

Section I- PROJECT

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

ADDRESS: 58 HIGH ST

Telephone: (914) 273-3000 x 43 Fax: (914) 273-3554 www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section III- DESC	RIPTION OF WORK:	
POPOS PATIÓ		G POOL (IN-GROUND) AND
Section III- CONT	TACT INFORMATION:	
APPLICANT:	ke klarberg	
ADDRESS: 5	HIGH ST.	
PHONE:	MOBILE:	EMAIL: JTKLARBERGOGNAIL.COM
PROPERTY OWNER:	SAME	
ADDRESS:		
PHONE:	MOBILE:	EMAIL:
	NATHANIEL J. H	
ADDRESS: 540	NW UNIVERSITY	BLUD, 105 PT.ST. LUCIE FL 914 760 1800
PHONE: 772	2049550 MOBILE	914 760 1860
EMAIL: Dowe	HOLTERANBELING	. NET
Section IV- PROP	ERTY INFORMATION:	
Zone: /4	Tax ID (lot designate	tion) 101.01-1-42



Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: PROPOSED SWIMMING POOL FOR KLARBERG				
■Initial Submittal □Revised Preliminary				
Street Location: 58 HIGH STREET				
Zoning District: 1A Property Acreage: 2.08 Tax Map Parcel ID: 101.01-1-48				
Date: 2/14/23				
DEPARTMENTAL USE ONLY				
Date Filed: Staff Name:				
Jate i fied Otali Namo				
Preliminary Plan Completeness Review Checklist Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.				
1. Plan prepared by a registered architect or professional engineer				
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets				
3. Map showing the applicant's entire property and adjacent properties and streets				
1. A locator map at a convenient scale				
The proposed location, use and design of all buildings and structures				
3. Existing topography and proposed grade elevations				
7. Location of drives				
Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences				

RPRC COMPLETENESS REVIEW FORM

Page 2

end of method of water supply and sewage disposal and location of such facilities		
10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work		
1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District		
2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.		
3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.		
More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: http://www.northcastleny.com/townhall.html		
On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.		



