

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair Telephone: (914) 273-3000 x43 Fax: (914) 273-3554 www.northcastleny.com

## **RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES**

The RPRC was created to streamline the residental review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

- 1. Complete all items on the RPRC checklist
- 2. RPRC Application fee. Check made payable to: Town of North Castle.
- 3. Floor Area and Gross Land Coverage work sheets (with backup information)
- 4. Plans for your project according the RPRC Checklist
- 5. Submit one single PDF file containg all information listed above to the Planning Department: planning@northcastleny.com.

Once your application h as been submitted, you may follow your application on the RPRC webpage located at http://www.northcastleny.comlresidential-project-review-committee-rprc

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)

Town of North	n Castle	Master	Fee Sc	hedule - Revised 11/18/2	2020			
RPRC Fees								
Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One-Family Residence - New Construction	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One Family Residence - Teardown/Rebuild	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (less than 1,000 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (greater than or equal to 1,000 s.f.)	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (less than 150 s.f.)	\$0	\$100	\$100	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (greater than or equal to 150 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Pool/Hot Tub and associated Mechanical Equipment (includes associated deck, patio, walls, walkway, etc.)	\$800	\$400	\$1,200	

Town of North	n Castle	Master	Fee Sc	hedule - Revised 11/18/2	2020			
RPRC Fees								
Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Recreational Court (tennis, basketball, volleyball, etc.) and Associated Utilities	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Deck, porch, patio, pergola	\$200	\$100	\$300	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Walkway, piers, wall, gate	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Fence	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Mechanical Equipment (generator, fuel storage tank, etc.) and Associated Utilities	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Under 250 square feet	\$0	\$0	\$0	See § 355-26C(3). RPRC EXEMPT
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Over 250 square feet	\$400	\$200	\$600	

10wn of North	n Castle	Master	ree Sc	hedule - Revised 11/18/2	2020			
RPRC Fees								
Town Code Chapter Title	-	Code Section	Fee Туре	Fee Description	Engineering Fee Amount		Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Solar Panels	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Stormwater Practice/Drainage Facilities	\$400	\$200	\$600	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	For proposed actions not listed above	\$150	\$75		per 1,000 s.f. of disturbance or fraction thereof

Town of North Castle Master Fee Schedule - Revised 11/18/2020

1. In the event the RPRC determines that Planning Board approval is required, any RPRC Review Fees already paid by

the applicant shall be applied towards the escrow review account to be established by the Planning Board.

2. In the event the RPRC determines that an Administrative Wetland Permit is required, an Administrative Wetland Permit

application shall be filed with the appropriate fee, as indicated in the Administrative Wetland Permit Fee Schedule.



RPRC Adam R. Kaufman, Chairman

#### **TOWN OF NORTH CASTLE**

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

> Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE RPRC 2021

### MEETING DATES - 9:30 .a.m.

### **1 PDF ELECTRONIC SUBMISSION DEADLINE By 12:00 p.m.**

January 5	December 15, 2020
January 19	January 5, 2021
February 2	January 19
February 16	February 2
March 2	February 16
March 16	March 2
April 6	March 16
April 20	April 6
May 4	April 20
May 18	May 4
June 1	May 18
June 15	June 1
July 6	June 15
July 20	July 6
August 3	July 20
August 17	August 3
September 7	August 17
September 21	September 7
October 5	September 21
October 19	October 5
November 2	October 19
November 16	November 2
December 7	November 16
December 21	December 7

### Submissions shall be made with 1 PDF electronically to planning@northcastleny.com

### Please do not submit hard copy of submission

#### ALL DEADLINES ARE STRICTLY ENFORCED BY ORDER OF THE CHAIRMAN



WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair Telephone: (914) 273-3000 x 43 Fax: (914) 273-3554 www.nortcastleny.com

## **RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION**

Section I- PROJECT

ADDRESS: 8 MEGAN LANE, ARMONK, NY 10504

Section III- DESCRIPTION OF WORK:

DEMO EXIST. BASEMENT, 1ST FLOOR, 2ND FLOOR ACCORDING TO PLANS. CONSTRUCT NEW ADDITIONS & RENOVATION THROUGHOUT. ADDITION TO CONSIST OF 1ST FLOOR KITCHEN/ DINING ROOM, & COMPLETE NEW 2ND FLOOR BEDROOMS, BATHROOMS, ATTIC, & ROOF SYSTEM

