



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.northcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One-Family Residence - New Construction	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One Family Residence - Teardown/Rebuild	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (less than 1,000 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (greater than or equal to 1,000 s.f.)	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (less than 150 s.f.)	\$0	\$100	\$100	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (greater than or equal to 150 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Pool/Hot Tub and associated Mechanical Equipment (includes associated deck, patio, walls, walkway, etc.)	\$800	\$400	\$1,200	

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Recreational Court (tennis, basketball, volleyball, etc.) and Associated Utilities	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Deck, porch, patio, pergola	\$200	\$100	\$300	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Walkway, piers, wall, gate	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Fence	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Mechanical Equipment (generator, fuel storage tank, etc.) and Associated Utilities	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Under 250 square feet	\$0	\$0	\$0	See § 355-26C(3). RPRC EXEMPT
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Over 250 square feet	\$400	\$200	\$600	

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Solar Panels	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Stormwater Practice/Drainage Facilities	\$400	\$200	\$600	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	For proposed actions not listed above	\$150	\$75	\$225	per 1,000 s.f. of disturbance or fraction thereof

1. In the event the RPRC determines that Planning Board approval is required, any RPRC Review Fees already paid by the applicant shall be applied towards the escrow review account to be established by the Planning Board.
2. In the event the RPRC determines that an Administrative Wetland Permit is required, an Administrative Wetland Permit application shall be filed with the appropriate fee, as indicated in the Administrative Wetland Permit Fee Schedule.



RPRC

Adam R. Kaufman, Chairman

TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

Telephone: (914) 273-3542

Fax: (914) 273-3554

www.northcastleny.com

**RESIDENTIAL PROJECT REVIEW COMMITTEE
RPRC 2021**

MEETING DATES - 9:30 .a.m.

January 5
January 19
February 2
February 16

March 2
March 16
April 6
April 20

May 4
May 18
June 1
June 15

July 6
July 20
August 3
August 17

September 7
September 21
October 5
October 19

November 2
November 16
December 7
December 21

**1 PDF ELECTRONIC SUBMISSION
DEADLINE By 12:00 p.m.**

December 15, 2020
January 5, 2021
January 19
February 2

February 16
March 2
March 16
April 6

April 20
May 4
May 18
June 1

June 15
July 6
July 20
August 3

August 17
September 7
September 21
October 5

October 19
November 2
November 16
December 7

Submissions shall be made with 1 PDF electronically to planning@northcastleny.com

Please do not submit hard copy of submission

ALL DEADLINES ARE STRICTLY ENFORCED BY ORDER OF THE CHAIRMAN



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Adam R. Kaufman AICP, Chair

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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 8 MEGAN LANE, ARMONK, NY 10504

Section III- DESCRIPTION OF WORK:

DEMO EXIST. BASEMENT, 1ST FLOOR, 2ND FLOOR ACCORDING TO PLANS. CONSTRUCT NEW ADDITIONS & RENOVATION THROUGHOUT. ADDITION TO CONSIST OF 1ST FLOOR KITCHEN/ DINING ROOM, & COMPLETE NEW 2ND FLOOR BEDROOMS, BATHROOMS, ATTIC, & ROOF SYSTEM

Section III- CONTACT INFORMATION:

APPLICANT: ANDREW COLLINGHAM, R.A.

ADDRESS: 74 WESTMORELAND AVE., WHITE PLAINS, NY 10606

PHONE: (888) 422-1422 MOBILE: (914) 527-4708 EMAIL: ACOLLINGHAM@DREWARD.COM

PROPERTY OWNER: PAUL ARCHODIS

ADDRESS: 8 MEGAN LANE, ARMONK, NY 10504

PHONE: MOBILE: EMAIL:

PROFESSIONAL: ANDREW COLLINGHAM, R.A.

ADDRESS: 74 WESTMORELAND AVE., WHITE PLAINS, NY 10606

PHONE: (888) 422-1422 MOBILE: (914) 527-4708

EMAIL: ACOLLINGHAM@DREWARD.COM

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 102.03-1-17



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: PROPOSED LEVEL 2 ALTERATION & ADDITION

Initial Submittal Revised Preliminary

Street Location: 8 MEGAN LANE, ARMONK, NY 10504

Zoning District: R-2A Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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17 Bedford Road
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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: PROPOSED LEVEL 2 ALTERATION & ADDITION Date: 03.27.24

Tax Map Designation or Proposed Lot No.: 102.03-1-17

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 87,213.9 SF
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 13,277 SF
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
29 x 10 = 290 290 SF
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 13,567 SF
5. Amount of lot area covered by **principal building**:
1,454 SF existing + 348 SF proposed = 1,802 SF
6. Amount of lot area covered by **accessory buildings**:
_____ existing + _____ proposed = _____
7. Amount of lot area covered by **decks**:
593 SF existing + 60 SF proposed = 653 SF
8. Amount of lot area covered by **porches**:
249 SF existing + (-) 64 SF proposed = 185 SF
9. Amount of lot area covered by **driveway, parking areas and walkways**:
8,639 SF existing + (-) 2,045 SF proposed = 6,594 SF
10. Amount of lot area covered by **terraces**:
_____ existing + _____ proposed = _____
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
_____ existing + _____ proposed = _____
12. Amount of lot area covered by **all other structures**:
61 SF existing + (-) 61 SF proposed = 0 SF
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 9,234 SF

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

03.27.24

Date



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WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

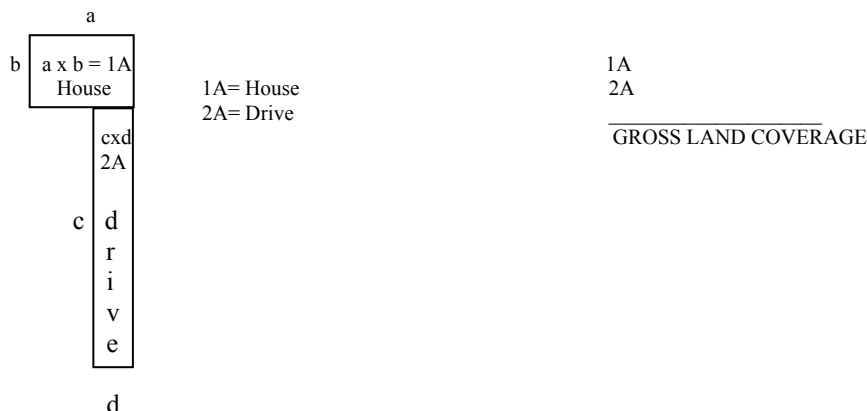
PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: PROPOSED LEVEL 2 ALTERATION Date: 03.27.24
& ADDITION
Tax Map Designation or Proposed Lot No.: 102.03-1-17

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>87,213.9 SF</u>
2.	Maximum permitted floor area (per Section 355-26.B(4)):	<u>10,126 SF</u>
3.	Amount of floor area contained within first floor: - <u>1,454 SF</u> existing + <u>348 SF</u> proposed = -	<u>1,802 SF</u>
4.	Amount of floor area contained within second floor: - <u>504 SF</u> existing + <u>801 SF</u> proposed = -	<u>1,305 SF</u>
5.	Amount of floor area contained within garage: - <u>615 SF</u> existing + <u>(-) 615 SF</u> proposed = -	<u>0 SF</u>
6.	Amount of floor area contained within porches capable of being enclosed: - <u>249 SF</u> existing + <u>(-) 97 SF</u> proposed = -	<u>152 SF</u>
7.	Amount of floor area contained within basement (if applicable – see definition): - _____ existing + _____ proposed = -	_____
8.	Amount of floor area contained within attic (if applicable – see definition): - _____ existing + <u>474 SF</u> proposed = -	<u>474 SF</u>
9.	Amount of floor area contained within all accessory buildings: - _____ existing + _____ proposed = -	_____
10.	Proposed floor area : Total of Lines 3 – 9 = -	<u>3,733 SF</u>

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

03.27.24

Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

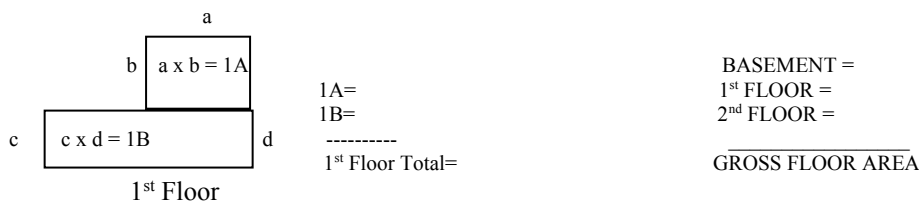
PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



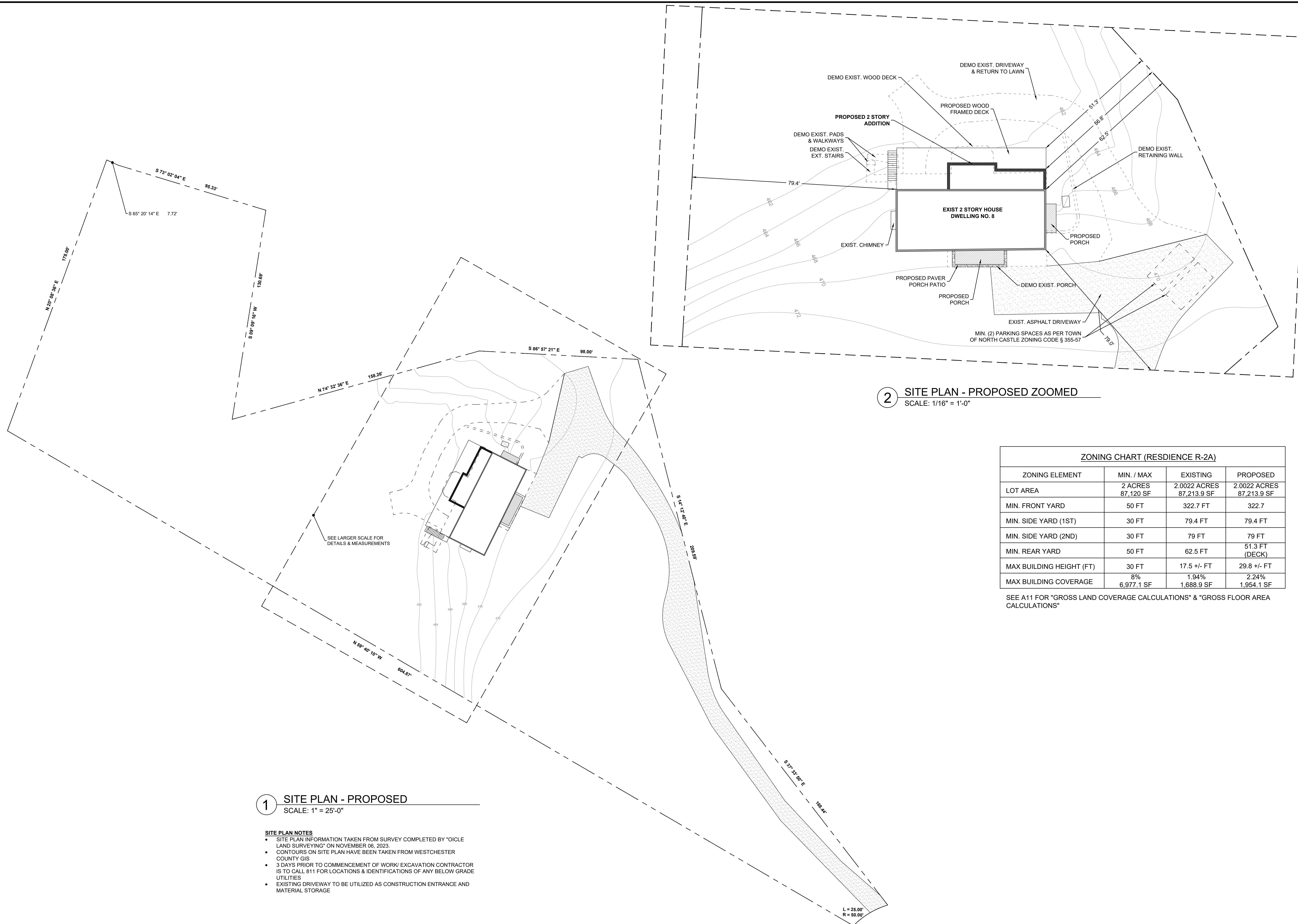
LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.



1 SITE PLAN - PROPOSED
SCALE: 1" = 25'-0"

- SITE PLAN NOTES**
- SITE PLAN INFORMATION TAKEN FROM SURVEY COMPLETED BY "OICLE LAND SURVEYING" ON NOVEMBER 06, 2023.
 - CONTOURS ON SITE PLAN HAVE BEEN TAKEN FROM WESTCHESTER COUNTY GIS
 - 3 DAYS PRIOR TO COMMENCEMENT OF WORK/ EXCAVATION CONTRACTOR IS TO CALL 811 FOR LOCATIONS & IDENTIFICATIONS OF ANY BELOW GRADE UTILITIES
 - EXISTING DRIVEWAY TO BE UTILIZED AS CONSTRUCTION ENTRANCE AND MATERIAL STORAGE

2 SITE PLAN - PROPOSED ZOOMED
SCALE: 1/16" = 1'-0"

ZONING CHART (RESIDENCE R-2A)			
ZONING ELEMENT	MIN. / MAX	EXISTING	PROPOSED
LOT AREA	2 ACRES 87,120 SF	2,0022 ACRES 87,213.9 SF	2,0022 ACRES 87,213.9 SF
MIN. FRONT YARD	50 FT	322.7 FT	322.7
MIN. SIDE YARD (1ST)	30 FT	79.4 FT	79.4 FT
MIN. SIDE YARD (2ND)	30 FT	79 FT	79 FT
MIN. REAR YARD	50 FT	62.5 FT	51.3 FT (DECK)
MAX BUILDING HEIGHT (FT)	30 FT	17.5 +/- FT	29.8 +/- FT
MAX BUILDING COVERAGE	8% 6,977.1 SF	1.94% 1,688.9 SF	2.24% 1,954.1 SF

SEE A11 FOR "GROSS LAND COVERAGE CALCULATIONS" & "GROSS FLOOR AREA CALCULATIONS"

DOCUMENT COPYRIGHT ©
Drawings and specifications are protected by copyright laws and shall remain the property of DREW ARCHITECTURE. Any use or reproduction, in whole or in part, of these documents without written authorization by contract is strictly prohibited.

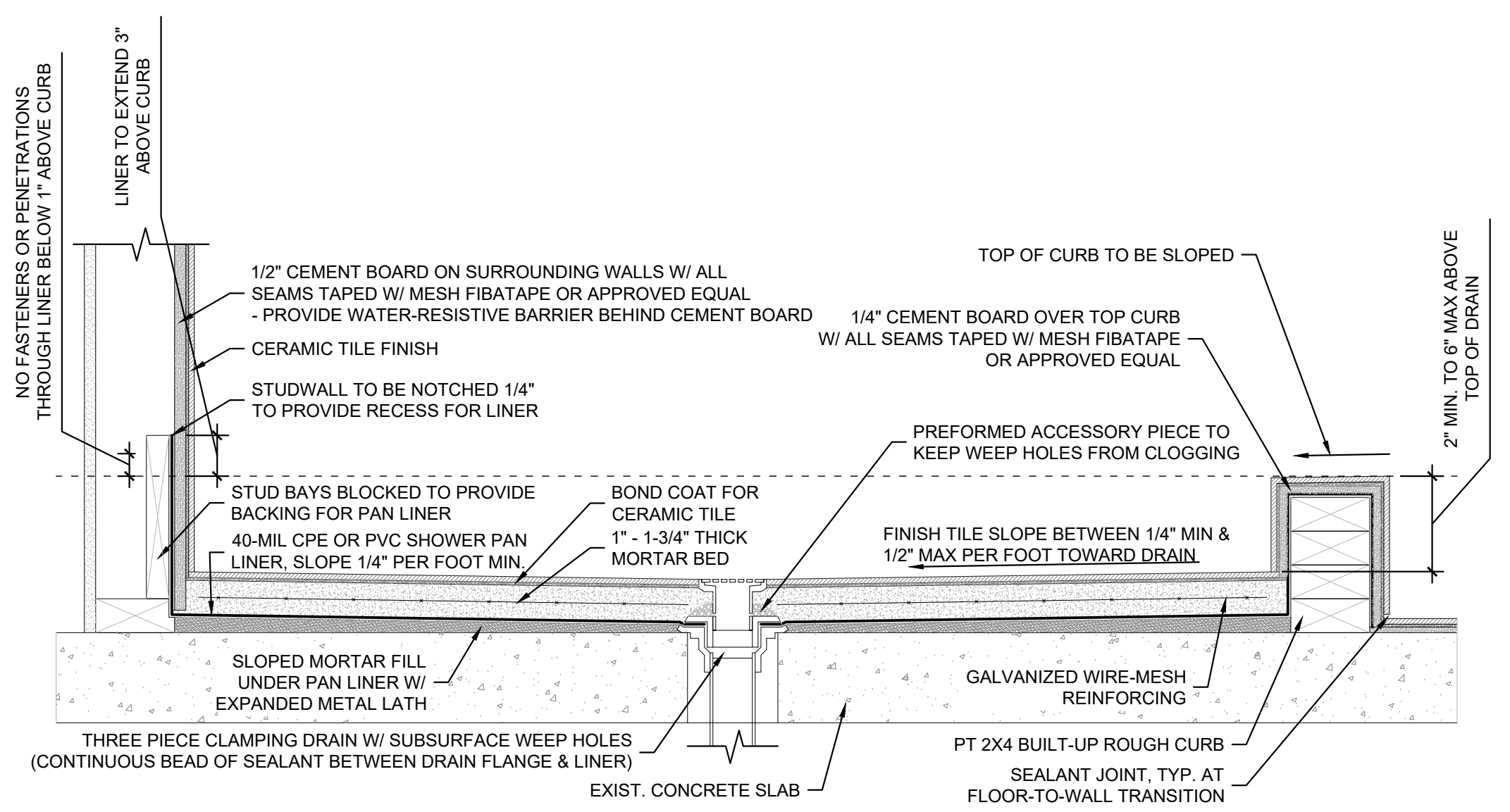
WARNING: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way.