TOWN OF NORTH CASTLE

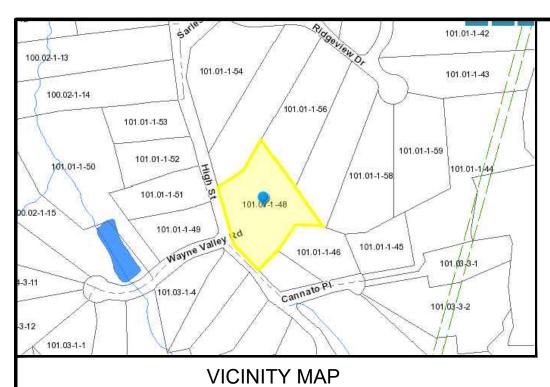
WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Tax Map Designation or Proposed Lot No.: 101. 01 - 148 Gross Lot Coverage 1. Total lot Area (Net Lot Area for Lots Crested After 12/13/06): 20. E2.f 2. Maximum permitted gross land coverage (per Section 355-26.C(1)(a)): 13.5255 3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)): Distance principal home is beyond minimum front yard setback 17. x 10 = 4. 4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 13.6455 5. Amount of lot area covered by principal building: 20. cxisting + proposed = 22.265 6. Amount of lot area covered by accessory buildings: 20. cxisting + proposed = 20. Amount of lot area covered by decks: 20. cxisting + proposed = 20. Amount of lot area covered by decks: 20. cxisting + proposed = 20. Amount of lot area covered by driveway, parking areas and walkways: 21. 27.50 20. Amount of lot area covered by terraces: 20. cxisting + proposed = 20. Amount of lot area covered by terraces: 20. cxisting + proposed = 20. Amount of lot area covered by terraces: 20. cxisting + proposed = 20. Amount of lot area covered by terraces: 20. cxisting + proposed = 20. Amount of lot area covered by terraces: 20. cxisting + proposed = 20. Amount of lot area covered by terraces: 20. cxisting + proposed = 20. Amount of lot area covered by terraces: 20. cxisting + proposed = 20. Cxisting + prop	Appli	cation Name or Identifying Title:	IAKE KLABBERG	Date: 3/13/23
1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 2. Maximum permitted gross land coverage (per Section 355-26.C(1)(a)): 3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)): Distance principal home is beyond minimum front yard setback 17 x 10 = 4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 5. Amount of lot area covered by principal building: 22 cxisting +	Tax N	Aap Designation or Proposed Lot No.:	101.01-1-49	
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(a)): 3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)): Distance principal home is beyond minimum front yard setback 17 × 10 = 4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 Amount of lot area covered by principal buildings: — existing + proposed = 6. Amount of lot area covered by accessory buildings: — existing + proposed = 7. Amount of lot area covered by decks: — existing + proposed = 8. Amount of lot area covered by tervaeva, parking areas and walkways: 4270 existing + proposed = 9. Amount of lot area covered by tervaeva; — existing + proposed = 10. Amount of lot area covered by tervaeva; — existing + proposed = 11. Amount of lot area covered by tervaeva; — existing + proposed = 12. Amount of lot area covered by all other structures: (ATTD) — existing + proposed = 13. Amount of lot area covered by all other structures: (ATTD) 14. Amount of lot area covered by all other structures: (ATTDD) 15. Amount of lot area covered by all other structures: (ATTDD) 16. Line 13 is less than or equal to find a coverage regulations and the project may proceed to the Rejieightal Process of committee for review. If Line 13 is greater than Line 4 your proposal dioes not comply with the Town's maximum gross land coverage regulations and the project may proceed to the Rejieightal Process of committee for review. If Line 13 is greater than Line 4 your proposal dioes not comply with the Town's maximum gross land coverage regulations and the project may proceed to the Rejieightal Process of committee for review. If Line 13 is greater than Line 4 your proposal dioes not comply with the Town's maximum gross land coverage regulations and the project may proceed to the Rejieightal Processes and coverage regulations and the project may proceed to the Rejieightal Processes and coverage regulations and the project may proceed to the Rejieightal Processes and coverage regulations an	Gross	Lot Coverage		
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BONUS maximum gross land cover (per Section 355-26.C(1)(b)): Distance principal home is beyond minimum front yard setback 17 × 10 = 4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 Amount of lot area covered by principal building:	2.	Maximum permitted gross land co	verage (per Section 355-26.C(1)(a)):	
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 3,645 5. Amount of lot area covered by principal building:	3.	BONUS maximum gross land cove	er (per Section 355-26.C(1)(b)):	
Amount of lot area covered by accessory buildings:			minimum front yard setback	1701
Amount of lot area covered by accessory buildings:	4.	TOTAL Maximum Permitted gr	oss land coverage = Sum of lines 2 and 3	13,645
Amount of lot area covered by decks: existing +	5.	Amount of lot area covered by pring #	ncipal building: _ proposed =	3226
Amount of lot area covered by proposed = 9. Amount of lot area covered by driveway, parking areas and walkways: 275	6.			
Amount of lot area covered by driveway, parking areas and walkways: Amount of lot area covered by terraces: Compared to the covered by terraces: Compared to the covered by terraces: Compared to the covered by tennis court, pool and mechanical equip: Compared to the covered by all other structures: (Attab) Compared to the proposed to the Residential Places of the proposed to the Residential Places of the complex with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Places of the complex with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Places of the complex with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Places of the complex with the Town's regulations and the project may proceed to the Residential Places of the complex with the Town's regulations and the project may proceed to the Residential Places of the complex with the Town's regulations and the project may proceed to the Residential Places of the complex with the Town's regulations and the project may proceed to the Residential Places of the complex with the Town's regulations and the project may proceed to the Residential Places of the complex with the Town's regulations and the project may proceed to the Residential Places of the complex with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Places of the complex with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Places of the complex with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Places of the complex with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Places of the complex with the Town's maximum gross land coverage regulations and the project may prove the coverage of the Residential Places of the Residential Places of the Residen	7.			
Amount of lot area covered by terraces:	8.	—		
Amount of lot area covered by tennis court, pool and mechanical equip: Comparison of lot area covered by all other structures: (%7%) Comparison of lot area covered by all other structur	9.			4276
Amount of lot area covered by all other structures: (P4788) 13. Proposed gross land coverage Total Galines (P4788) If Line 13 is less than or equal to line your proposal complete with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Processes we Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations and the project may proceed to the Residential Processes we Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.	10.			
Proposed gross land coverpres. Total of Lines 122 If Line 13 is less than or equal to line your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Process was Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations 3/13/23	11.	Amount of lot area covered by tenr existing +	is court, pool and mechanical equip: proposed =	474
If Line 13 is less than or equal to Line 4 your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Residenti	12.	Amount of lot area covered by all of existing + 5/5/5/	ther structures: (P4780)	1065
the project may proceed to the Residential Project Reserve Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations 3/13/23		Proposed gross land coverage. To	tal of Lines 5 4 k2	9,039\$
1 10 10 014 06 11	the pro	oject may proceed to the Residential Plantions of comply with the Town's regulations	check Review Committee for review. If I	Line 13 is greater than Line 4 your proposal
I MA I PROPERTY AND THE	Signat		10 07A 1/6 //	A



SCALE: 1" = +/-150'

OWNER APPLICANT: JAKE KLARBERG

ADDRESS: 58 HIGH STREET, ARMONK, NY

PROPERTY ID: 101.01-1-48

ZONING DISTRICT: R-2A

FEMA DESIGNATION: ZONE X; 36119C0164F

USDA SOIL MAPPING: CrC (CHATFIELD CHARLTON 15-25% VERY ROCKY)

GENERAL NOTES:

1. EXISTING CONDITIONS FROM A FROM SURVEY PREPARED BY RICHARD TOM, LS DATED AUGUST 8, 2020.

2. TOPOGRAPHY FROM THE WESTCHESTER COUNTY DEPARTMENT OF PLANNING GIS AND IS PROVIDED FOR REFRENCE PURPOES ONLY. CONTRATOR IS RESPONSIBLE FOR THE VERIFICATION OF THE TOPOGRAPHY.

3. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION AND SHALL CONTACT "CALL BEFORE YOU DIG, INC." AT 1-800-962-7962, 2 DAYS BEFORE COMMENCING CONSTRUCTION.

4. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE SECTIONS OF THE STATE OF NEW YORK AND TOWN OF NORTH CASTLE CODES AND SHALL TAKE PRECEDENT OVER THESE PLANS.

5. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION AND THEREFORE SHOULD BE PRESUMED TO BE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATIONS WITH TEST PITS PRIOR TO CONSTRUCTION. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

6. ALL PROPOSED DRAIN PIPING SHALL BE HDPE OF SIZE AS SPECIFIED ON THE DRAWING.

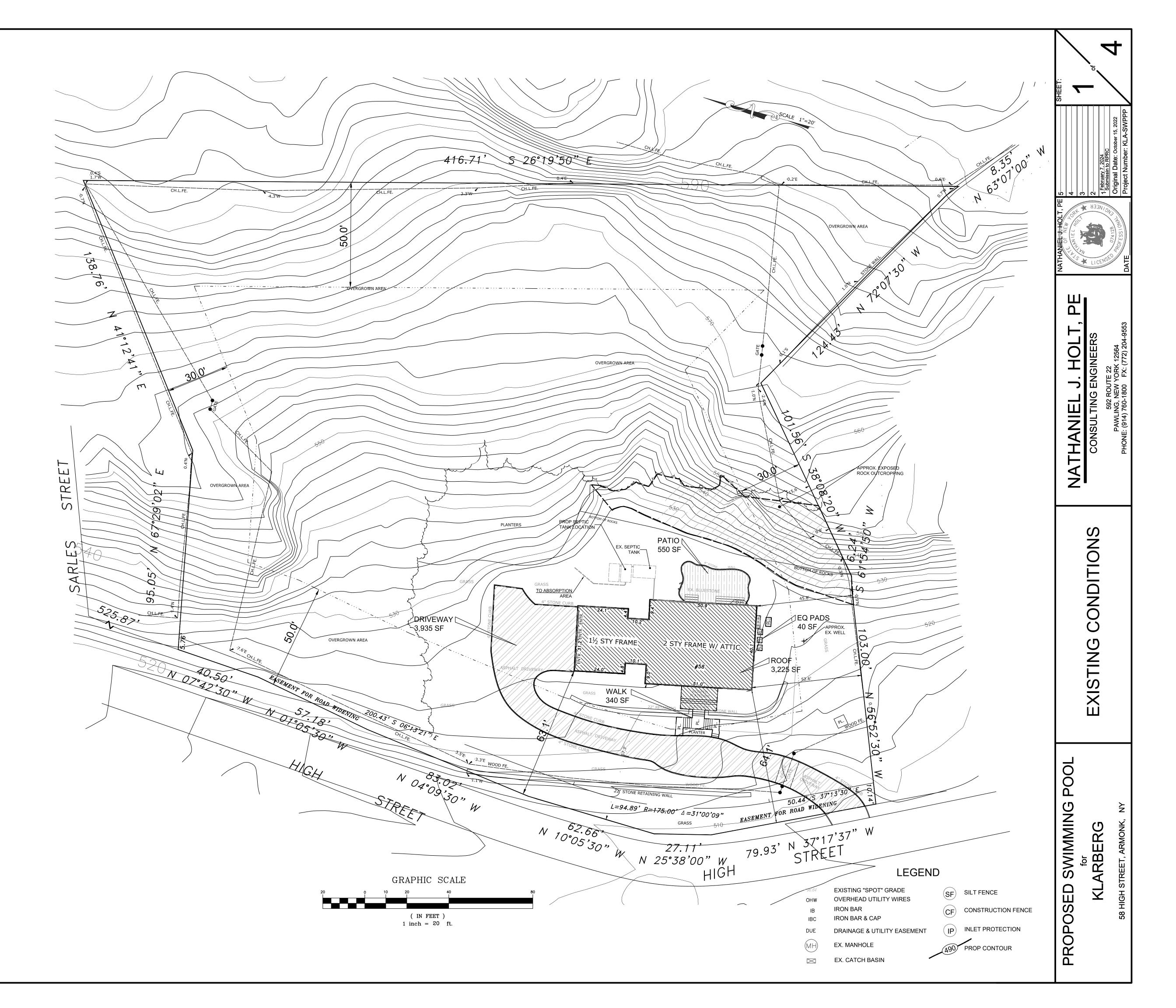
7. LOCATION OF EXISTING SEWER TRENCHES FROM AN AS-BUILT DRAWING OBTAINED FROM WESTCHESTER COUNTY DEPARTMENT OF HEALTH RECORDS

8. NO CONSTRUCTION ACTIVITIES SHALL OCCUR BEYOND THE "LIMIT OF DISTURBANCE LINES" DEPICTED ON THESE PLANS. SIMILARLY, UNLESS OTHERWISE NOTED, THERE SHALL BE NO REMOVAL OF TOWN REGULATED TREES.

9. PRIOR TO THE START OF ANY WORK THE CONTRACTOR SHALL SURVEY-LOCATE THE LIMITS OF DISTURBANCE SHOWN ON THESE PLANS AND SHALL CONTACT THE OFFICE OF THE CONSULTING TOWN ENGINEER FOR VERIFICATION AND/OR ADJUSTMENTS TO THE LIMIT LINE.