### Section III- CONTACT INFORMATION:

APPLICANT:ANDREW COLLINGHAM, R.A.
ADDRESS: 74 WESTMORELAND AVE., WHITE PLAINS, NY 10606
PHONE: (888) 422-1422 MOBILE: (914) 527-4708 EMAIL: ACOLLINGHAM@DREWARCH.COM
PROPERTY OWNER: PAUL ARCHODIS
ADDRESS: 8 MEGAN LANE, ARMONK, NY 10504
PHONE:MOBILE:EMAIL:
PROFESSIONAL:: ANDREW COLLINGHAM, R.A.
ADDRESS: 74 WESTMORELAND AVE., WHITE PLAINS, NY 10606
PHONE: (888) 422-1422 MOBILE: (914) 527-4708
EMAIL: ACOLLINGHAM@DREWARCH.COM
Section IV- PROPERTY INFORMATION:
Zone: R-2A Tax ID (lot designation) 102.03-1-17



Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

## **RPRC COMPLETENESS REVIEW FORM**

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: PROPOSED LEVEL 2 ALTERATION & ADDITION

XInitial Submittal Revised Preliminary

Street Location: 8 MEGAN LANE, ARMONK, NY 10504

Zoning District: \_\_\_\_\_ Property Acreage: \_\_\_\_\_ Tax Map Parcel ID: \_\_\_\_\_

Date:\_\_\_\_\_

## DEPARTMENTAL USE ONLY

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

### Preliminary Plan Completeness Review Checklist

Items marked with a " $\square$ " are complete, items left blank " $\square$ " are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

#### **RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- □12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <u>http://www.northcastleny.com/townhall.html</u>

On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning Telephone: (914) 273-3542 Fax: (914) 273-3554 <u>www.northcastleny.com</u>

## **GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Applicat	tion Name or Identifying Title: PROPOSED LEVEL 2 ALTERATION Date:	)3.27.24
Tax Map	Designation or Proposed Lot No.: 102.03-1-17	
<u>Gross La</u>	ot Coverage	
1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	87,213.9 SF
2.	Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):	13,277 SF
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)):	
29	Distance principal home is beyond minimum front yard setback x 10 = 290	290 SF
4.	<b>TOTAL Maximum Permitted gross land coverage</b> = Sum of lines 2 and 3	13,567 SF
5.	Amount of lot area covered by <b>principal building:</b> 	1,802 SF
6.	Amount of lot area covered by <b>accessory buildings:</b> existing + proposed =	
7.	Amount of lot area covered by <b>decks:</b> <u>593 SF</u> existing + <u>60 SF</u> proposed =	653 SF
8.	Amount of lot area covered by <b>porches:</b> 249 SF existing + (-) 64 SF proposed =	185 SF
9.	Amount of lot area covered by <b>driveway, parking areas and walkways:</b> 8,639 SF existing -(-)2,045 SF proposed =	6,594 SF
10.	Amount of lot area covered by <b>terraces:</b> existing +proposed =	
11.	Amount of lot area covered by <b>tennis court, pool and mechanical equip:</b> existing +proposed =	
12.	Amount of lot area covered by <b>all other structures:</b> 61 SFexisting +(-) 61 SFproposed =	0 SF
13. Prop	osed <b>gross land coverage:</b> Total of Lines $5 - 12 =$	9,234 SF

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

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Signature and Seal of Professional Preparing Worksheet

03.27.24

Date



WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

## GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

- 1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
- 2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
- 3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
- 4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
- 5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area m inus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in C hapter 209 Wetlands and Drai nage, of the Tow n Code, a nd the area of any steep slopes, as defined Chapter 213, except that in the case of one-fam ily lots, the deduct ion for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family
	Dwelling Lots <sup>1</sup>
	(square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

\*Permitted g ross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 1 0 SQUA RE FEET O F G ROSS LA ND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.