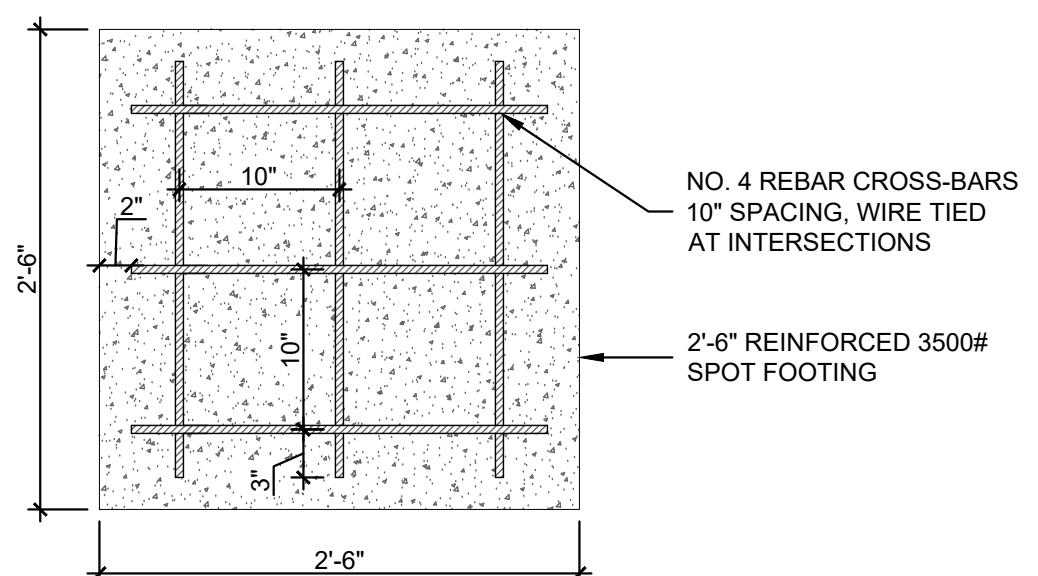
SITE PLAN - PROPOSED
PAUL ARCHODIS
ADDITION / LEVEL II ALTERATION
8 MEGAN LANE
ARMONK, NY 10504

REVISIONS		
No.	Date	Description

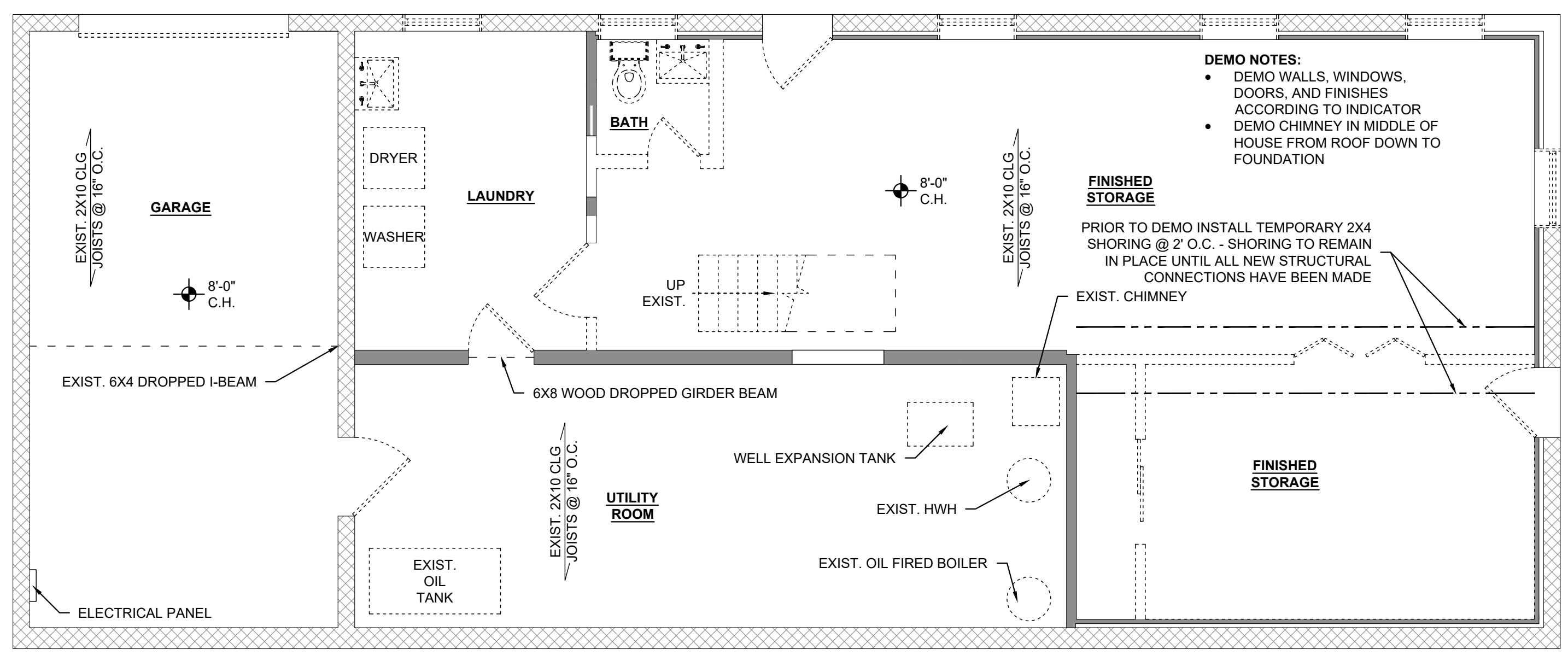
Drawn By: DP Checked By: AC
Scale: AS INDICATED Date: 03/27/2024
Project No.: -
SED/Permit/App. No.: -



3 MUD BED DETAIL
SCALE: 2" = 1'-0"

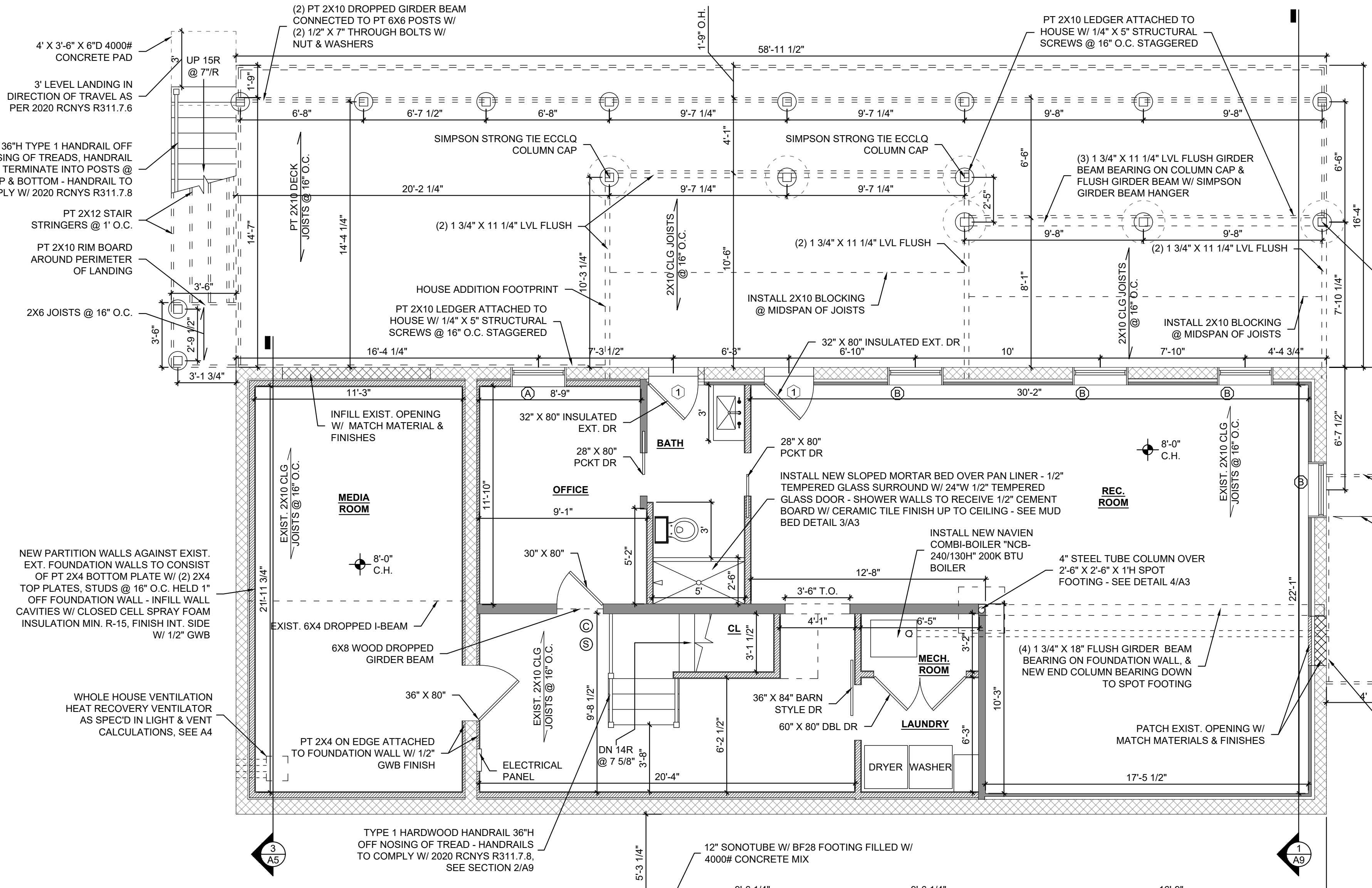


4 SPOT FOOTING DETAIL
SCALE: 1" = 1'-0"



1 BASEMENT FLOOR PLAN - EXISTING
SCALE: 1/4" = 1'-0"

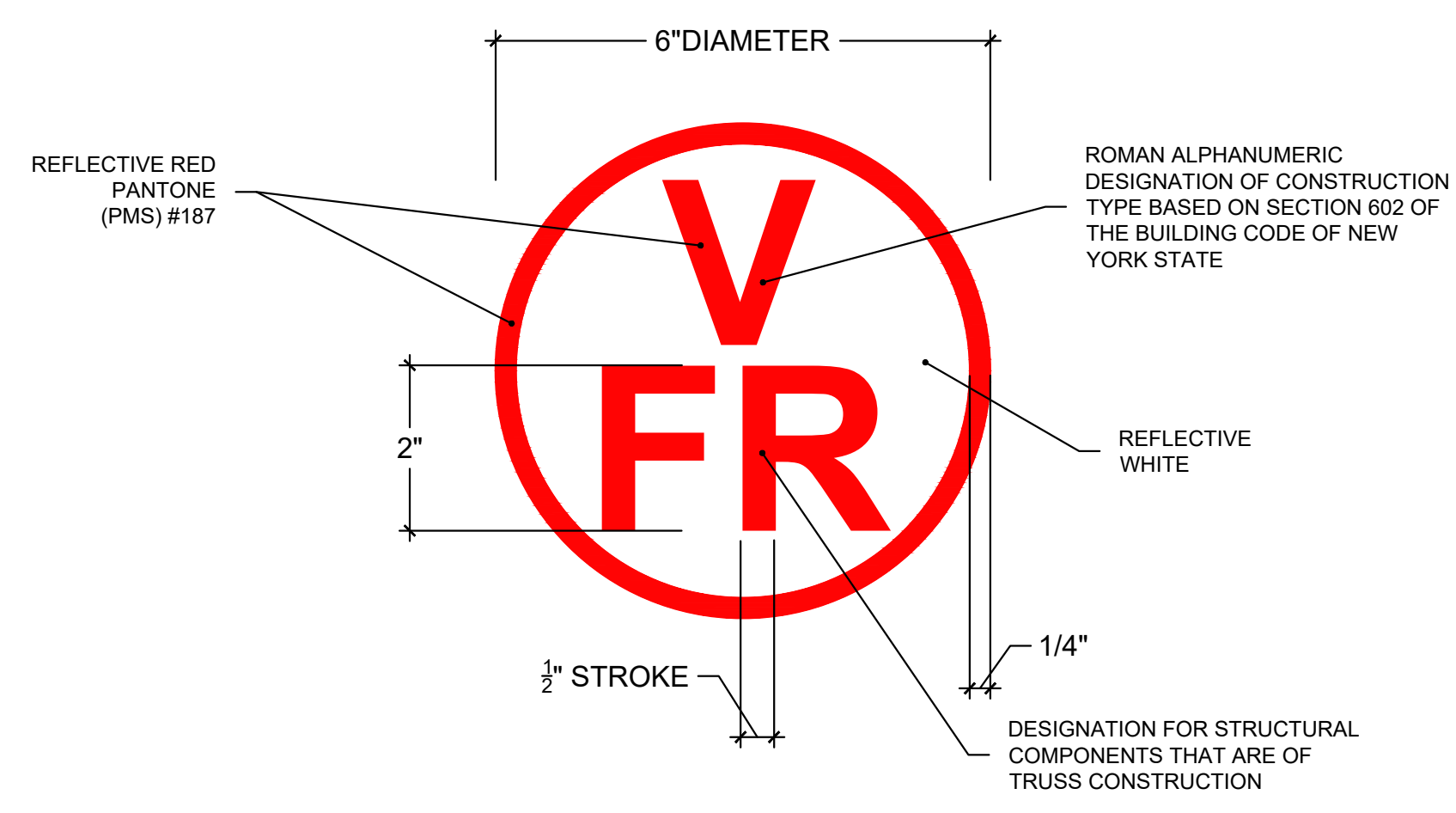
WINDOW & DOOR SCHEDULE	
1	FIBERGLASS ENTRY DOOR • 2'-8" W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
2	FIBERGLASS ENTRY DOOR • DUAL SLIDING PATIO DOOR • 16' W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
3	DUAL SLIDING PATIO DOOR • 16' W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
4	SLIDING PATIO DOOR • 6' W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
5	MULTI-SLIDE PATIO DOOR • 9' W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
6	FIBERGLASS ENTRY DOOR • 3' W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
A	CASEMENT WINDOW • 3' W X 4'-5" H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
B	CASEMENT WINDOW • 3' W X 3' H • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
C	CASEMENT WINDOW (X3 MULLED) • 2'-8" W X 6' H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
D	CASEMENT WINDOW • 2'-8" W X 6' H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
E	CASEMENT WINDOW • 2'-8" W X 4' H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
F	DUAL CASEMENT WINDOW • 6' W X 5' H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
G	CASEMENT WINDOW • 3' W X 5' H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
H	FIXED WINDOW • 5'-7" W X 3'-5" H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
I	FIXED WINDOW (X3 MULLED) • 2'-8" W X 4' H • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
J	DUAL CASEMENT WINDOW • 5'-3" W X 5' H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
K	CASEMENT WINDOW • 2'-8" W X 5' H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
L	DUAL CASEMENT WINDOW • 5'-3" W X 4' H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
M	FIXED WINDOW • 2'-8" W X 2'-5" H ANGLED TOP WINDOW • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32



2 BASEMENT FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

- NOTES:**
- FINISHED AREAS OF BASEMENT TO RECEIVE LVP FLOORING OVER EXIST. CONCRETE SLAB
 - BATHROOM TO RECEIVE CERAMIC TILE FINISH OVER UNCOUPLED MEMBRANE OVER EXIST. CONCRETE SLAB
 - WALLS & CEILINGS THROUGHOUT FINISHED AREAS TO RECEIVE 1/2" GYPSUM BOARD
 - STAIRS & RAILINGS TO BE HARDWOOD AS SELECTED BY OWNER
 - PROPOSED WALLS IN BASEMENT ARE TO BE 2X4 FRAMED (1) PT BOTTOM PLATE & (2) TOP PLATES STUDS @ 16" O.C. - WALL TO BE HELD 1" OFF EXIST. FOUNDATION WALL - CAVITIES TO BE FILLED W/ CLOSED CELL SPRAY FOAM MIN. R-15 DIRECTLY APPLIED TO FOUNDATION WALL - ALL PROPOSED WALLS ARE TO FOLLOW SAME FRAMING COMPONENTS U.O.N.

