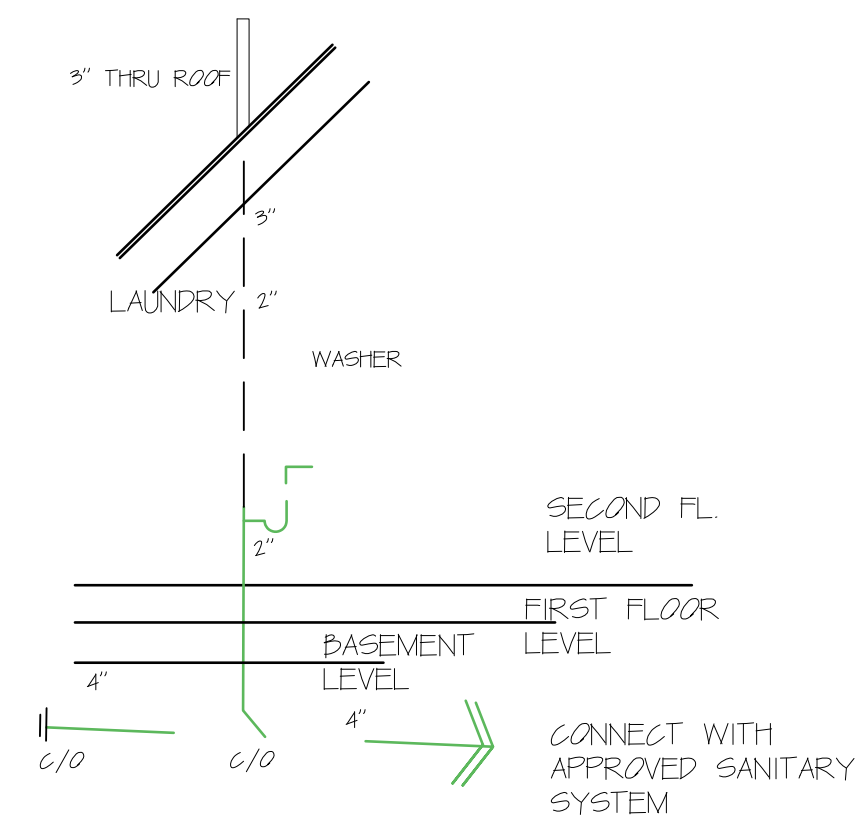
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  3. PROVIDE AND INSTALL ALL REQUIRED ACCESS

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ELECTRICAL SYMBOL LIST	
(NOT ALL SYMBOLS SHOWN ARE NECESSARILY USED ON THIS PROJECT)	
SYMBOL	DESCRIPTION
	20A, 125V DECORA STYLE DUPLEX RECEPTACLE -- FLUSH WALL MOUNTED
	20A, 125V DECORA STYLE GFCI TYPE DUPLEX RECEPTACLE -- FLUSH WALL MOUNTED
	20A, 125V GFCI TYPE WEATHER RESISTANT DUPLEX RECEPTACLE IN WEATHER PROOF ENCLOSURE
	SPECIAL PURPOSE RECEPTACLE -- FLUSH MOUNTED
	CEILING MOUNTED JUNCTION BOX WITH FINAL EQUIPMENT CONNECTION
	CEILING MOUNTED LINE VOLTAGE (RESIDENTIAL TYPE) COMBINATION SMOKE/CARBON MONOXIDE DETECTOR WITH SOUNDER BASE
	FLUSH MOUNT LINE VOLTAGE PUCK LIGHTS (3000K) DIMMABLE. UC= UNDER CABINET IC= INTERIOR CABINET
	RECESSED DOWN LIGHT FIXTURE PROVIDE LENS AT SHOWERS AND TUB LOCATIONS LED TYPICAL SLOPED CEILING ADAPTERS AT PITCHED LOCATIONS
	WALL MOUNTED LIGHT FIXTURE
	THREE WAY WALL MOUNTED LIGHT SWITCH
	SINGLE POLE WALL MOUNTED LIGHT SWITCH D = DIMMER
	TELEVISION OUTLET WITH 3/4" EMPTY CONDUIT AND DRAG LINE
	CATS WIRE
	EXHAUST FAN VENT TO EXTERIOR 50 CFM MINIMUM AS NOTED R303.3: BATHROOM VENTILATION IN COMPLIANCE W/ 2015 IRC



FIXTURES SHOWN ABOVE IN SCHEMATIC ORDER PLUMBING SUB TO SEE FLOOR PLANS AND APPROVED SEPTIC ENGINEERING PLANS FOR ALL WASTE LINE LAYOUTS.

IF THE PLUMBING SUB HAS A CONDITION THAT REQUIRES A NON CODE STRUCTURAL MODIFICATION HE SHALL REPORT THE CONDITION TO THE GC PRIOR TO MAKING ANY CUTS AND THE ISSUE WILL SOLVED WITH THE ARCHITECT. ANY NON CODE MODIFICATIONS THAT CAUSE BUILDING DEPARTMENT VIOLATIONS SHALL BE REPLACED AT THE PLUMBING SUBS COST AND EXPENSE.

**S** SANITARY DIAGRAM

**EL** HOME ELECTRICAL PLAN  
SCALE: 1/4"=1'-0"

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CONSULTANTS

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OWNER  
**KOSTICK RESIDENCE**  
32 NICHOLS ROAD  
ARMONK, NY



#	DESCRIPTION	DATE
	PRELIMINARY	2/8/2022
	PRELIMINARY REV	3/1/2022
	PROPOSED	1/11/2024

PROJECT NO: **021122**  
CAD DWG FILE: **2211**

SHEET TITLE  
**ELECTRICAL PLANS**

SHEET **A-4**