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PLANNING DEPARTMENT

Adam R. Kaufman, AICP

**Director of Planning** 

**TOWN OF NORTH CASTLE** 

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

January 29, 2019 Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

## FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title:	PROPOSED LEVEL 2 ALTERATION D	ate: 03.27.24
	& ADDITION	
Tax Map Designation or Proposed Lot No.:	102.03-1-17	
Floor Area		
1. Total Lot Area (Net Lot Area for Lo	ots Created After 12/13/06):	87,213.9 SF
2. <b>Maximum</b> permitted floor area (per	Section 355-26.B(4)):	10,126 SF
3. Amount of floor area contained with 1,454 SF existing +348 SF		1,802 SF
4. Amount of floor area contained with		1,305 SF
5. Amount of floor area contained with <u>615 SF</u> existing + (-) 615 SF		0 SF
6. Amount of floor area contained with $249 \text{ SF}$ existing + (-) 97 SF	nin porches capable of being enclosed: proposed =	152 SF
7. Amount of floor area contained with existing +	nin basement (if applicable – see definition): proposed =	
8. Amount of floor area contained with existing + _474 SF	nin attic (if applicable – see definition): proposed =	474 SF
9. Amount of floor area contained with existing +		
10. Pro posed <b>floor area:</b> Total of Lines	3 – 9 =	3,733 SF

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

an ch

Signature and Seal of Professional Preparing Worksheet

03.27.24

Date



WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning Telephone: (914) 273-3542 Fax: (914) 273-3554 <u>www.northcastleny.com</u>

## GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show com pliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

- 1. Scaled worksheets are to be pre pared base d upon floor plans w hich represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
- 2. The floor area of each floor is to be divided int o s imple polygons (squares, rectangles, etc.) each being drawn on theplan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
- 3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
- 4. A similar summary table is to be provided listing the total floor a re of each floor within the resulting floor area of each building.
- 5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
- 6. A schematic illustration of the format is shown below.



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horiz ontal areas of the several stories of the building or buildings, excludi ng any floor area used for o ff-street parking or loading purposes (except for on e- and two-family residences), measured from the exterior walls or, in the case of a com mon wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one ha ving a roof and capable of being enclosed. See the definition of "basement" for exclusion o f basement/mechanical areas in nonresidential buildings from "floor area, gross." For one-and two-family residences, any attic space with a floor to ce iling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished s urface of the floor ab ove the basement is more than six feet above average grade.
- B. Where the finished s urface of the floor ab ove the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings <sup>1</sup> (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

\*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

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# **PROPOSED LEVEL 2 ALTERATION & ADDITION AT:**

# 8 MEGAN LANE **ARMONK, NY 10504** TAX ID: 102.03-1-17 **ZONING DISTRICT: R-2A**

## PROPOSED SCOPE OF WORK:

- DEMO EXIST. BASEMENT ACCORDING TO PLANS 2. DEMO EXIST. 1ST FLOOR PLAN ACCORDING TO
- PLANS DEMO EXIST. 2ND FLOOR SYSTEM & ROOFS ACCORDING TO PLANS
- CONSTRUCT NEW 1ST/ 2ND FLOOR ADDITION ACCORDING TO PLANS
- **RENOVATE EXIST. BASEMENT & 1ST FLOOR**
- CONSTRUCT NEW DECK OFF REAR OF HOUSE CONSTRUCT NEW SIDE ENTRY PORCH

## **APPLICABLE CODES, RULES, & REGULATIONS**

**NEW YORK STATE BUILDING CODES** 2020 RESIDENTIAL CODE OF NYS, & 2017 NEC CODE OF NYS TOWN OF NORTH CASTLE ZONING CODE

## SYMBOL LEGEND

- - K) WINDOW TAG 1 DOOR TAG
  - C C.O. DETECTOR
  - (S) SMOKE DETECTOR
  - (H) HEAT DETECTOR

## MATERIAL INDICATORS

- WOOD FRAMING
- L.V.L. SECTION UNEXCAVATED FARTH
- DISTURBED EARTH
- VENEER STONE
- BATT INSULATION
- COMPACTED STONE
- DEMO INDICATION

## ELECTRICAL LEGEND

- A DEDICATED APPLIANCE RECEPTACLE
- □ T.R. RECEPTACLE
- -09- SINGLE POLE SWITCH
- 3 の- 3-WAY SWITCH
- 4 -- 4-WAY SWITCH
- CEILING MOUNTED FIXTURE
- 6" RECESSED LIGHT
- WALL MOUNTED FIXTURE
- EXHAUST FAN DIRECT VENT TO EXT. MIN. OF 110 CFM