TRUSS TYPE CONSTRUCTION PLACARD



"F"	FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS
"R"	ROOF FRAMING
"FR"	FLOOR AND ROOF FRAMING

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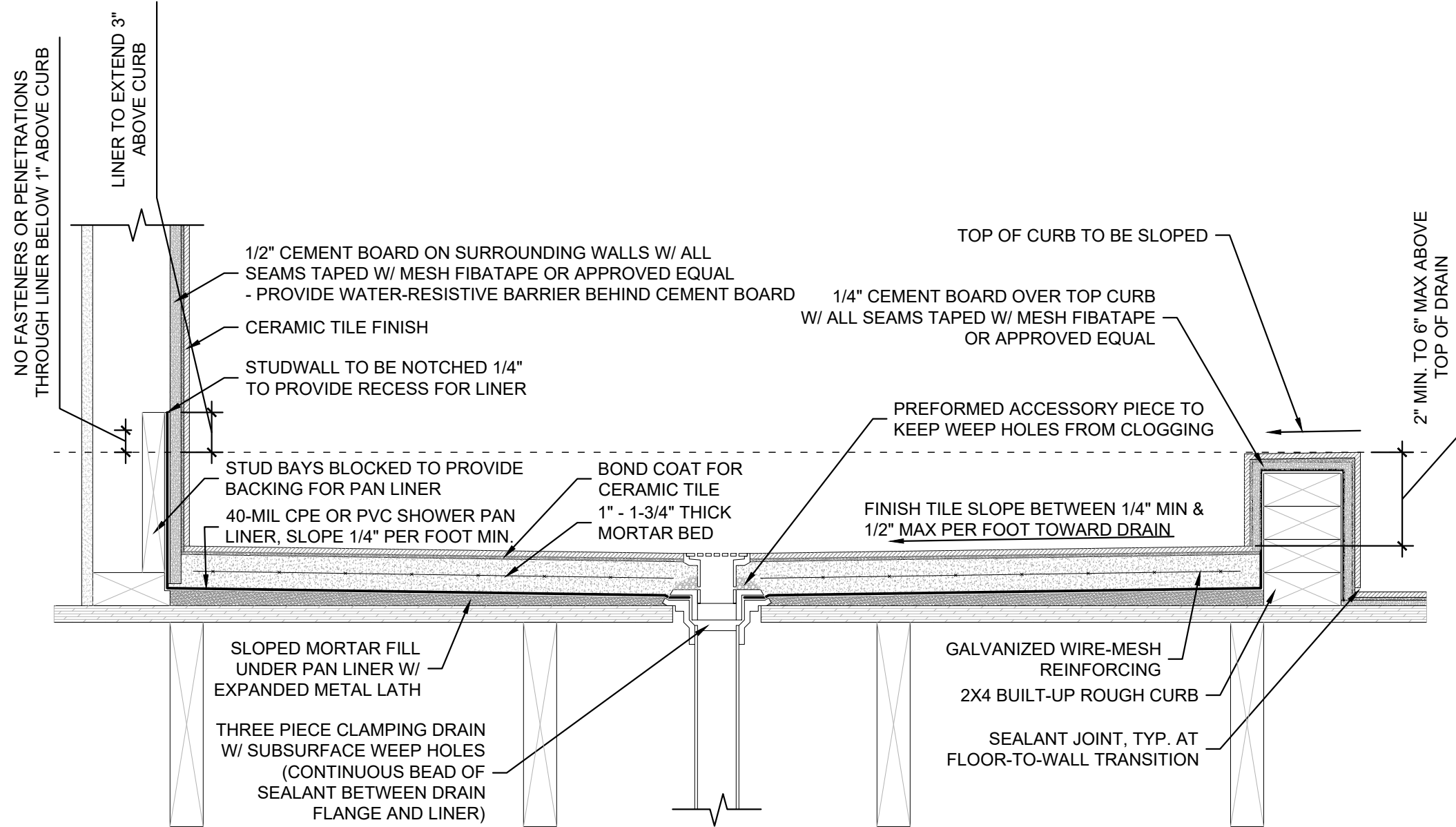
REGISTERED ARCHITECT
PAUL ARCHODIS
ANDREW PAUL COLUMBA
STATE OF NEW YORK
038892

BASEMENT FLOOR PLAN - EXISTING / PROPOSED
ADDITION / LEVEL II ALTERATION
8 MEGAN LANE
ARMONK, NY 10504

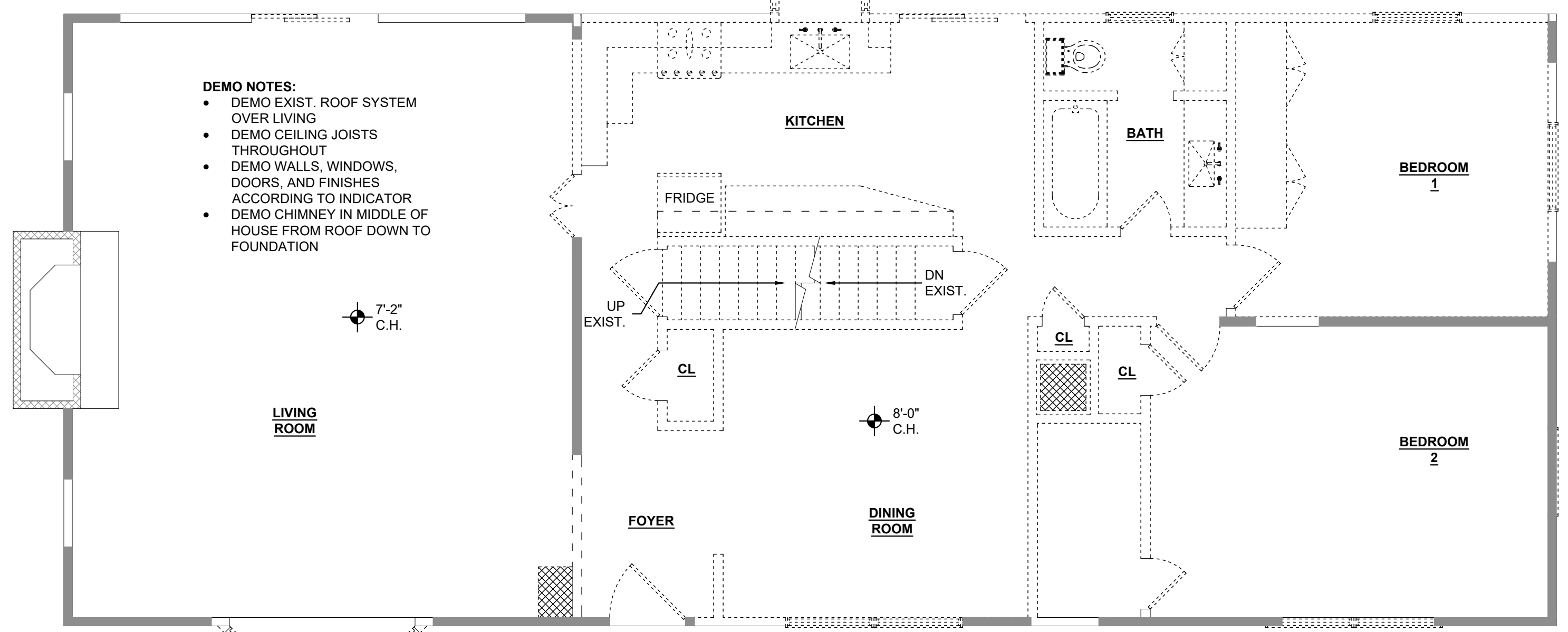
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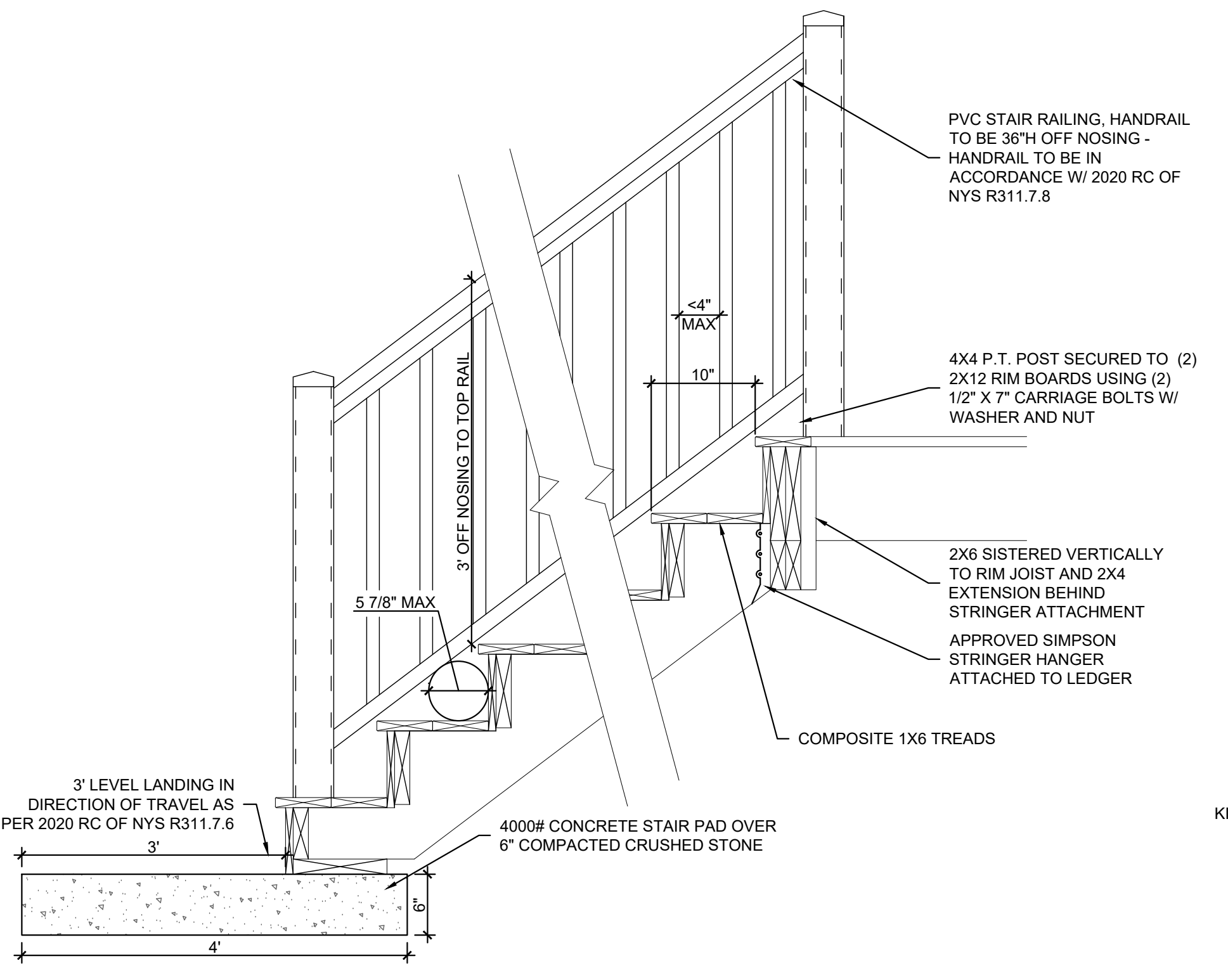
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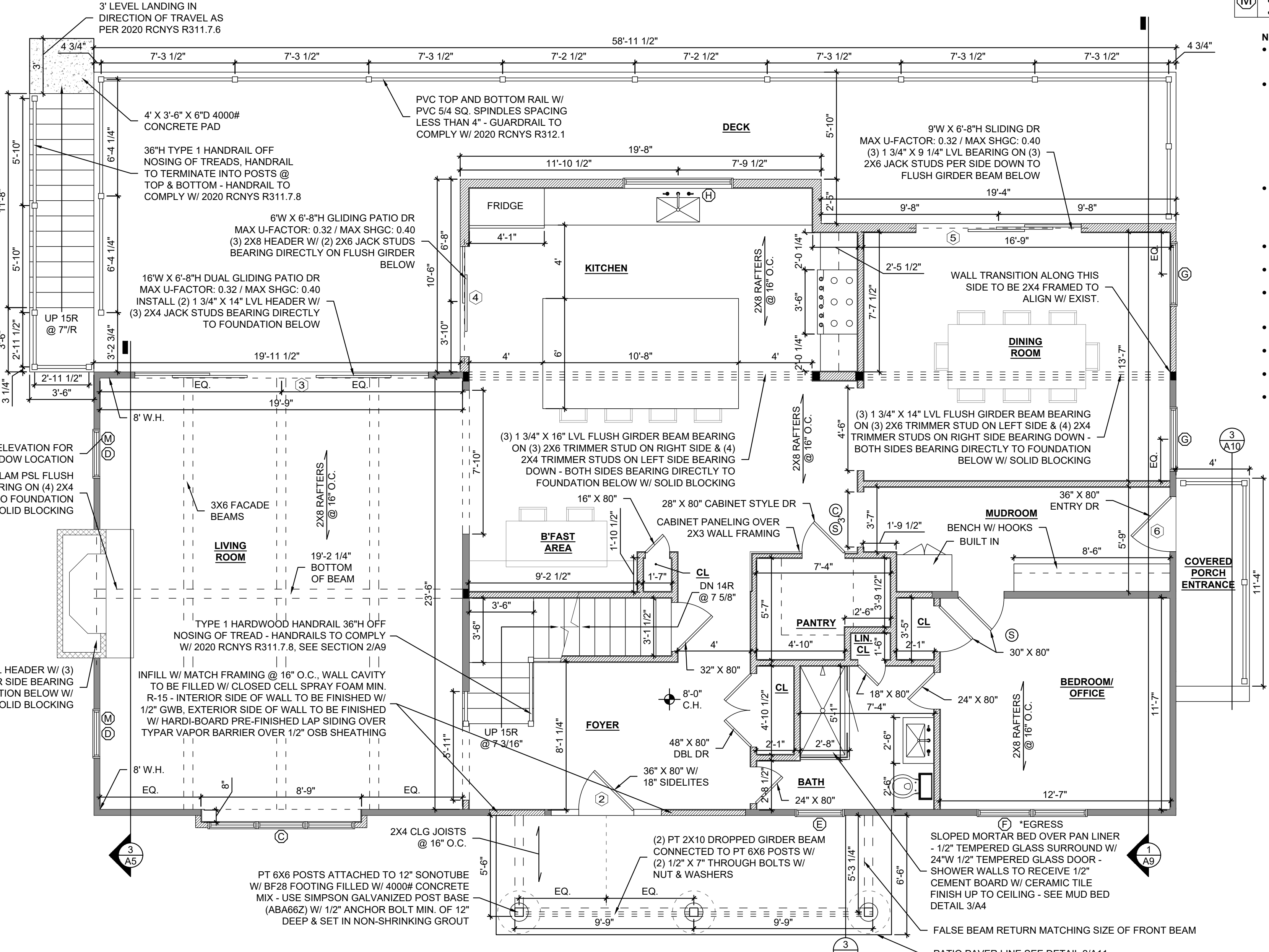
3 MUD BED DETAIL
SCALE: 2" = 1'-0"



1 1ST FLOOR PLAN - EXISTING
SCALE: 1/4" = 1'-0"



4 EXT. STAIR SECTION - TYPICAL
SCALE: 1" = 1'-0"



2 1ST FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

DEMO NOTES:

- DEMO EXIST. ROOF SYSTEM OVER LIVING THROUGHOUT
- DEMO CEILING JOISTS THROUGHOUT
- DEMO WALLS, WINDOWS, DOORS, AND FINISHES ACCORDING TO INDICATOR
- DEMO CHIMNEY IN MIDDLE OF HOUSE FROM ROOF DOWN TO FOUNDATION

WINDOW & DOOR SCHEDULE	
1	• FIBERGLASS ENTRY DOOR • 2'-8" W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
2	• FIBERGLASS ENTRY DOOR • 3' W X 6'-8" H DOOR W/ DUAL 1'-6" SIDELITES • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
3	• DUAL SLIDING PATIO DOOR • 16' W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
4	• SLIDING PATIO DOOR • 6' W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
5	• MULTI-SLIDE PATIO DOOR • 9' W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
6	• FIBERGLASS ENTRY DOOR • 3' W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
A	• CASEMENT WINDOW • 3' W X 4'-5" H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
B	• CASEMENT WINDOW • 3' W X 3' H • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
C	• CASEMENT WINDOW (X3 MULLED) • 2'-8" W X 6' H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
D	• CASEMENT WINDOW • 2'-8" W X 6' H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
E	• CASEMENT WINDOW • 2'-8" W X 4' H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
F	• DUAL CASEMENT WINDOW • 6' W X 5' H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
G	• CASEMENT WINDOW • 3' W X 5' H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
H	• FIXED WINDOW • 5'-7" W X 3'-5" H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
I	• FIXED WINDOW (X3 MULLED) • 2'-8" W X 4' H • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
J	• DUAL CASEMENT WINDOW • 5'-3" W X 5' H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
K	• CASEMENT WINDOW • 2'-8" W X 5' H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
L	• DUAL CASEMENT WINDOW • 5'-3" W X 4' H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
M	• FIXED WINDOW • 2'-8" W X 2'-5" H ANGLED TOP WINDOW • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32

NOTES:

- EXISTING EXT. 2X4 FRAMED WALLS ARE TO BE FILLED W/ CLOSED CELL SPRAY FOAM MIN. R-21 - INTERIOR FINISHES TO BE 1/2" GWB U.O.N.
- PROPOSED EXT. WALLS TO BE 2X6 FRAMED W/ (1) BOTTOM & (2) TOP PLATES W/ STUDS @ 16" O.C. - INFILL CAVITIES W/ OPEN CELL SPRAY FOAM ACHIEVING MIN. R-21 - EXTERIOR OF WALLS TO BE FINISHED W/ "HARDIE" SIDING AS SPECIFIED ON ELEVATIONS OVER TYPAR VAPOR BARRIER OVER 1/2" OSB SHEATHING - INT. SIDE OF WALL TO BE FINISHED W/ 1/2" GWB U.O.N.
- ALL PROPOSED INT. PARTITION WALLS TO BE FRAMED W/ 2X4 FRAMING (1) BOTTOM & (2) TOP PLATES W/ STUDS @ 16" O.C. U.O.N. - BOTH SIDES OF WALL TO BE FINISHED W/ 1/2" GWB U.O.N.
- FINISHED FLOORS THROUGHOUT ARE TO BE HARDWOOD U.O.N.
- WALLS & CEILINGS THROUGHOUT TO RECEIVE 1/2" GYPSUM BOARD U.O.N.
- BATHROOM FLOORS TO RECEIVE CERAMIC TILE FINISH OVER 1/4" CEMENT BOARD OVER EXIST. SUB-FLOOR
- BATHROOM WALLS & CEILING TO RECEIVE 1/2" TYPE MR GYPSUM BOARD
- STAIRS & RAILINGS TO BE HARDWOOD AS SELECTED BY OWNER
- DECK FINISH TO BE COMPOSITE AS SELECTED BY OWNER
- DECK RAILINGS TO BE PVC AS SELECTED BY OWNER

STRUCTURAL HEADER NOTES:

- LVL WINDOW/ DOOR HEADERS TO HAVE A MIN. OF (3) JACK STUDS PER SIDE
- COMMODITY LUMBER HEADERS TO HAVE A MIN. OF (2) JACKS STUDS PER SIDE FOR OPENING LESS THAN 5'-0" OPENINGS GREATER THAN 5'-0" TO HAVE A MIN OF (3) JACK STUDS PER SIDE
- R.O. LENGTHS UP TO 3'-6" SHALL BE CONSTRUCTED OF (3) 2X8 (WALLS FRAMED W/ 2X4 SHALL USE (2) 2X8)
- R.O. LENGTHS FROM 3'-6" TO 6" SHALL BE CONSTRUCTED OF (3) 2X10 (WALLS FRAMED W/ 2X4 SHALL USE (2) 2X10)
- ANY NON-DESIGNATED DOOR HEADERS TO BE MIN. OF (2) 2X4 HEADERS FOR OPENING UNDER 4'-0" AND MIN. OF (2) 2X6 HEADERS FOR OPENINGS OVER 4'-0" U.O.N. HEADERS ON EXTERIOR WALLS TO BE INSULATED W/ RIGID INSULATION IF ALLOWABLE SPACE IS PERMITTED

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REGISTERED ARCHITECT
PAUL ARCHODIS
STATE OF NEW YORK
No. 038892

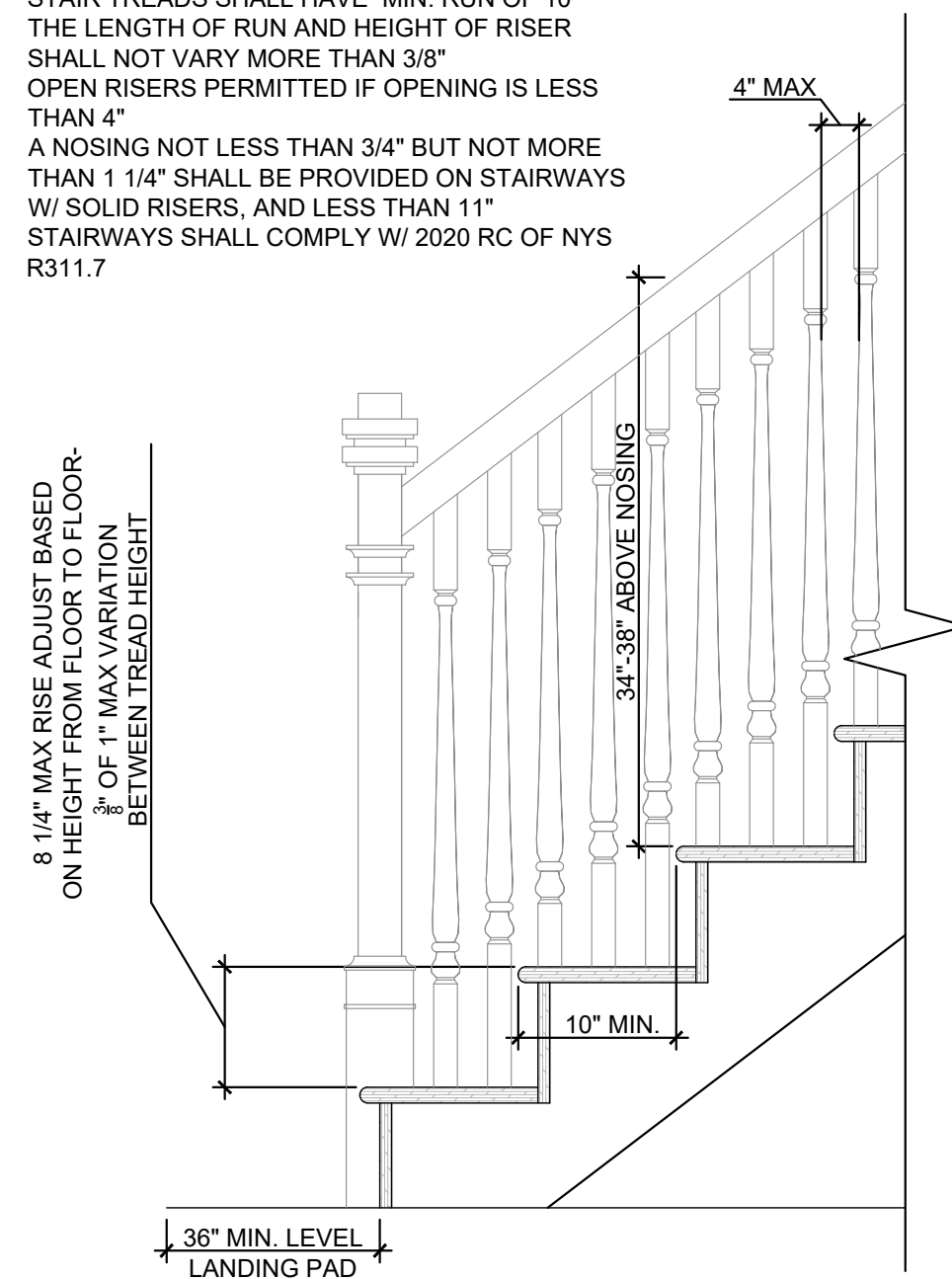
1ST FLOOR PLAN - EXISTING/ PROPOSED
PAUL ARCHODIS
ADDITION / LEVEL II ALTERATION
8 MEGAN LANE
ARMONK, NY 10504

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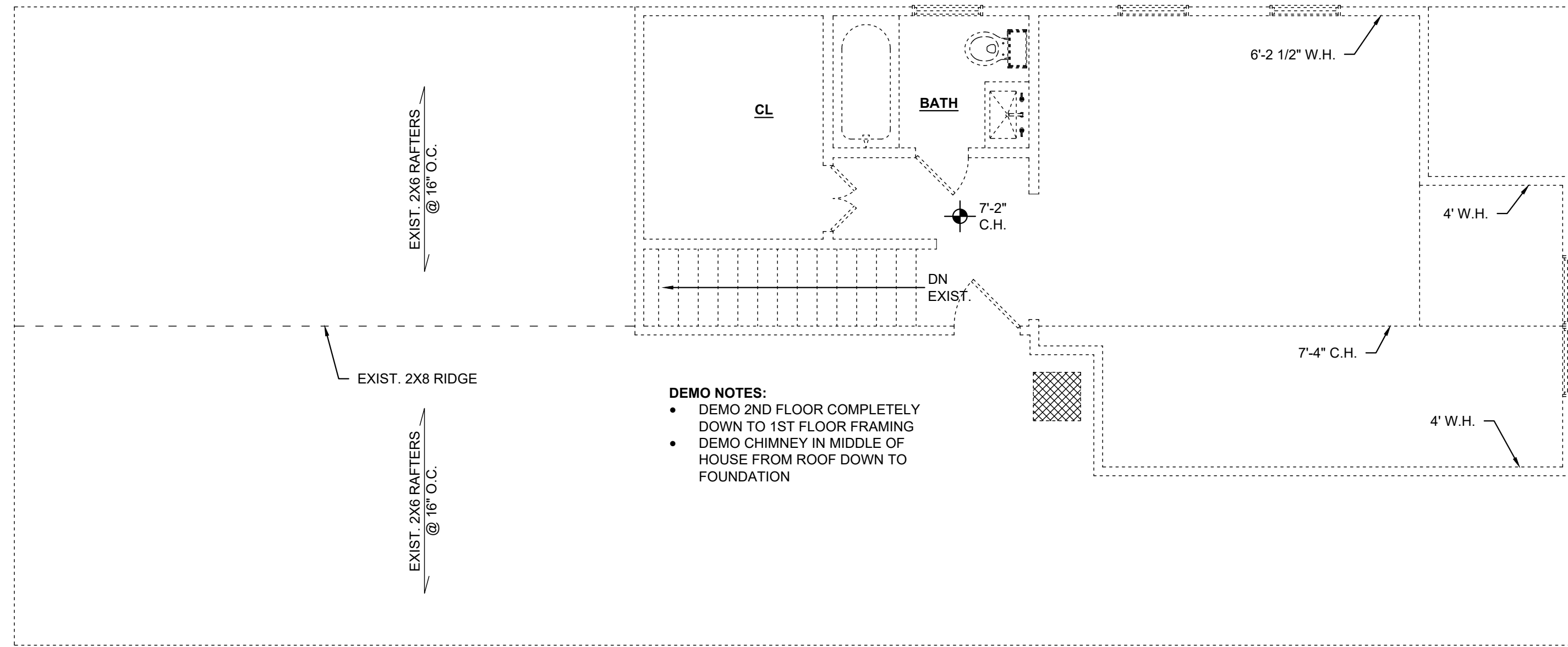
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WINDOW & DOOR SCHEDULE	
①	FIBERGLASS ENTRY DOOR • 2'-8" W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
②	FIBERGLASS ENTRY DOOR • 3' W X 6'-8" H DOOR W/ DUAL 1'-6" SIDELITES • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
③	DUAL SLIDING PATIO DOOR • 16' W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
④	SLIDING PATIO DOOR • 6' W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
⑤	MULTI-SLIDE PATIO DOOR • 9' W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
⑥	FIBERGLASS ENTRY DOOR • 3' W X 6'-8" H DOOR • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
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B	CASEMENT WINDOW • 3' W X 3' H
C	CASEMENT WINDOW (X3 MULLED) • 2'-8" W X 6' H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
D	CASEMENT WINDOW • 2'-8" W X 6' H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
E	CASEMENT WINDOW • 2'-8" W X 4' H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
F	DUAL CASEMENT WINDOW • 6' W X 5' H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
G	CASEMENT WINDOW • 3' W X 5' H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
H	FIXED WINDOW • 5'-7" W X 3'-5" H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
I	FIXED WINDOW (X3 MULLED) • 2'-8" W X 4' H • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
J	DUAL CASEMENT WINDOW • 5'-3" W X 5' H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
K	CASEMENT WINDOW • 2'-8" W X 5' H *MEETS EGRESS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
L	DUAL CASEMENT WINDOW • 5'-3" W X 4' H *TEMPERED GLASS • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
M	FIXED WINDOW • 2'-8" W X 2'-5" H ANGLED TOP WINDOW • MAX SHGC - 0.40 / MAX U-FACTOR - 0.32

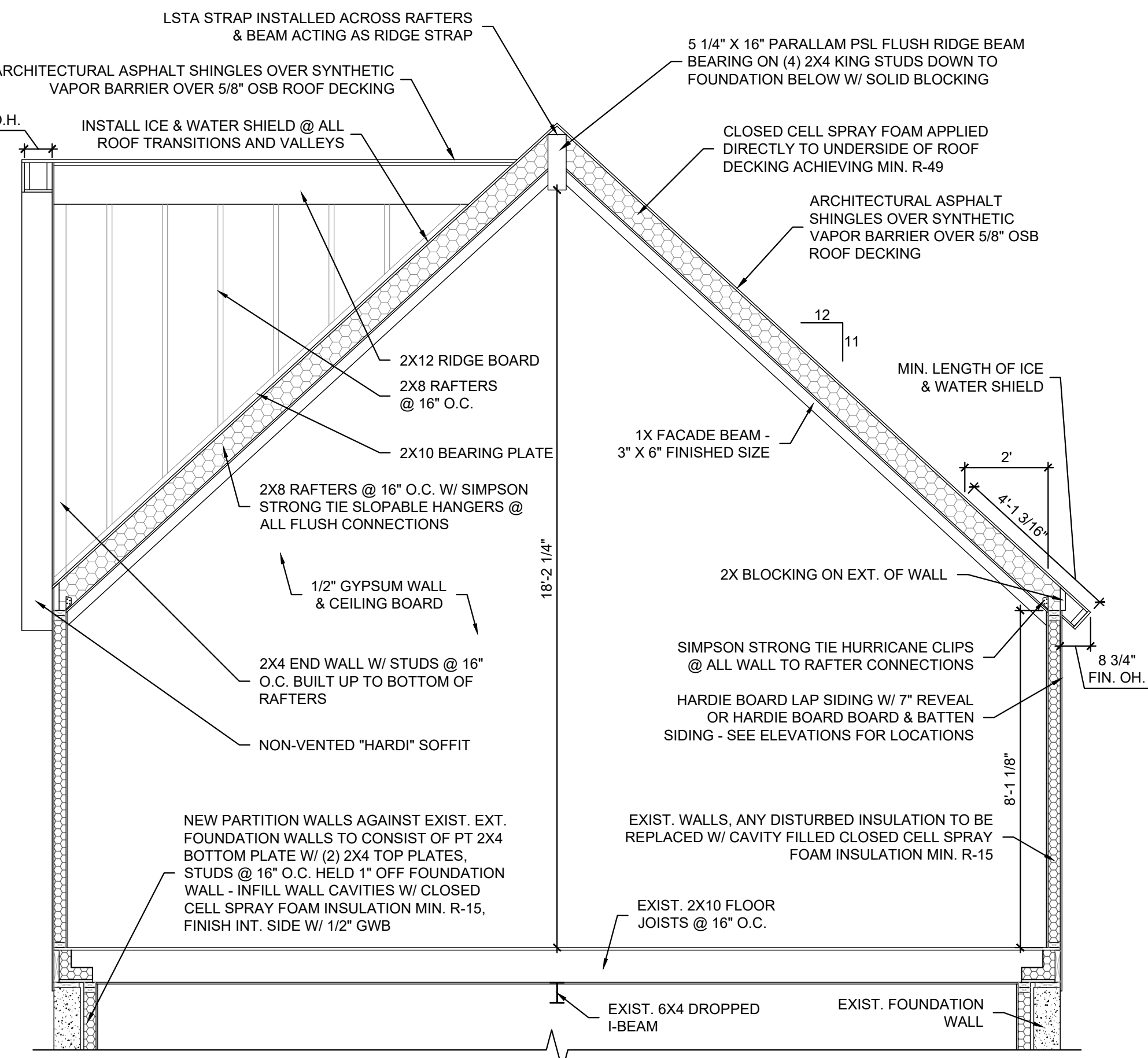
- STAIRWAY NOTES:
1. STAIRWAY SHALL BE NOT LESS THAN 36" IN WIDTH
 2. STAIR RISERS SHALL NOT BE GREATER THAN 8 1/4"
 3. STAIR TREADS SHALL HAVE MIN. RUN OF 10"
 4. THE LENGTH OF RUN AND HEIGHT OF RISER SHALL NOT VARY MORE THAN 3/8"
 5. OPEN RISERS PERMITTED IF OPENING IS LESS THAN 4"
 6. A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS W/ SOLID RISERS, AND LESS THAN 11"
 7. STAIRWAYS SHALL COMPLY W/ 2020 RC OF NYS R311.7



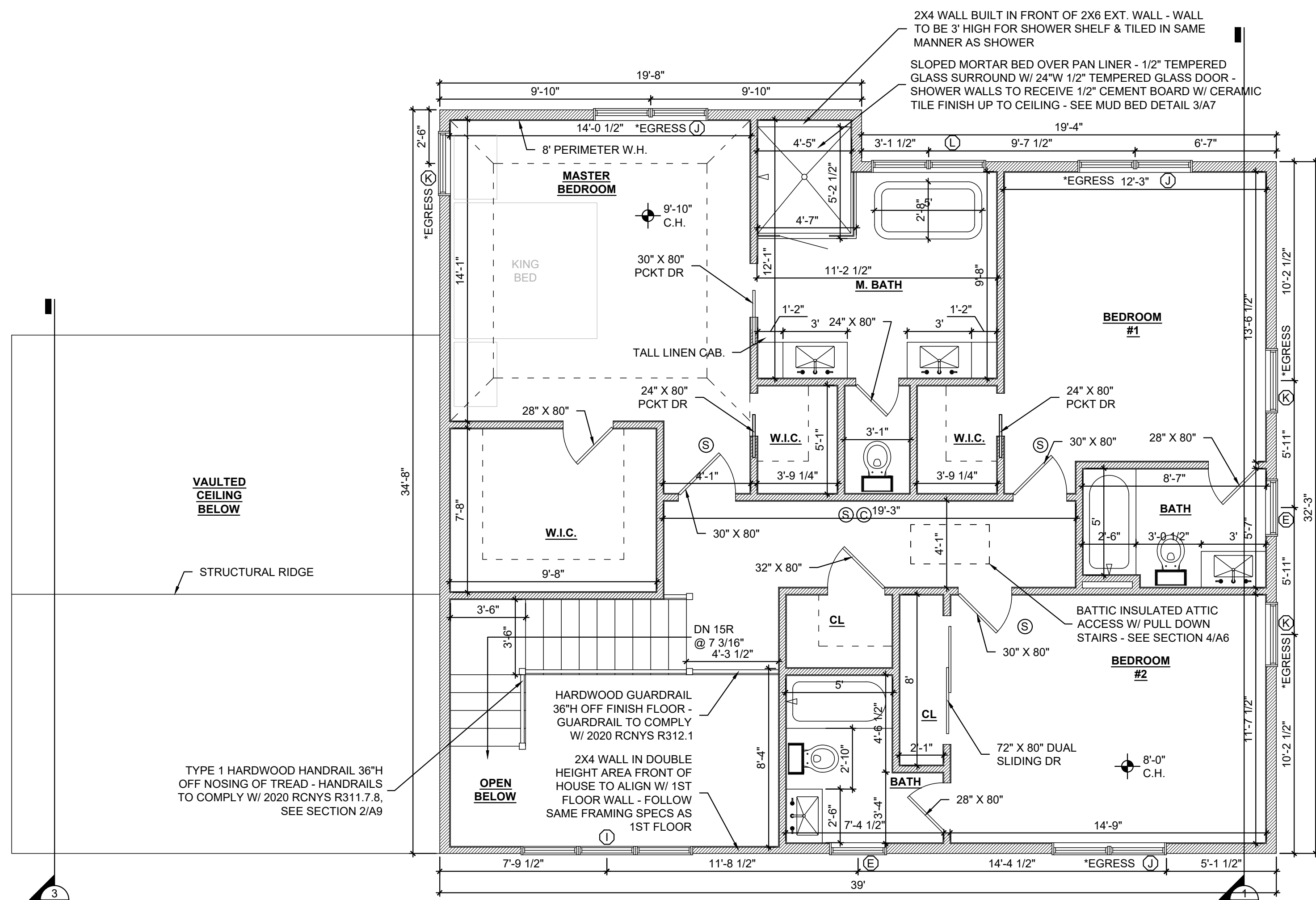
4 INT. STAIR SECTION - TYPICAL
SCALE: 1" = 1'-0"