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

APPLICATION NAME: JAKE KLARBERG		
TAX MAP DESIGNATION: 101.01-1-48		
GROSS LOT COVERAGE	EXISTING	PROPOSED
1. TOTAL LOT AREA	90,521 sf	
2. MAXIMUM PERMITTED GROSS LAND COVERAGE	13,695 sf	
BONUS MAXIMUM GROSS LAND COVER Distance principal home is beyond minimum front yard setback 17 ft x 10 =	170 sf	
4. TOTAL MAXIMUM PERMITTED GROSS LAND COVERAGE	13,695 sf	
5. AMOUNT OF LOT AREA COVERED BY PRINCIPAL BUILDING 3,225 sf (EXISTING) + 0 sf (PROPOSED)	3,225 sf	3,225 sf
AMOUNT OF LOT AREA COVERED BY ACCESSORY BLDGS 0 sf (EXISTING) + 0 sf (PROPOSED)	0 sf	0 sf
7. AMOUNT OF LOT AREA COVERED BY DECKS 0 sf (EXISTING) + 0 SF (PROPOSED)	0 sf	0 sf
8. AMOUNT OF LOT AREA COVERED BY PORCHES 0 sf (EXISTING) + 0 (PROPOSED)	0 sf	0 sf
 AMOUNT OF LOT AREA COVERED BY DRIVEWAY, PARKING AREAS AND WALKWAYS 4,275 sf (EXISTING) + 0 (PROPOSED) 	4,275 sf	4,275 sf
AMOUNT OF LOT AREA COVERED BY TERRACES o sf (EXISTING) + 0 SF (PROPOSED)	0 sf	0 sf
11. AMOUNT OF LOT AREA COVERED BY TENNIS COURT, POOL & MECHANICAL EQUIP 0 sf (EXISTING) + 474 SF (PROPOSED)	0 sf	474 sf
12. AMOUNT OF LOT AREA COVERED BY ALL OTHER STRUC. 550 sf (ORIGINAL) + 510 SF (PROPOSED)	550 sf	1,060 sf
13. PROPOSED GROSS LAND COVERAGE:Total of Lines 5-12:	8,050 sf	9,044 sf



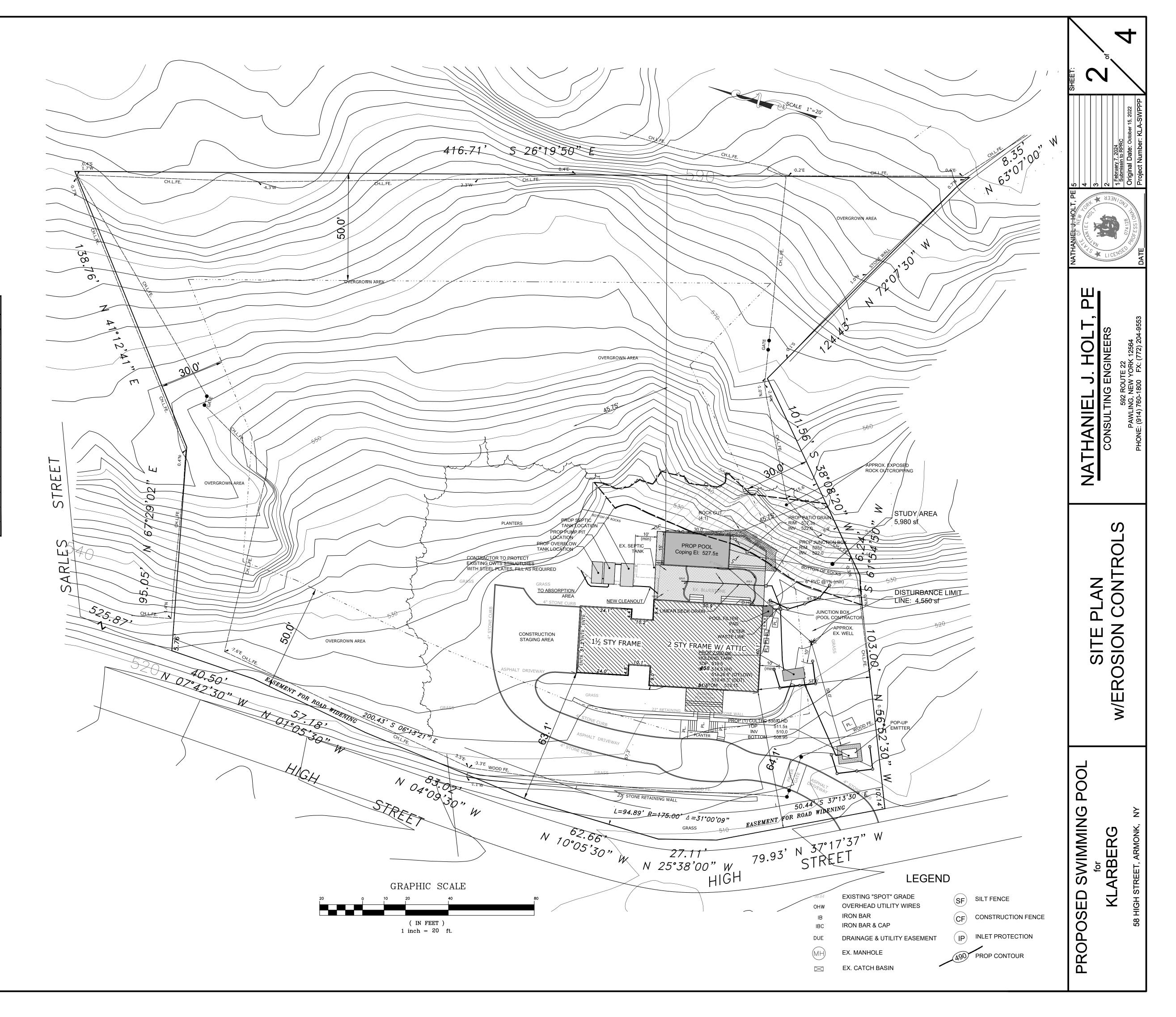
COPYRIGHT © 2023 HOLT ENGINEERING & CONSULTING, P.A. ALL RIGHTS RESERVED, UNAUTHORIZED DUPLICATION IS A VIOLATION OF APPLICABLE LAWS