## ELECTRICAL NOTES:

- 1. INSTALL NEW WIRING FOR ALL OUTLETS AS
- INDICATED ON PLAN 2. PROVIDE CAT6 CABLE TO ALL BEDROOMS OR AS
- COORDINATED BY OWNER 3. ALL LIGHTING TO BE APPROVED FOR USE IN NY
- STATE 4. ALL ITEMS IN VERTICAL LINE ARE TO ALIGN ON CENTER, i,e, THERMOSTATS, RECEPTACLES, &
- SWITCHES 5. ELECTRICIAN TO INSTALL DUPLEX RECEPTACLES AS REQUIRED AS PER CODE
- 6. INSTALL LOW VOLTAGE WIRING WHEREVER
- REQUIRED 7. ALL DIMMER SWITCHES TO BE COMPATIBLE WITH
- LIGHTING THEY ARE OPERATING
- 8. ALL OUTLETS TO BE TAMPER RESISTANT AS PER CODE
- 9. ALL LIGHTING TO BE CODE COMPLAINT AND COORDINATED WITH OWNER

ALL INFORMATION SHOWN IS FOR DIAGRAMMATIC PURPOSES ONLY AND SHALL BE THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO INSTALL ALL LIGHTING, WIRING, CIRCUITING, ETC. AS PER CODE REQUIREMENTS

2020 RCNYS									
BUILDING TYPE	CONSTRUCTION TYPE	OCCUPANCY CLASSIFICATION	CLASSIFICATION OF WORK	DESIGN LIVE LOAD	DESIGN DEAD LOAD	STORIES ABOVE GRADE	FIRE SUPP. REQUIRED	MEANS OF EGRESS	
ONE-FAMILY	5B	R-3 ONE/TWO FAMILY	ADDITION & ALT. LEVEL 2	40 PSF	20 PSF	2-1/2 STORIES	NO	2	
		OR THE PROPOSED			•···== · ···= ···				

RULES AND REGULATIONS

	SUMMARY OF	STRENGTH, SIZE, AND	USE OF STRUCTURAL	PRODUCT	<u>s</u>			
SYSTEM	EM COMMOM NAME/ EXAMPLE ALLOWABLE BENDING STRESS (Fo) ALLOWABLE SHEAR STRESS (Fv) WIDTH TYPICAL DEPTH USED							
DIMENSIONAL LUMBER	SPF (SPRUCE- PINE-FIR)	950 PSI	135 PSI	1-1/2"	3-1/2" TO 11-1/4"	STUDS, BEAMS, HEADERS, & JOISTS		
LAMINATED VENEER LUMBER	LVL	2,600 PSI	285 PSI	1-3/4"	7-1/4" TO 24"	BEAMS & GIRDERS		

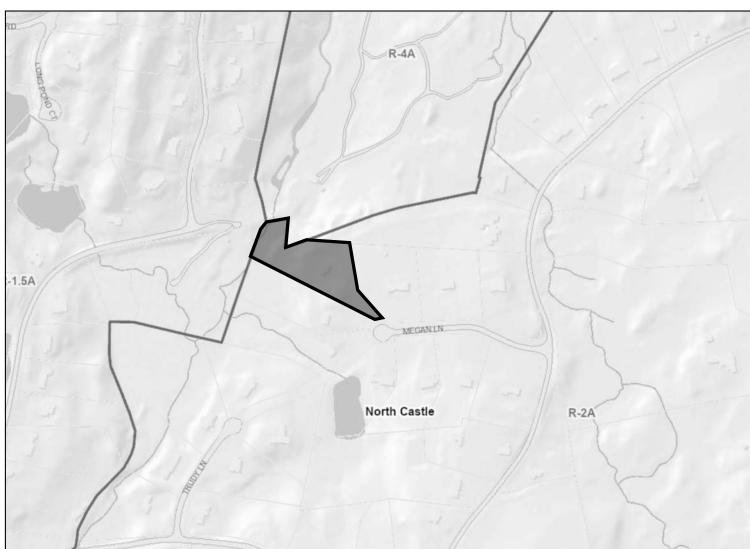
		WIND D	ESIGN	SEISMIC	SUBJECT T	O DAMAG	GE FROM	WINTER					
GROUND SNOW LOAD		TOPO EFFECT	SPECIAL WIND REG/DEBRIS	DESIGN CAT	WEATHER	FROST	TERMITE	DESIGN TEMP	ICE BARRIER UNDERLAYMENT	FLOOD HAZARDS	FREEZING INDEX	ANNUAL TEMP	
30 PSF	115 MPH	NO	NO, NO	В	SEVERE	42"	VERY HEAVY	10 DEG	YES	SEE BELOW	1500 OR LESS	50	