1 2ND FLOOR PLAN - EXISTING
SCALE: 1/4" = 1'-0"



3 SECTION
SCALE: 3/8" = 1'-0"



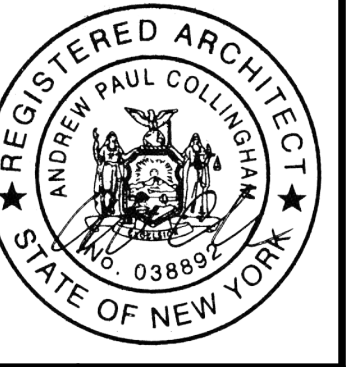
2 2ND FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

- STRUCTURAL HEADER NOTES:
- LVL WINDOW/DOOR HEADERS TO HAVE A MIN. OF (3) JACK STUDS PER SIDE
 - COMMODITY LUMBER HEADERS TO HAVE A MIN. OF (2) JACK STUDS PER SIDE FOR OPENING LESS THAN 5'-0" OPENINGS GREATER THAN 5'-0" TO HAVE A MIN OF (3) JACK STUDS PER SIDE
 - R.O. LENGTHS UP TO 3'-6" SHALL BE CONSTRUCTED OF (3) 2X8 WALLS FRAMED W/ 2X4 SHALL USE (2) 2X8
 - R.O. LENGTHS FROM 3'-6" TO 6' SHALL BE CONSTRUCTED OF (3) 2X10 WALLS FRAMED W/ 2X4 SHALL USE (2) 2X10
 - ANY NON-DESIGNATED DOOR HEADERS TO BE MIN. OF (2) 2X4 HEADERS FOR OPENING UNDER 4'-0" AND MIN. OF (2) 2X8 HEADERS FOR OPENINGS OVER 4'-0" U.O.N.
 - HEADERS ON EXTERIOR WALLS TO BE INSULATED W/ RIGID INSULATION IF ALLOWABLE SPACE IS PERMITTED

- NOTES:
- PROPOSED EXT. WALLS TO BE 2X6 FRAMED W/ (1) BOTTOM & (2) TOP PLATES W/ STUDS @ 16" O.C. - INFILL CAVITIES W/ OPEN CELL SPRAY FOAM ACHIEVING MIN. R-21 - EXTERIOR OF WALLS TO BE FINISHED W/ "HARDIE" SIDING AS SPECIFIED ON ELEVATIONS OVER TYPAR VAPOR BARRIER OVER 1/2" OSB SHEATHING - INT. SIDE OF WALL TO BE FINISHED W/ 1/2" GWB U.O.N.
 - ALL PROPOSED INT. PARTITION WALLS TO BE FRAMED W/ 2X4 FRAMING (1) BOTTOM & (2) TOP PLATES W/ STUDS @ 16" O.C. U.O.N. - BOTH SIDES OF WALL TO BE FINISHED W/ 1/2" GWB U.O.N.
 - FINISHED FLOORS THROUGHOUT ARE TO BE HARDWOOD U.O.N.
 - WALLS & CEILINGS THROUGHOUT TO RECEIVE 1/2" GYPSUM BOARD U.O.N.
 - BATHROOM FLOORS TO RECEIVE CERAMIC TILE FINISH OVER 1/4" CEMENT BOARD OVER EXIST. SUB-FLOOR
 - TUB WALLS TO RECEIVE CERAMIC TILE FINISH UP TO CEILING OVER 1/2" CEMENT BOARD
 - BATHROOM WALLS & CEILING TO RECEIVE 1/2" TYPE MR GYPSUM BOARD
 - STAIRS & RAILINGS TO BE HARDWOOD AS SELECTED BY OWNER

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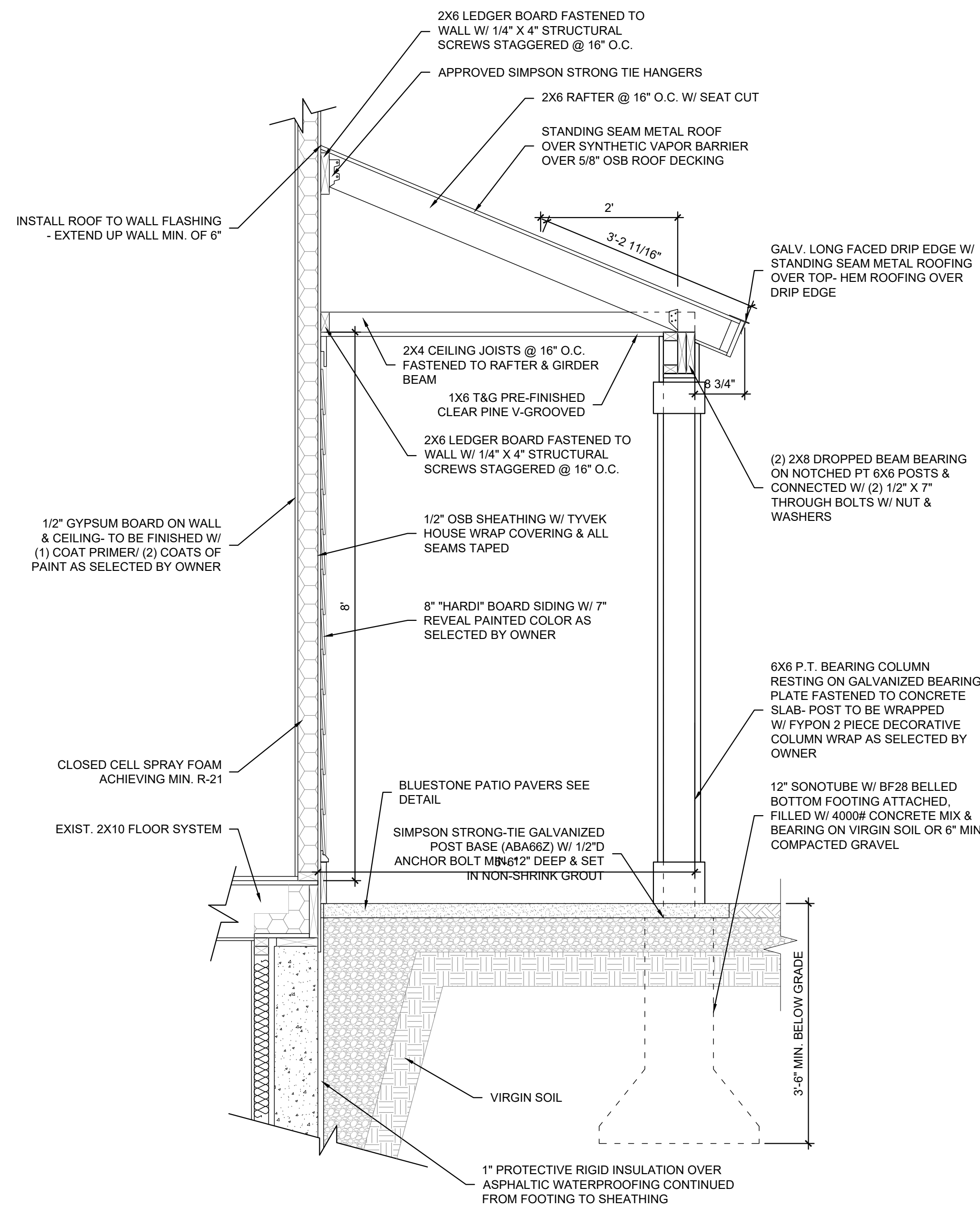
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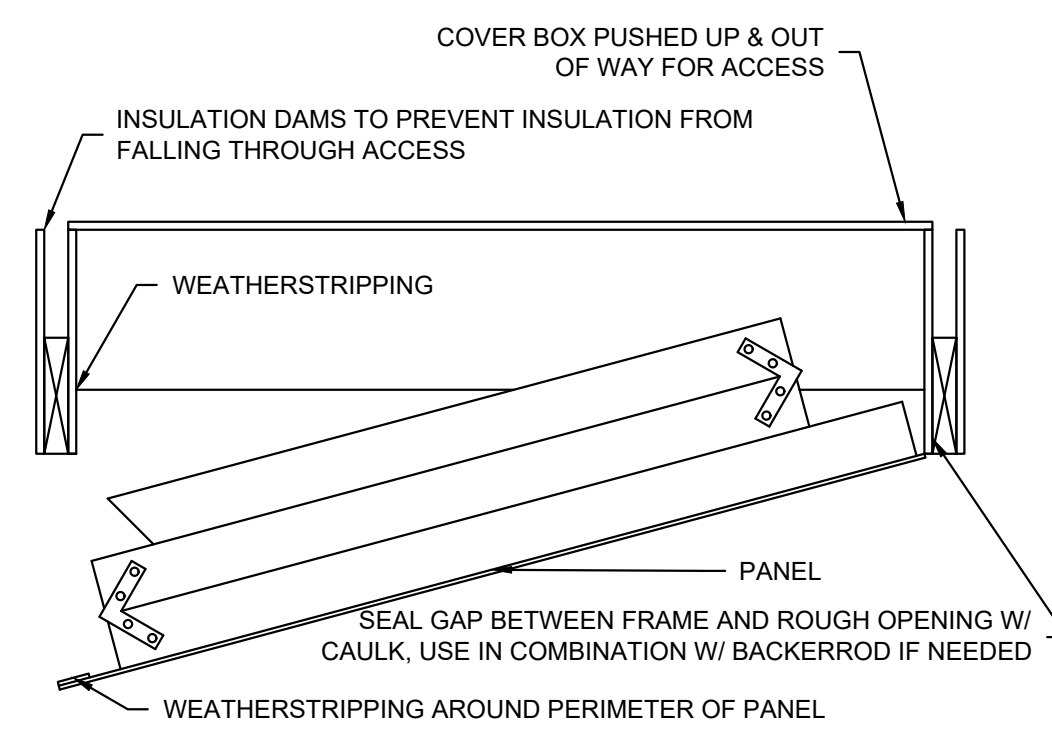
2ND FLOOR PLAN - EXISTING/ PROPOSED, SECTION
PAUL ARCHODIS
ADDITION / LEVEL II ALTERATION
8 MEGAN LANE
ARMONK, NY 10504

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3 PORCH SECTION
SCALE: 3/4" = 1'-0"



4 ATTIC ACCESS SECTION
SCALE: 1" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

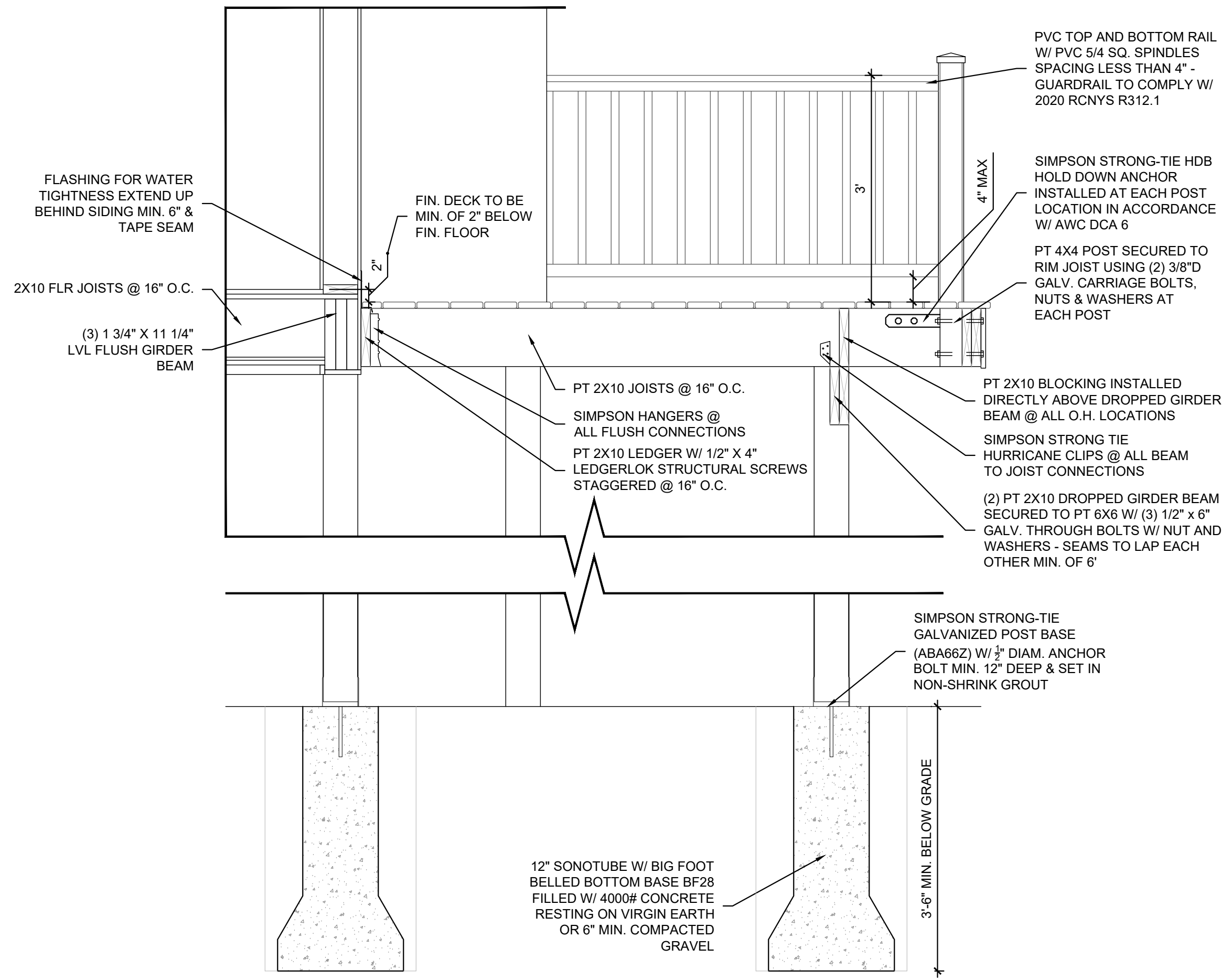


2 REAR ELEVATION
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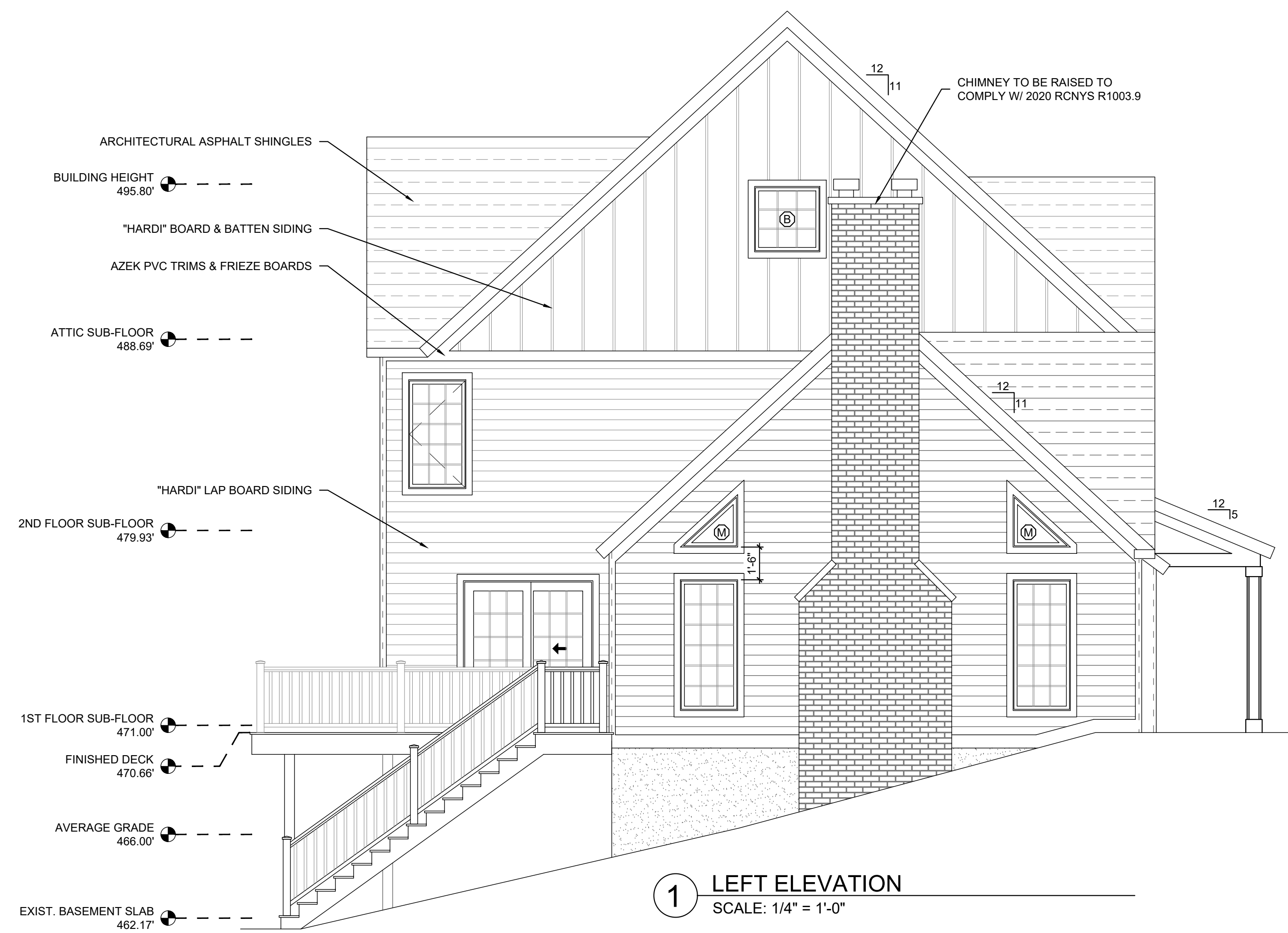
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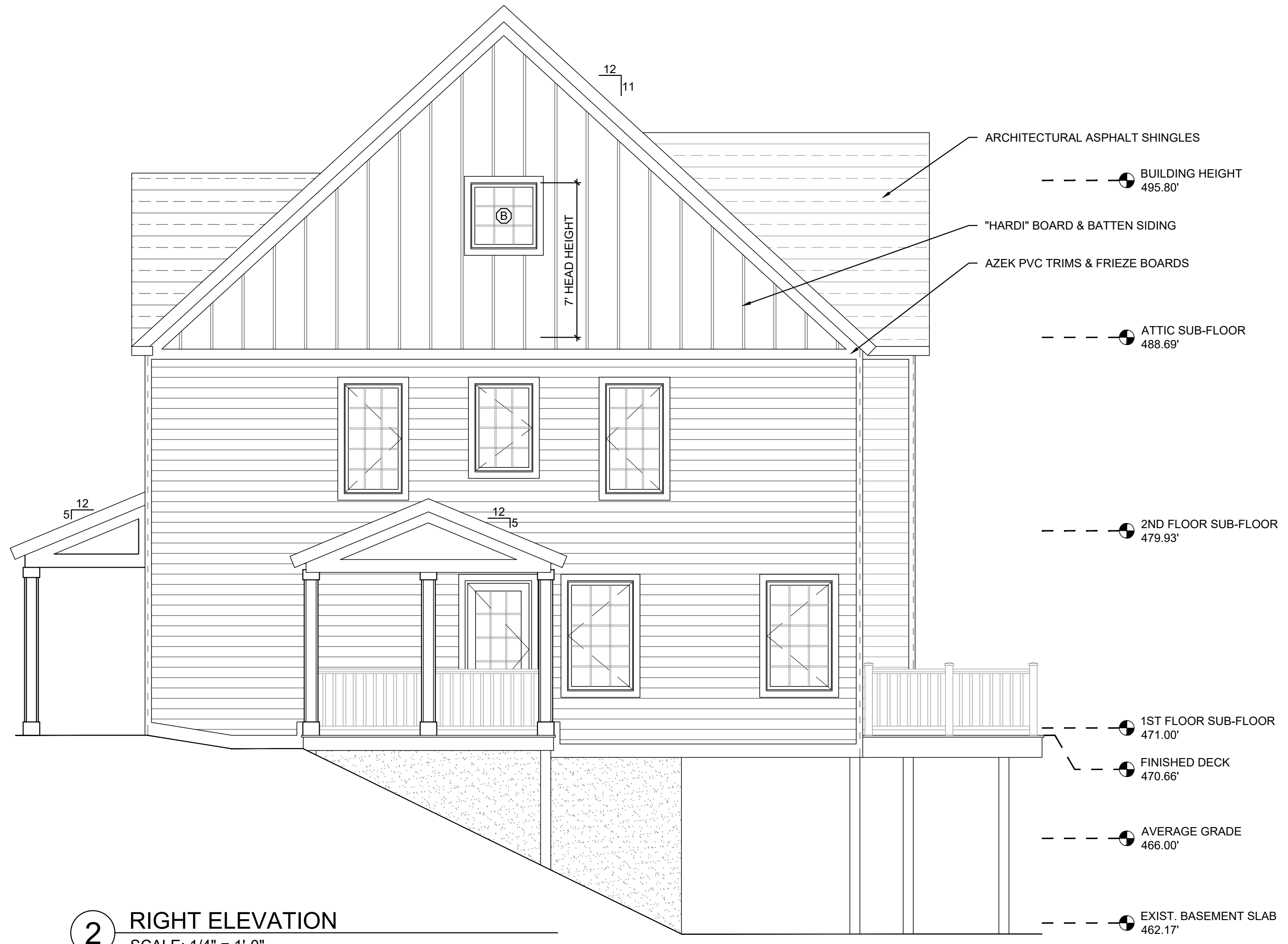
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3 DECK SECTION
SCALE: 3/4" = 1'-0"