GENERAL NOTES:

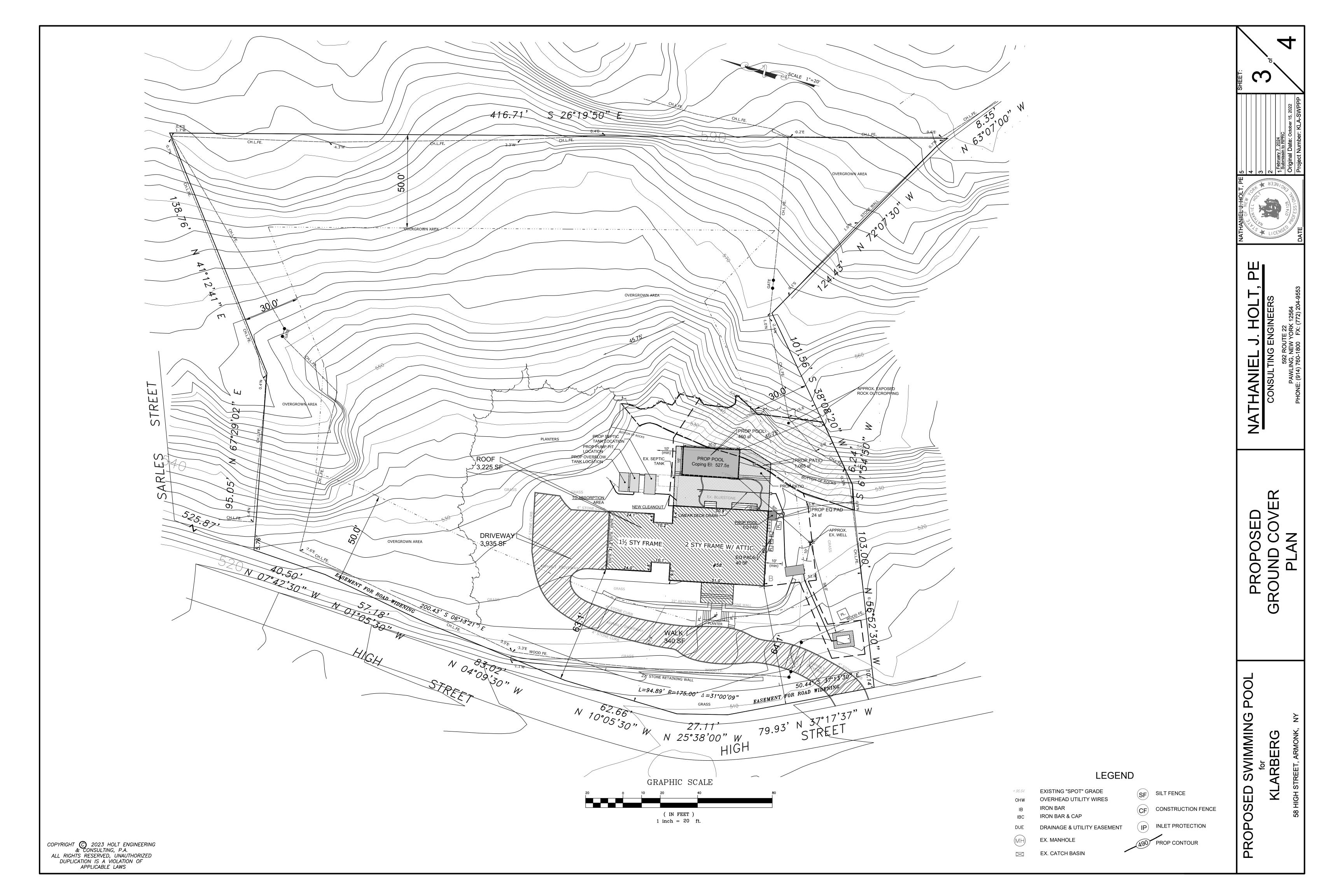
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- 4. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE SECTIONS OF THE STATE OF NEW YORK AND TOWN OF NORTH CASTLE CODES AND SHALL TAKE PRECEDENT OVER THESE PLANS.
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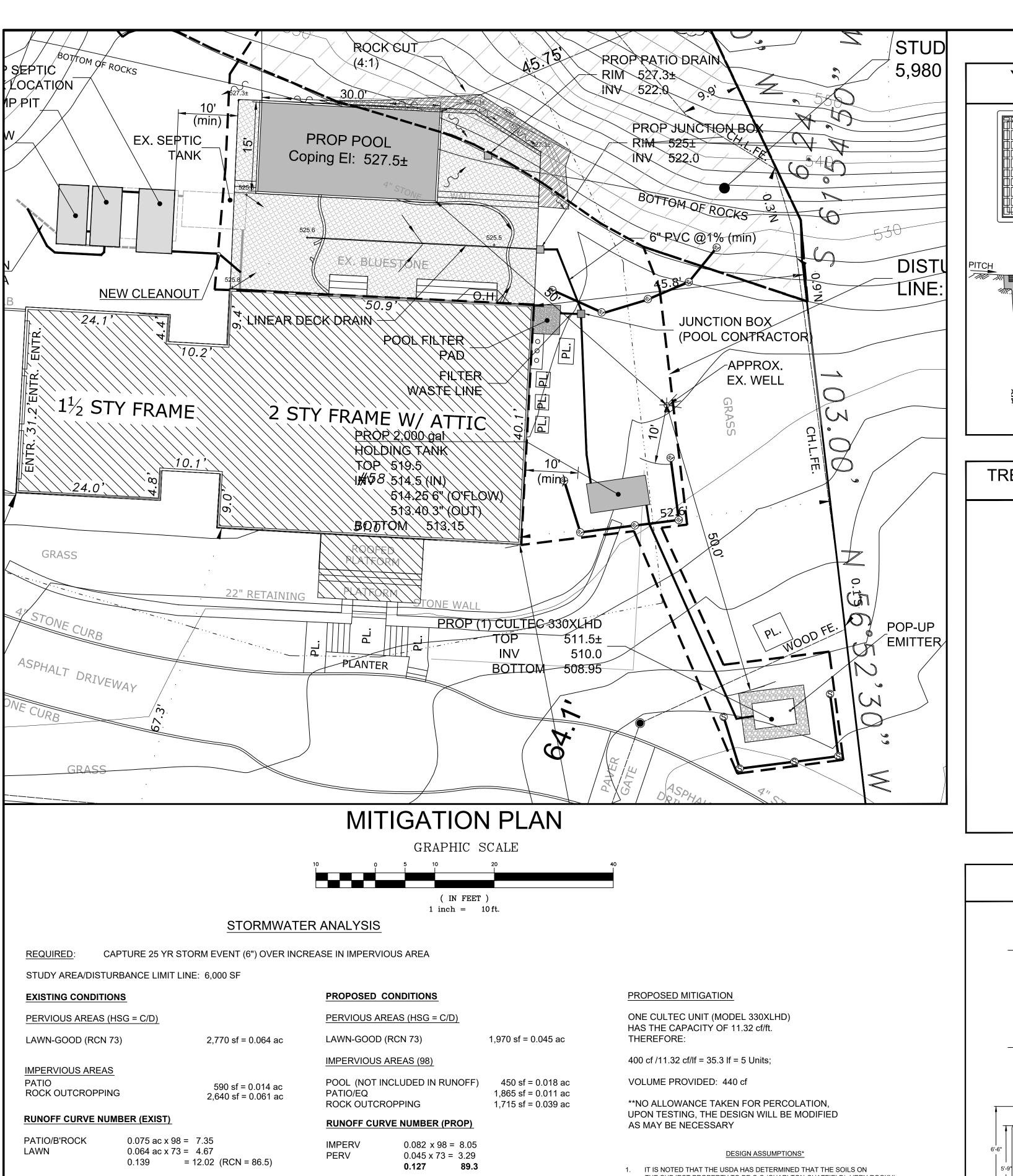
GROSS LAND COVERAGE CALCULATIONS WORKSHEET*