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT									
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTR. SHGC	CEILING R-VALUE	WOOD WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT/CRAWL SPACE WALL R-VALUE	SLAB R-VALUE & DEPTH
4A	.32	.55	.40	49	20 OR 13+5	8/13	19	10/13	10/2 FT

CODE DESIGN METHOD: CHAPTER 4. PERSCRIPTIVE BUILDING ENVELOPE, 2020 NYS ENERGY CONSERVATION CODE







THE 2020 RCNYS, 2017 NEC CODE OF NYS, THE TOWN OF NORTH CASTLE MUNICIPAL CODE, AND ALL APPLICABLE

SPECIFICATIONS HAVE BEEN DESIGNED IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CODE OF NYS

# SITE LOCATION MAP SCALE: N.T.S.



SMOKE & CARBON MONOXIDE NOTES (2020 RC OF NYS):

- 1. R314.2.2 ALTERATIONS, REPAIRS AND ADDITIONS. WHERE ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHERE ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS.
- A. EXCEPTIONS: a. WORK INVOLVING THE EXTERIOR SURFACES OR DWELLINGS, SUCH AS THE REPLACEMENT OF ROOFING OR SIDING, THE ADDITION OR REPLACEMENT OF WINDOWS OR DOORS, OR THE ADDITION OF A PORCH OR DECK, ARE EXEMPT FROM THE REQUIREMENT OF
- THIS SECTION b. INSTALLATION, ALTERATION OR REPAIRS OF PLUMBING OR MECHANICAL SYSTEMS ARE EXEMPT FROM THE
- REQUIREMENTS OF THIS SECTION 2. R314.3 LOCATION, SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
- A. IN EACH SLEEPING ROOM
- B. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE MMEDIATE VICINITY OF THE BEDROOMS.
- C. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL
- D. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION R314.3.
- 3. R314.3.1 INSTALLATION NEAR COOKING APPLIANCES. SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING
- LOCATIONS UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN A LOCATION REQUIRED BY SECTION R314.3 A. IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
- B. IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET
- C. PHOTOELECTRIC SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 6 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE
- 4. R314.4 INTERCONNECTION. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE AI ARM
- A. EXCEPTION: INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE THAT COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT REMOVAL OF FINISHES.
- 5. R314.5 COMBINATION ALARMS. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE ALARMS
- 6. R314.6 POWER SOURCE. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND, WHERE PRIMARY POWER IS INTERRUPTED. SHALL RECEIVE POWER FROM A BATTERY, WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. A. EXCEPTIONS:
  - a. SMOKE ALARMS SHALL BE PERMITTED TO BE BATTERY OPERATED WHERE INSTALLED IN BUILDINGS WITHOUT COMMERCIAL POWER
  - b. SMOKE ALARMS INSTALLED IN ACCORDANCE WITH SECTION R314.2.2 SHALL BE PERMITTED TO BE BATTERY POWERED