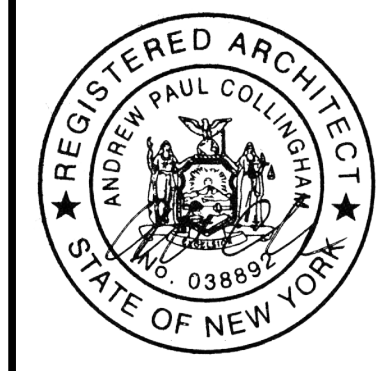
1 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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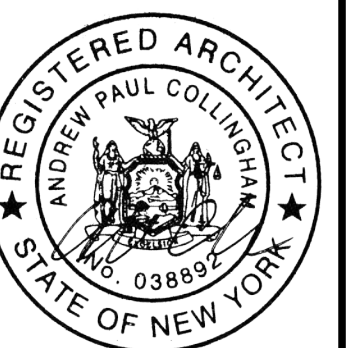
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LEFT ELEVATION, RIGHT ELEVATION, SECTION
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8 MEGAN LANE
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Sheet No.: A7



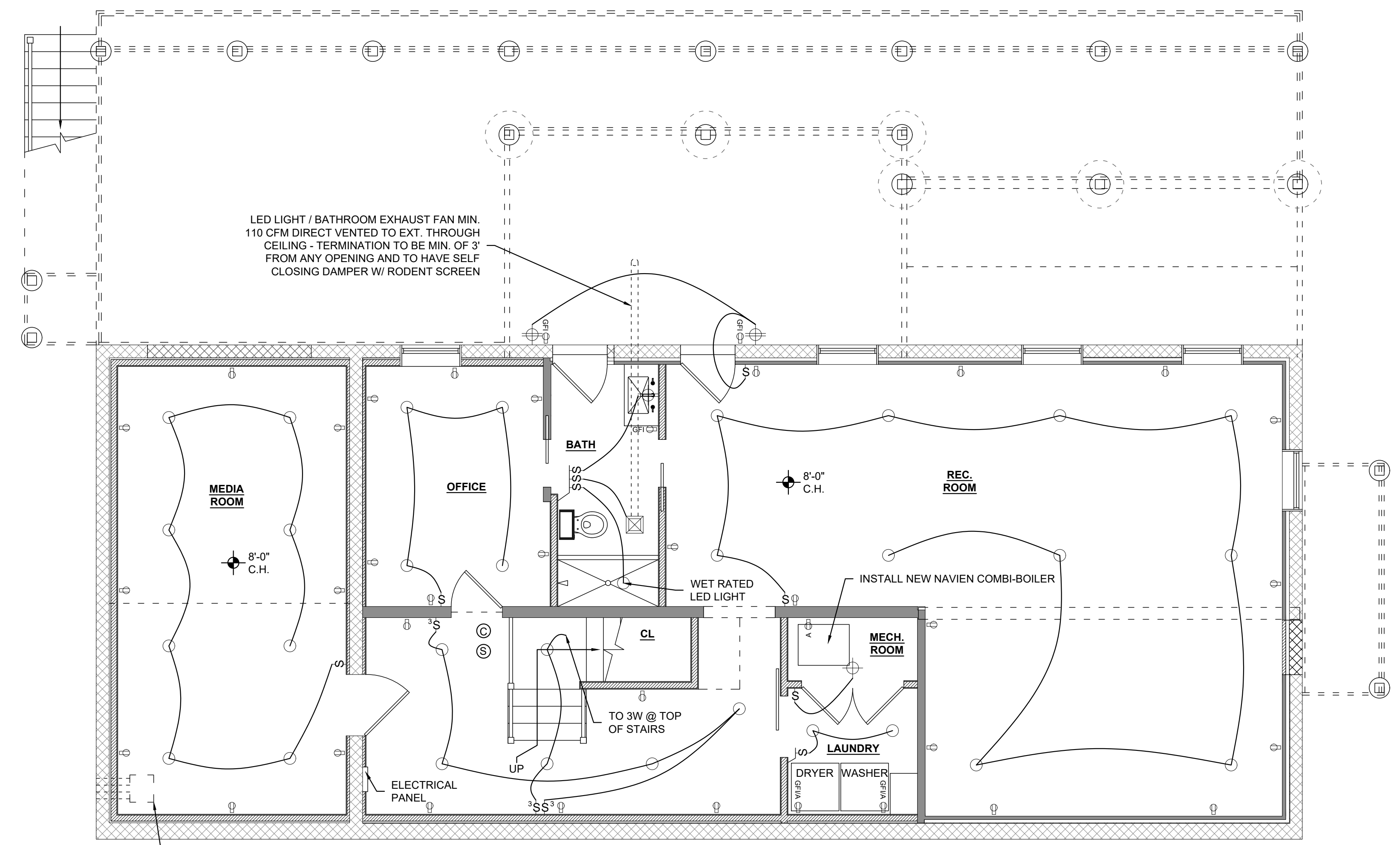
**BUILDING SECTION,
BASEMENT ELECTRICAL PLAN**
PAUL ARCHODIS
ADDITION / LEVEL II ALTERATION
8 MEGAN LANE
ARMONK, NY 10504

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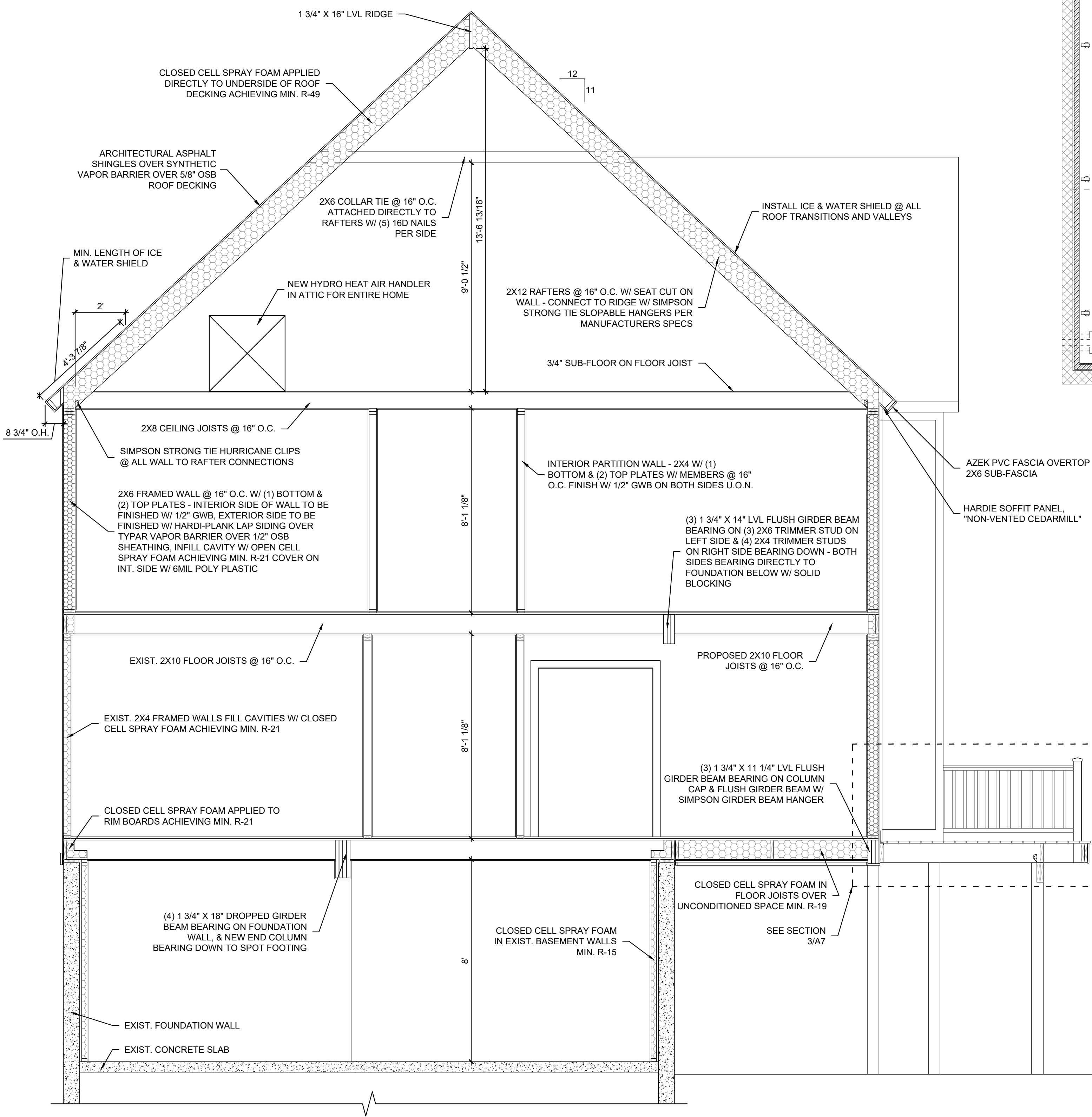


2 BASEMENT ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

Room	Light & Ventilation Requirements	Proposed Light	Proposed Ventilation
BASEMENT ROOMS	REC. ROOM = REQUIRED LIGHT: 535 SF X .08 = 42.8 SF REQUIRED VENTILATION: 535 SF X .04 = 21.4 SF	PROPOSED LIGHT: 1 - DOOR ID TAG 1 = 6.2 SF 4 - WINDOW ID TAG B = 27.2 SF	PROPOSED VENTILATION: 1 - WINDOW ID TAG 1 = 17.8 SF 4 - WINDOW ID TAG B = 26 SF
OFFICE =	REQUIRED LIGHT: 104 SF X .08 = 8.3 SF REQUIRED VENTILATION: 104 SF X .04 = 4.2 SF	PROPOSED LIGHT: 1 - WINDOW ID TAG A = 10.5 SF	PROPOSED VENTILATION: 1 - WINDOW ID TAG A = 10 SF
MEDIA ROOM =	REQUIRED LIGHT: 245 SF X .08 = 19.6 SF REQUIRED VENTILATION: 245 SF X .04 = 9.8 SF	PROPOSED LIGHT: ARTIFICIAL LIGHT TO BE UTILIZED FOR REQUIRED LIGHTING	PROPOSED VENTILATION: WHOLE HOUSE VENTILATION HAS BEEN ADDED FOR REQUIRED VENTILATION SEE "WHOLE HOUSE VENTILATION NOTES"
BEDROOM / OFFICE =	REQUIRED LIGHT: 144 SF X .08 = 11.5 SF REQUIRED VENTILATION: 144 SF X .04 = 5.8 SF	PROPOSED LIGHT: 1 - WINDOW ID TAG F = 24.2 SF	PROPOSED VENTILATION: 1 - WINDOW ID TAG F = 23 SF
DINING ROOM =	REQUIRED LIGHT: 225 SF X .08 = 18 SF REQUIRED VENTILATION: 225 SF X .04 = 9 SF	PROPOSED LIGHT: 1 - DOOR ID TAG 5 = 39 SF 2 - WINDOW ID TAG G = 24.2 SF	PROPOSED VENTILATION: 1 - DOOR ID TAG 5 = 38.5 SF 2 - WINDOW ID TAG G = 23 SF
LIVING ROOM =	REQUIRED LIGHT: 464 SF X .08 = 37.1 SF REQUIRED VENTILATION: 464 SF X .04 = 18.6 SF	PROPOSED LIGHT: 1 - DOOR ID TAG 3 = 74.9 SF 1 - WINDOW ID TAG C = 37.8 SF 2 - WINDOW ID TAG D = 25.2 SF	PROPOSED VENTILATION: 1 - DOOR ID TAG 3 = 50 SF 1 - WINDOW ID TAG C = 24 SF 2 - WINDOW ID TAG D = 24 SF
BEDROOM #1 =	REQUIRED LIGHT: 164 SF X .08 = 13.1 SF REQUIRED VENTILATION: 164 SF X .04 = 6.6 SF	PROPOSED LIGHT: 1 - WINDOW ID TAG J = 20.7 SF 1 - WINDOW ID TAG K = 10.4 SF	PROPOSED VENTILATION: 1 - WINDOW ID TAG J = 19.6 SF 1 - WINDOW ID TAG K = 9.8 SF
BEDROOM #2 =	REQUIRED LIGHT: 169 SF X .08 = 13.5 SF REQUIRED VENTILATION: 169 SF X .04 = 6.8 SF	PROPOSED LIGHT: 1 - WINDOW ID TAG J = 20.7 SF 1 - WINDOW ID TAG K = 10.4 SF	PROPOSED VENTILATION: 1 - WINDOW ID TAG J = 19.6 SF 1 - WINDOW ID TAG K = 9.8 SF
MASTER BEDROOM =	REQUIRED LIGHT: 195 SF X .08 = 15.6 SF REQUIRED VENTILATION: 195 SF X .04 = 7.8 SF	PROPOSED LIGHT: 1 - WINDOW ID TAG J = 20.7 SF 1 - WINDOW ID TAG K = 10.4 SF	PROPOSED VENTILATION: 1 - WINDOW ID TAG J = 19.6 SF 1 - WINDOW ID TAG K = 9.8 SF
2ND FLOOR ROOMS	BEDROOM #1 = REQUIRED LIGHT: 164 SF X .08 = 13.1 SF REQUIRED VENTILATION: 164 SF X .04 = 6.6 SF	PROPOSED LIGHT: 1 - WINDOW ID TAG J = 20.7 SF 1 - WINDOW ID TAG K = 10.4 SF	PROPOSED VENTILATION: 1 - WINDOW ID TAG J = 19.6 SF 1 - WINDOW ID TAG K = 9.8 SF
BEDROOM #2 =	REQUIRED LIGHT: 169 SF X .08 = 13.5 SF REQUIRED VENTILATION: 169 SF X .04 = 6.8 SF	PROPOSED LIGHT: 1 - WINDOW ID TAG J = 20.7 SF 1 - WINDOW ID TAG K = 10.4 SF	PROPOSED VENTILATION: 1 - WINDOW ID TAG J = 19.6 SF 1 - WINDOW ID TAG K = 9.8 SF
MASTER BEDROOM =	REQUIRED LIGHT: 195 SF X .08 = 15.6 SF REQUIRED VENTILATION: 195 SF X .04 = 7.8 SF	PROPOSED LIGHT: 1 - WINDOW ID TAG J = 20.7 SF 1 - WINDOW ID TAG K = 10.4 SF	PROPOSED VENTILATION: 1 - WINDOW ID TAG J = 19.6 SF 1 - WINDOW ID TAG K = 9.8 SF