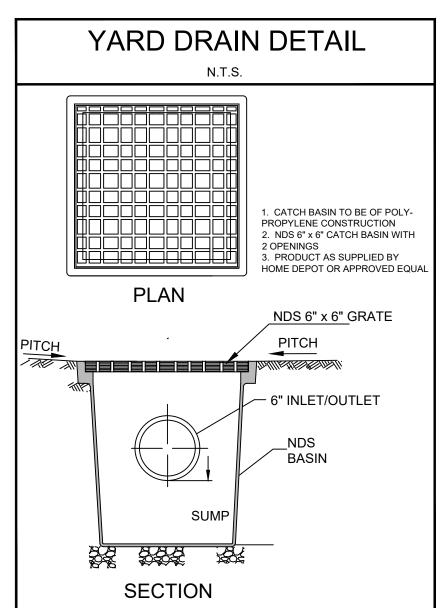
ZONING CONFORMANCE TABLE - R 2A ZONE						
MIN. LOT SIZE	REQUIRED	EXISTING	PROPOSED			
MIN. LOT AREA	2 Ac	2.08 Ac	2.08 Ac			
MIN. FRONTAGE	150 ft	350.4 ft	350.4 ft			
MIN. WIDTH	150 ft	±342.1 ft (mean)	±342.1 ft (mean)			
MIN. DEPTH	150 ft	±289.6 ft (mean)	±289.6 ft (mean)			
MIN. PRIN	MIN. PRINCIPAL BUILDING SETBACKS					
FRONT YARD	50 ft	63.1 ft (min)	63.1 ft (min)			
SIDE YARD	30 ft	78.7 ft (min)	78.7 ft (min)			
REAR YARD	50 ft	197.6 ft (min)	197.6 ft (min)			
MAX. HEIGHT (PRINCIPAL) (FEET/STORIES)	30 ft/3	<30 ft	<30 ft			
MIN. PROPOSED POOL SETBACKS						
FRONT YARD	50 ft		+120 ft			
SIDE YARD	30 ft		+45' ft (min)			
REAR YARD	50 ft		+165 ft			