## **ELECTRICAL NOTES:**

- WORK RELATED TO THESE DOCUMENTS SHALL INCLUDE FURNISHING AND INSTALLATION OF OF EVERY KIND OF WIRE/CONDUIT REQUIRED TO MAKE THE ELECTRIC LIGHT AND POWER DISTRIBUTION SYSTEM COMPLETE, I.E. PROVIDING AND CONNECTING SERVICE ENTRANCE EQUIPMENT. LIGHTING PANELS, POWER PANELS, SWITCHES, OUTLETS, RECEPTACLES, BACK BOXES, RELATED COMPONENTS REQUIRED BY THE LOCAL UTILITY COMPANY OF ALL FIXTURES COMPLETE WITH LAMPS, CLAMPS, HANGERS, SUPPORTS, ETC.
- 2. ALL ELECTRIC WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE, LATEST EDITION. SHOULD A CONFLICT ARISE, THE CODE OR MORE STRINGENT REQUIREMENTS SHALL PREVAIL
- 3. ALL WIRING SHALL BE COPPER, #12 AWG MINIMUM SIZE -# 8 AND SMALLER TO BE SOLID, #6 AND LARGER TO BE STRANDED. INSULATION TO BE NEC 600 VOLT TYPE, RATED @ 75 DEGREES C AND BE PROPERLY PHASE COLOR CODED FOR 120/208 V. 3 PHASE 4-WIRE SERVICE.
- 4. UNLESS NOTED OTHERWISE, MINIMUM SIZE CONDUIT SHALL BE 1/2" AND NUMBER OF CROSS MARKS INDICATE NUMBER OF #12 CONDUCTORS IN CONDUIT. TYPE OF CONDUIT USED SHALL BE IN STRICT ACCORDANCE WITH CODE PROVISIONS CONCERNING SAME. ALL CONDUIT RUNS ARE TO BE CONCEALED IN FLOORS, WALLS, AND CEILINGS, EXCEPT WHERE NOTED OTHERWISE.
- 5. ELECTRICAL INSTALLATION SHALL BE TESTED FOR SHORTS, GROUNDS, OPERATION OF LOW VOLTAGE CIRCUITRY, NIGHT LIGHT WIRING, STAND-BY GENERATOR AND CONNECTIONS TO SAME, ETC. DEFECTS SHALL BE REMEDIED AT ONCE AND THE TESTS RE-RUN AS MANY TIMES AS MAY BE
- 6. REQUIRED TO PROVE CORRECTNESS. BALANCE ALL PHASE LOADING OF ALL PANEL BOARDS. 7. THE CIRCUITS SHALL BE DISTINCTLY NUMBERED
- AND IDENTIFIED ON THE SCHEDULE OF CIRCUITS TYPEWRITTEN TO THE PANEL BOARD. AFFIX PERMANENT IDENTIFYING NAMEPLATES TO ALL ELECTRICAL SWITCHES.PILOT DEVICES, SELECTOR SWITCHES, ETC. SUBMIT SAMPLES AND LIST OF TITLES FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ENGINEERED WOOD CONSTRUCTION PLACARD ON SIDE OF BUILDING ELECTRICAL SERVICE METER INDICATING ENGINEERED LUMBER IS PRESENT IN ROOF FRAMING.