WHOLE HOUSE VENTILATION NOTES

- INSTALL "WHISPERCOMFORT ERV BALANCED AIR SOLUTION" FV-04VE1 BY PANASONIC FOR WHOLE HOME HEAT RECOVERY VENTILATOR SYSTEM IN REC. ROOM CEILING
- VENTILATION RATE = (0.01 x 1,547 SF (WHOLE HOUSE) + (7.5 x (3 (BEDROOMS) + 1))
- VENTILATION RATE = 38.97 CUBIC FT PER MINUTE
- UNIT PROVIDED IS CAPABLE OF UP TO 40 CFM (UNIT COMPLIES W/ CALCULATIONS)
- ALL CALCULATIONS PERFORMED AS PER 2020 RCNYS M1505.4.3 (1)



1 BUILDING SECTION
SCALE: 3/8" = 1'-0"

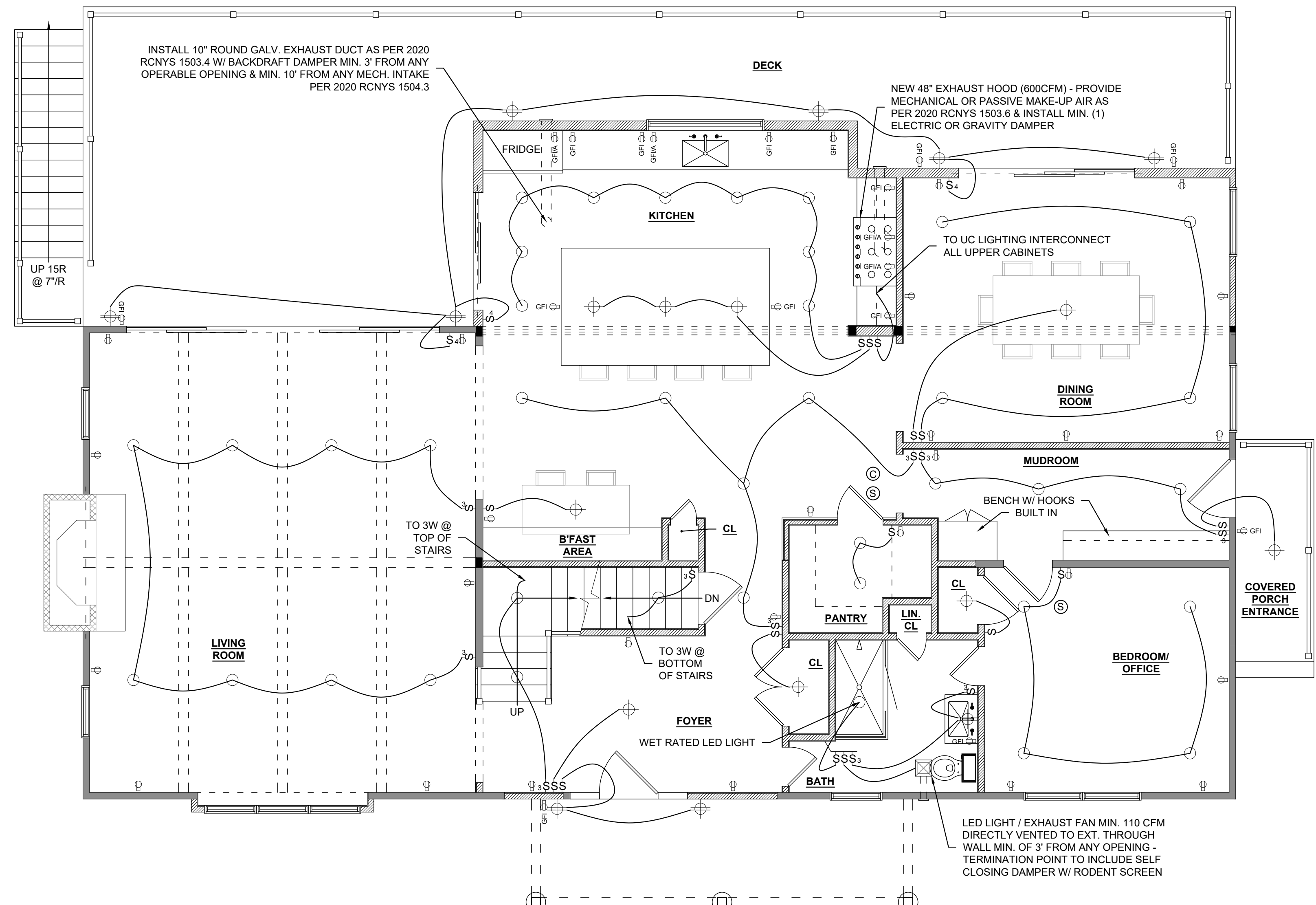


1ST FLOOR ELECTRICAL PLAN,
2ND FLOOR ELECTRICAL PLAN
PAUL ARCHODIS
ADDITION / LEVEL II ALTERATION
8 MEGAN LANE
ARMONK, NY 10504

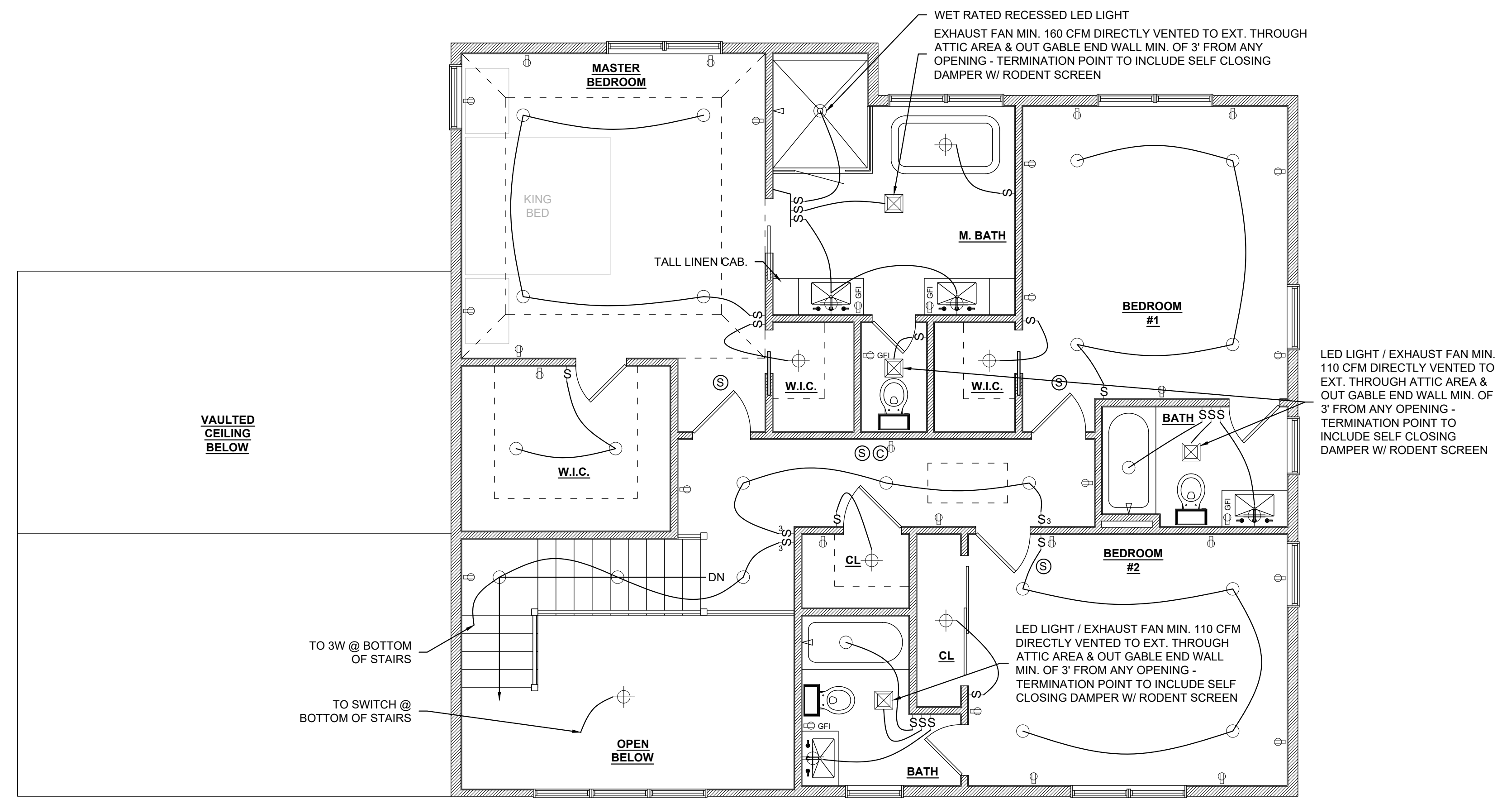
REVISIONS

No.	Date	Description

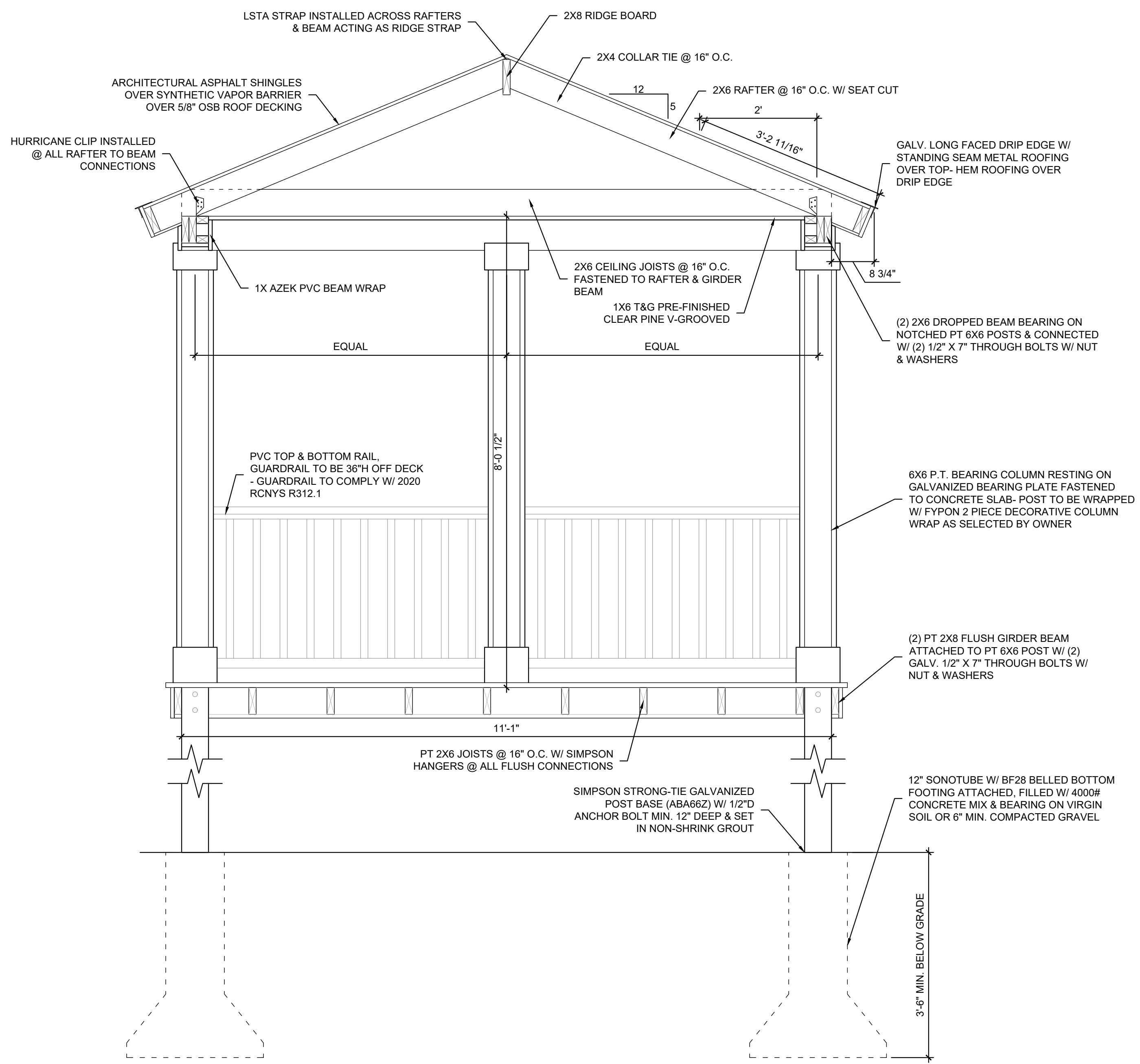
Drawn By: DP
Checked By: AC
Scale: AS INDICATED
Date: 03/27/2024
Project No.: -
SED/Permit/App. No.: -
Sheet No.:



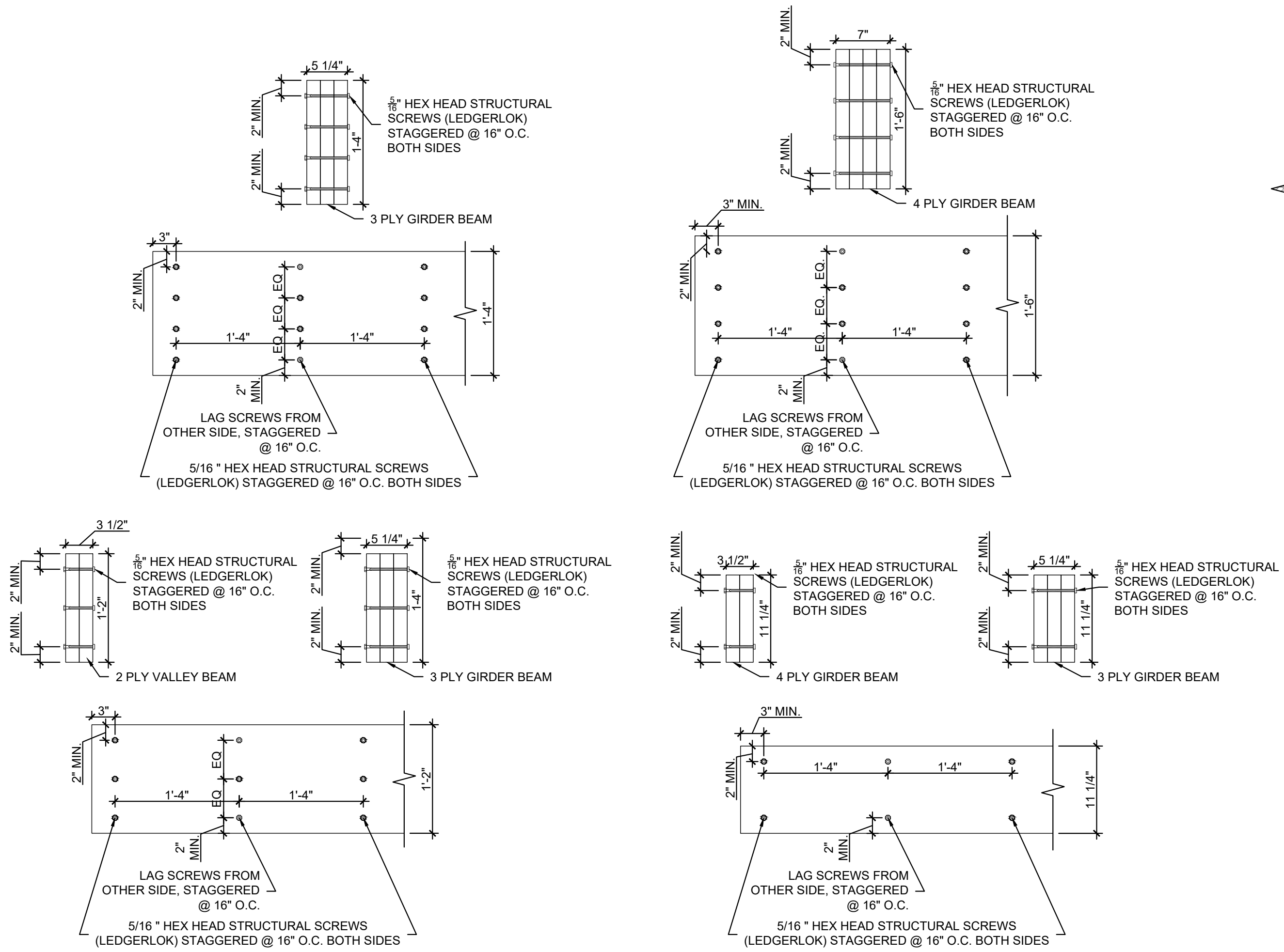
1 1ST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



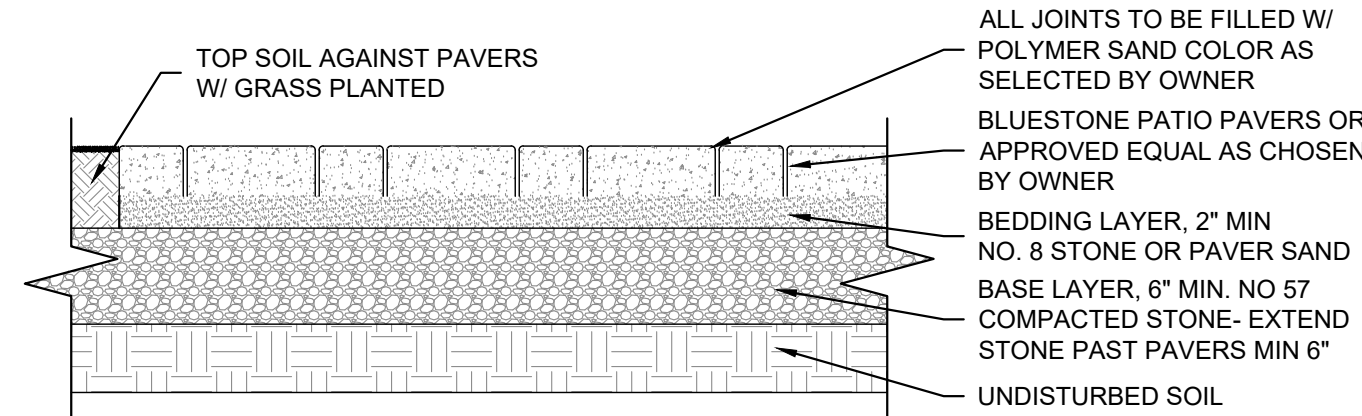
2 2ND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