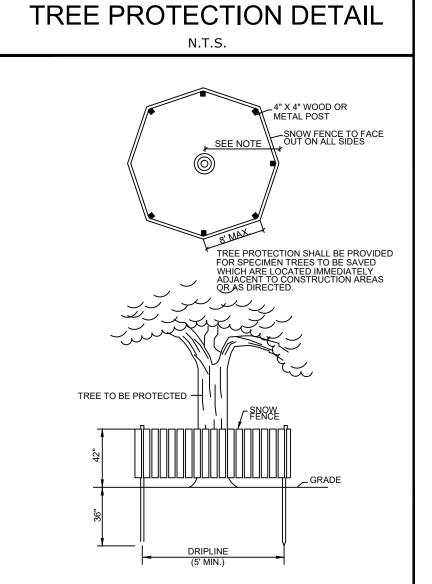


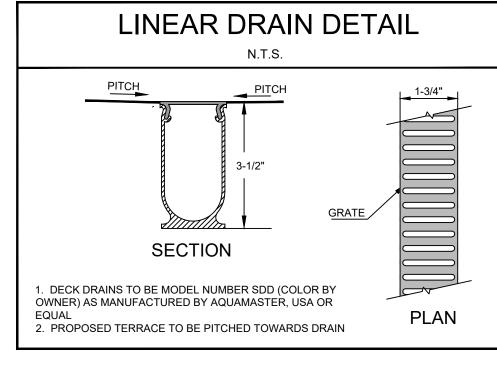
APPLICABLE LAWS

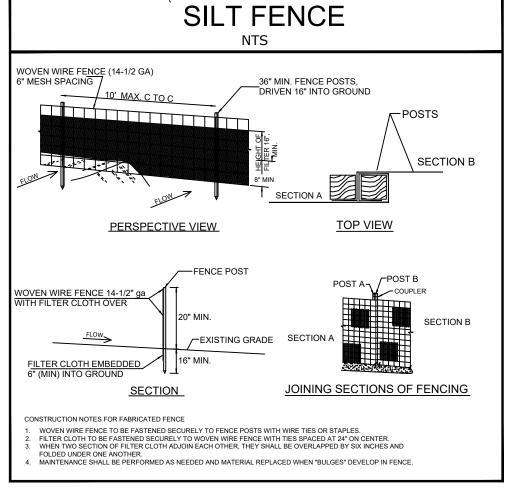


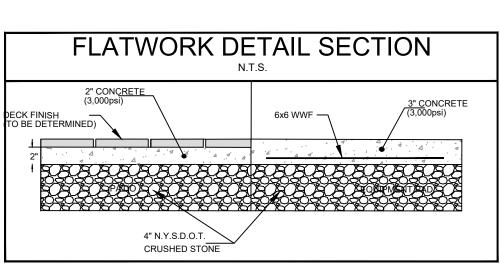


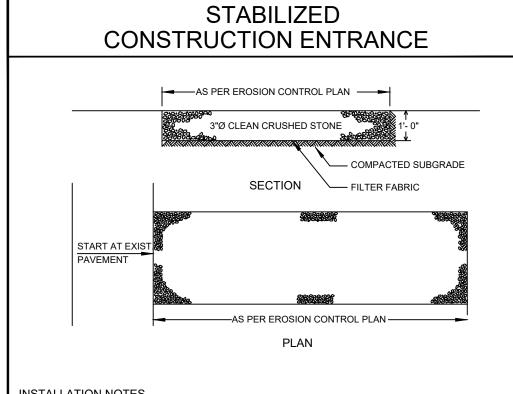












INSTALLATION NOTES

1. STONE SIZE - USE 3" CRUSHED STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. . LENGTH - AS PER PLAN.

B. THICKNESS - AS DETAILED. 4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF DRIVEWAY.

5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.

7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, THE REPAIR AND/OR REMOVAL OF ANY MEASURES MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO THE PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY. 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO THE PUBLIC

RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE COMPLETED ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE COMPLETED AFTER EACH RAIN EVENT.

SOIL STOCKPILING DETAIL N.T.S. STABILIZE ENTIRE PILE SLOPE OR LESS WITH VEGETATION OR COVE MIN. SLOPE MIN. SLOPE STRAWBALES OR SILTFENCE -NOTES I. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.