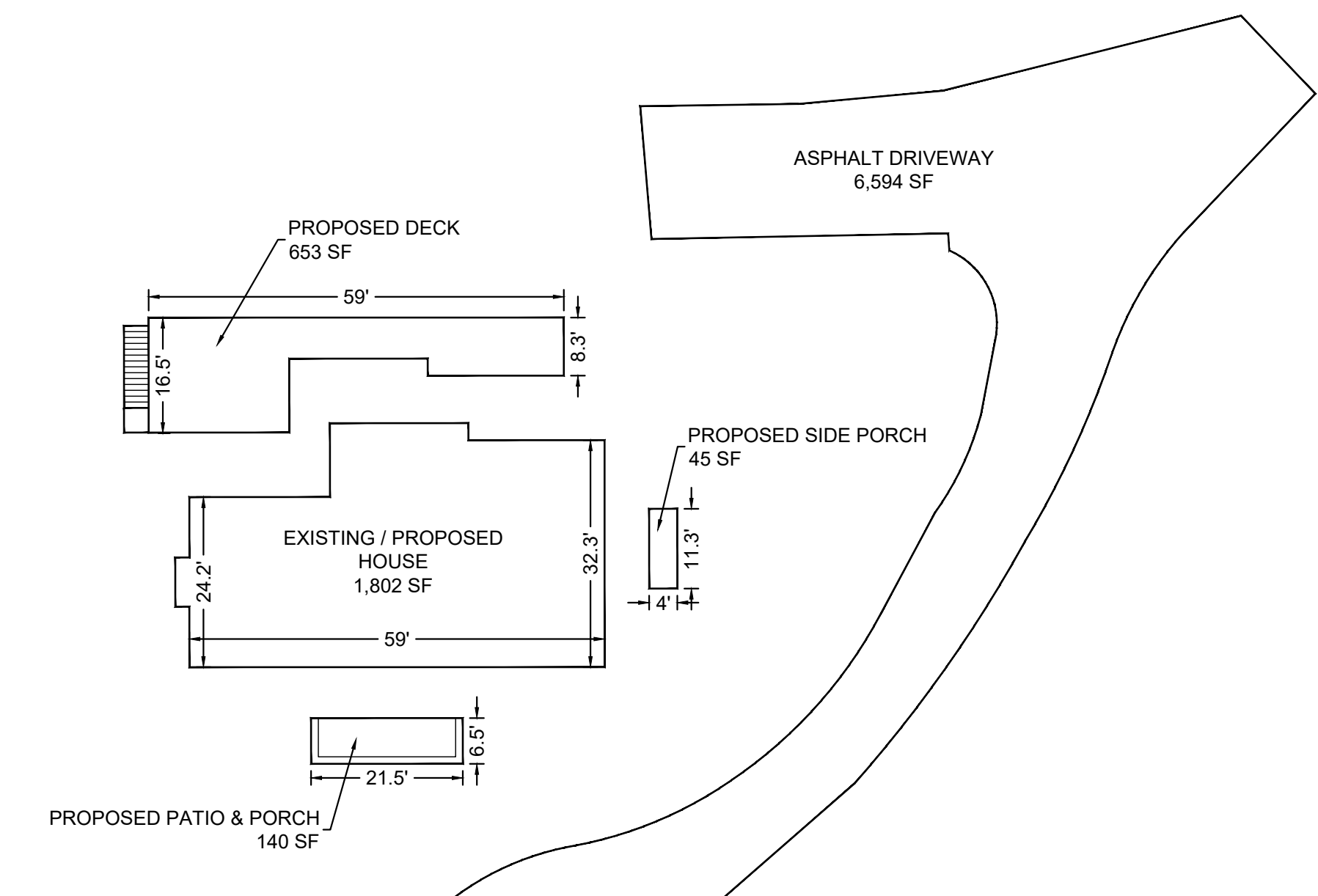
3 PORCH SECTION
SCALE: 3/4" = 1'-0"



1 LVL FASTENING DETAIL
SCALE: 1" = 1'-0"



2 PAVER SECTION
SCALE: 1" = 1'-0"



SUMMARY TABLE:

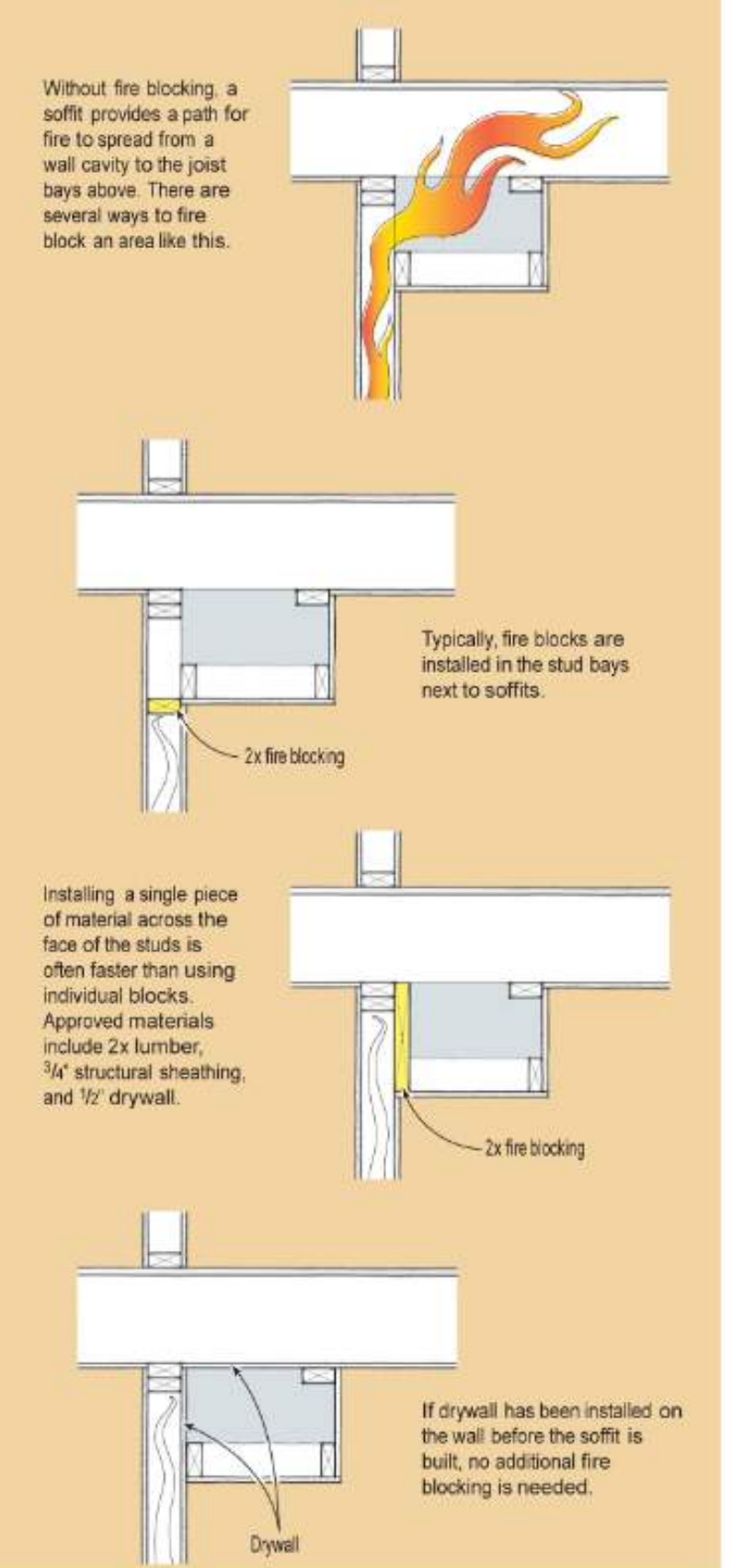
- ASPHALT DRIVEWAY - 6,594 SF
- PROPOSED DECK - 653 SF
- EXISTING / PROPOSED HOUSE - 1,802 SF
- PROPOSED SIDE PORCH - 45 SF
- PROPOSED PATIO & PORCH - 140 SF

GROSS LAND COVERAGE - 9,234 SF / 9.45%

PERMITTED GROSS LAND COVERAGE
13,270 + 7.5% LOT AREA IN EXCESS OF 2.0 ACRES
87,213.9 SF LOT SIZE
TOTAL PERMITTED GROSS LAND COVERAGE - 13,277 SF - 15.2%

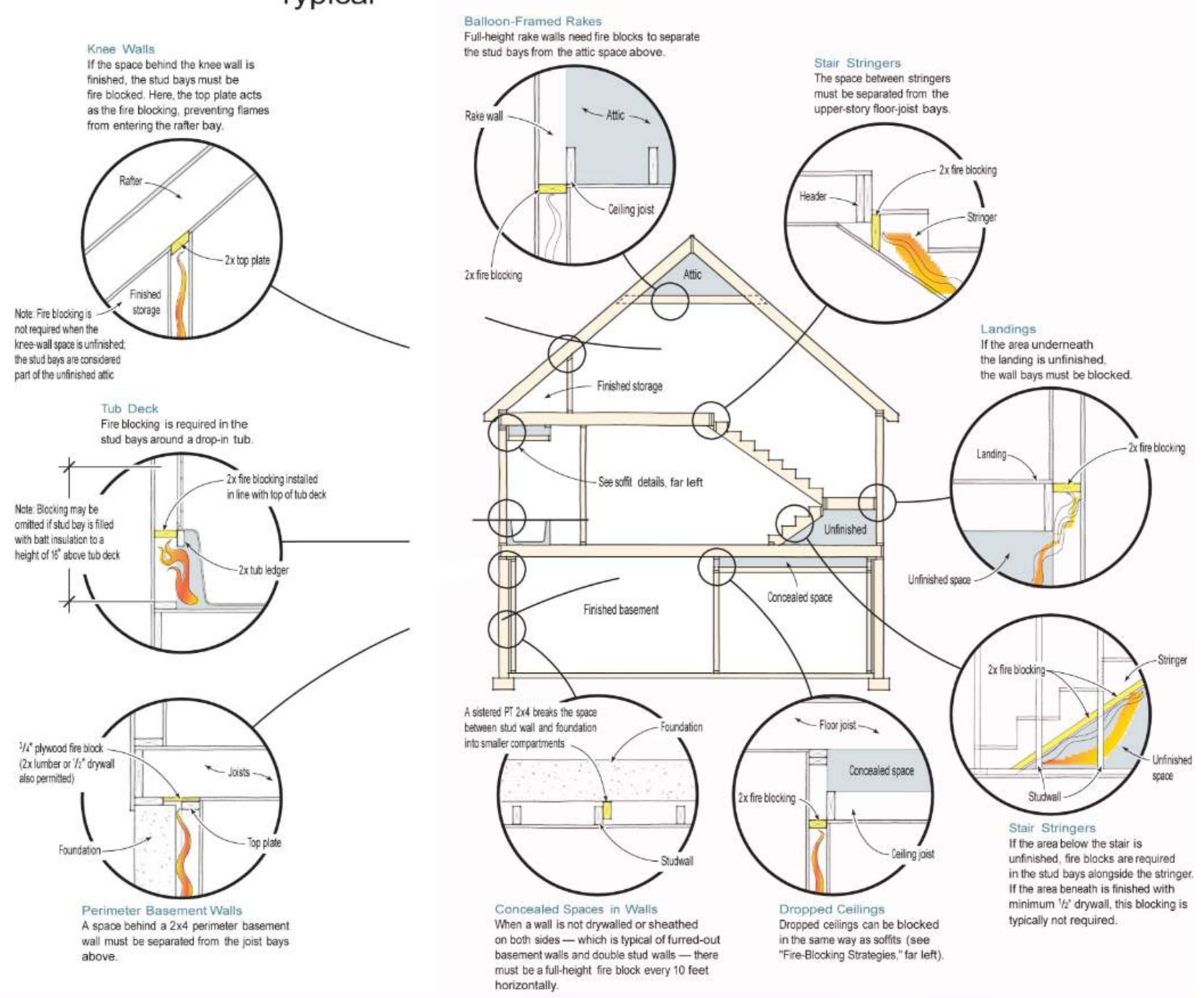
4 GROSS LAND COVERAGE CALCULATIONS
SCALE: 1" = 20'-0"

Fire-Blocking Strategies



3 FIREBLOCKING DETAILS
SCALE: N.T.S.

Typical Fire-Blocking Locations



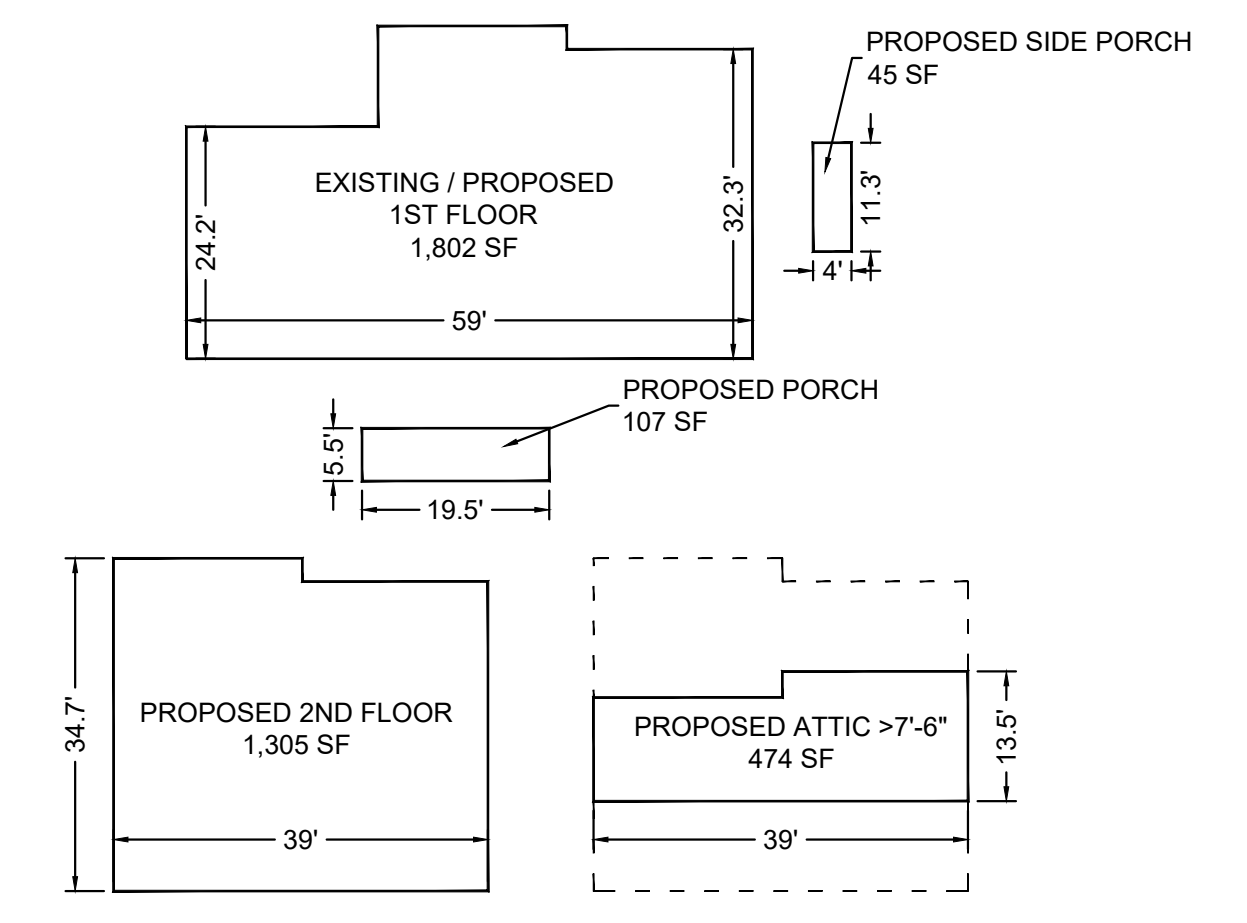
SUMMARY TABLE:

- EXISTING / PROPOSED 1ST FLOOR - 1,802 SF
- PROPOSED SIDE PORCH - 45 SF
- PROPOSED PORCH - 107 SF
- PROPOSED 2ND FLOOR - 1,305 SF
- PROPOSED ATTIC >7'-6" - 474 SF

GROSS FLOOR AREA - 3,733 SF / 4.28%

PERMITTED GROSS FLOOR AREA
10,122 + 4% LOT AREA IN EXCESS OF 2.0 ACRES
87,213.9 SF LOT SIZE
TOTAL PERMITTED GROSS FLOOR AREA - 10,126 SF / 11.6%

5 GROSS FLOOR AREA CALCULATIONS
SCALE: 1" = 20'-0"



drew
ARCHITECTURE
888-422-1422 | INFO@DREWARCH.COM

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REGISTERED ARCHITECT
PAUL COLUMBA
NO. 038892
STATE OF NEW YORK

DETAILS, FIRE BLOCKING DETAILS

PAUL ARCHODIS
ADDITION / LEVEL II ALTERATION
8 MEGAN LANE
ARMONK, NY 10504

REVISIONS		
No.	Date	Description

Drawn By: DP Checked By: AC
Scale: AS INDICATED Date: 03/27/2024
Project No.: -
SED/Permit/App. No.: -
Sheet No.: -

A11

PERMIT