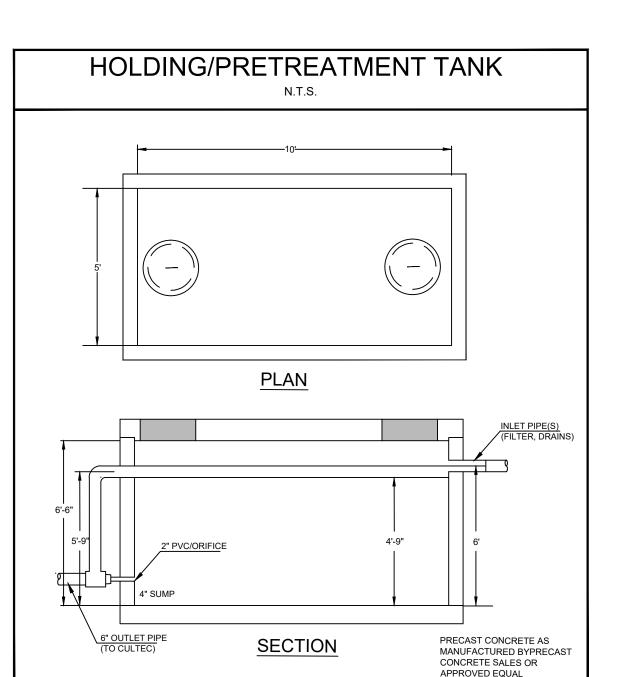
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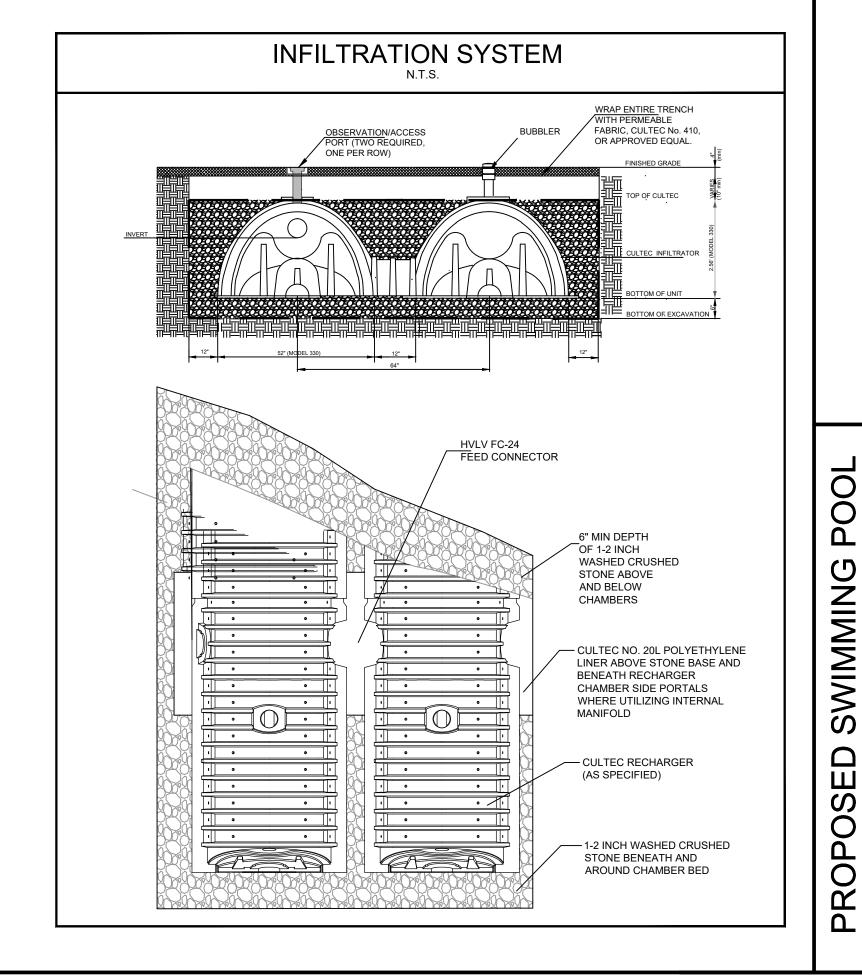
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B. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED FENCING OR STRAW HAYBALES, THEN STABILIZED WITH VEGETATION OR COVERED. 4. SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 100' FROM WETLANDS AND WATERCOURSES.





- THE SUBJECT PROPERTY TO BE CrC (CHARLTON-CHATFIELD), VERY ROCKY), HOWEVER, VISUALLY THERE IS EXPOSED ROCK FACE WHICH WAS EXPOSED CREATED DURING THE CONSTRUCTION OF THE RESIDENCE WHICH COULD INDICATE SHALL DEPTH OF BEDROCK IN THE AREAS OF THE PROPOSED MITIGATION SYSTEM.
- SUBSEQUENTLY AN ALTERNATE DESIGN HAS BEEN DEVELOPED WHEREBY POOL WINTERIZATION WATER IS PUMPED INTO A PRETREATMENT TANK WITH A SMALL (3") DIAMETER ORIFICE CONNECTED TO A 6" HDPE PIPED TO A SINGLE CULTEC INFILTRATION UNIT, WHERE DISCHARGE FROM THE HOLDING TANK WILL EITHER BE ABLE TO PERCOLATE INTO THE AVAILABLE SOILS AND/OR BUBBLE TO THE SURFACE.
- 3. IT IS ALSO NOTED THAT A "STANDARD DESIGN" CONSISTING OF ENTIRELY OF INFILTRATION UNITS (ASSUMING ADEQUATE DEPTH TO BEDROCK) IS OBTAINED), DUE TO STANDARD WCDH REQUIREMENTS REGARDING SEPARATION DISTANCES TO DOMESTIC WELLS.
- 4. TESTING TO DETERMINE DEPTH(S) TO BEDROCK AND PERCOLATION WILL BE

PERFORMED PRIOR TO ANY REQUEST FOR A BUILDING PERMIT

LEGEND OHW

EXISTING "SPOT" GRADE OVERHEAD UTILITY WIRES **RUNOFF VOLUME**

(5.13" - 4.85") x 5,532 sf = 143 cf

WINTERIZATION DRAWDOWN

WINTERIZATION CONTROLS

POOL VOLUME: 450 sf x 0.5 ft = 225 cf (1,685 gal)

IRON BAR IRON BAR & CAP

DRAINAGE & UTILITY EASEMENT

EX. MANHOLE EX. CATCH BASIN \bowtie

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DUPLICATION IS A VIOLATION OF APPLICABLE LAWS