## **ROUGH CARPENTRY**

- 1. FRAMING AND STRUCTURAL LUMBER: DOUGLAS FIR #1. FB= 1050 PSI, E=1,600,000 . FV=95 PSI. ALL JOISTS AND RAFTERS TO HAVE DIAGONAL BRIDGING. 8BLOCKING UNDER CERAMIC TILE. MEMBERS OF BUILT GIRDERS, HEADERS OR LINTELS SHALL BE SPIKED OR BOLTED TOGETHER TO ACT AS ONE UNIT
- 2. CROSS BRIDGING OF JOISTS 1- 1/4 COLLAR TIES AT CATHEDRAL CEILINGS, 2-2 X 6 @4 MAX. EXTERIOR CARPENTRY AT PORCHES SHALL BE C.CA TREATED AS INDICATED ON DRAWINGS. ORNAMENTAL POSTS SHALL BE OF A NOMINAL SIZE 6
- 3. WOOD DECK. 5/4" THICK P.T. OR COMPOSITE DECK BOARDS AS SPECIFIED BY DRAWINGS AND SHALL PITCH SLIGHTLY FOR WATER RUNOFF.
- 4. PLYWOOD SHALL MEET THE REQUIREMENTS OF APA REQUIREMENTS AND SPECIFICATIONS: 5. WALL AND ROOF SHEATHING: 5/8 EXTERIOR GLUE
- 6. SUBFLOORING : 5/8" UNDERLAYMENT:
- 7. UNDERLAYMENT INT-APA EXTERIOR GLUE 8. ALL WOOD BEAMS TO HAVE A MINIMUM BEARING OF
- 4 DOUBLE ALL JOISTS UNDER ALL PARTITIONS. 9. ALL DETAILS OF CONSTRUCTION: LINTELS, HEADERS, POSTS. BEAMS, FRAMING, NAILING, ETC. SHALL COMPLY WITH ALL MINIMUM STANDARDS OF
- NEW YORK STATE CODE. 10. CONTRACTOR TO DO ALL NECESSARY FIRESTOPPING OF STUD PARTITIONS AND PIPE
- CHASES, AS REQUIRED BY N.Y. STATE CODE WHETHER SPECIFICALLY SHOWN OR NOT. 11. LUMBER SCHEDULE: MISCELLANEOUS LUMBER,
- FURRING, BRIDGING, BLOCKING TO BE GRADE #2 OF ANY SPECIES AMPLE IN STRENGTH TO MEET THE REQUIREMENTS THEREOF 12. WOODEN TRIMMERS, HEADERS, AND TAIL JOISTS
- OVER SIX FEET IN LENGTH, UNLESS SUPPORTED ON WALLS OR GIRDERS, SHALL BE HUNG IN APPROVED METAL STIRRUPS. OR HANGERS.
- 13. EVERY SIX FEET, AT LEAST ONE BEAM OR JOIST WHICH RESTS ON MASONRY WALLS, SHALL BE SECURED TO SUCH WALLS BY APPROVED METAL ANCHORS ATTACHED IN A MANNER AT OR NEAR BOTTOM TO BE SELF RELEASING.
- 14. THE ENDS OF WOODEN BEAMS AND JOISTS RESTING ON MASONRY WALLS SHALL BE CUT TO A BEVEL OF THREE INCHES IN THEIR DEPTH. ALL GIRDERS TO BEAR MINIMUM OF 8" ON MASONRY
- 15. PROVIDE SHELF AND COAT POLE IN ALL CLOSETS WITH FIVE SHELVES IN LINEN CLOSET.
- 16. FINISH WOODWORK SHALL BE DRESSED AND SANDED, FREE FROM MACHINE AND TOOL MARKS, ABRASIONS RAISED GRAIN OR OTHER DEFECTS ON SURFACES EXPOSED TO VIEW IN THE FINISHED WORK
- 17. WOOD FINISH SHALL BE SET STRAIGHT, PLUMB AND LEVEL IN TRUE ALIGNMENT, CLOSELY FITTED AND RIGIDLY SECURE IN PLACE. NAIL HEADS OF EXPOSED NAILING SHALL BE COUNTERSUNK. ALL WORK SHALL BE LEFT CLEAN, FREE FROM WARP, TWIST, OPEN JOINTS AND OTHER DEFECTS.
- 18. INTERIOR MISCELLANEOUS FINISH CARPENTRY AND WOODWORK TO BE YELLOW POPLAR 19. INTERIOR DOORS TO BE CLEAR BIRCH, STAIN
- GRADE. 20. CAULK AT ALL DOORS AND WINDOW FRAMES, JOINTS AND OTHER SURFACES WHICH REQUIRE THE CLOSING OF A JOINT BETWEEN ANY TWO SURFACES NOT OF THE SAME MATERIAL. CAULKING COMPOUND SHALL BE SILICONE EQUAL TO THIOKOL SEALANT BY TOCH BROTHERS.
- 21. CONTRACTOR TO DO ALL FLASHING REQUIRED WHETHER SPECIFICALLY SHOWN OR NOT

## **CONCRETE WORK:**

- 1. PRIOR TO COMMENCEMENT OF WORK. THE ADJACENT PROPERTY OWNER SHALL BE GIVEN 5 DAYS WRITTEN NOTICE BY CERTIFIED MAIL, WHERE ADJACENT PROPERTY IS AFFECTED BY FOUNDATIONS, GRADING EARTHWORK OR
- DEMOLITION. 2. UNLESS OTHERWISE SPECIFIED, DESIGN, MATERIAL AND METHOD OF CONCRETE CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2020 RESIDENTIAL, FIRE AND ENERGY BUILDING CODES.
- 3. 3 TEST CYLINDERS SHALL BE MOLDED FOR EACH 50 YDS OF EACH CLASS OF CONCRETE IN ANY ONE DAY, SAMPLES SHALL BE TAKEN FROM THE MIXER AS PER A.S.T.M. C172-54. CURED AS PER A.S.T.M. C39-66
- 4. & TESTED CYLINDERS SHALL BE STORED IN AN INSULATED CURING BOX, AND LOCATED IN A SAFE PLACE TO MINIMIZE HAZARD OF DISTURBANCE DURING CURING, FREE FROM VIBRATIONS, REMOTE FROM TRAFFIC.
- 5. NO FOOTINGS SHALL BE INSTALLED UNTIL THE BEARING SURFACE HAS BEEN INSPECTED AND APPROVED BY A SOIL ENGINEER OR AN ARCHITECT RETAINED BY THE OWNER AND/OR CONTRACTOR. 6. SIDES OF EXCAVATIONS TO BE PROTECTED,
- INCLUDING RELATED OR RESULTING EMBANKMENTS, 5 FEET OR GREATER IN DEPTH. 7. ALL FOOTINGS TO BEAR ON CLEAN, FIRM VIRGIN SOIL. CLASS 8-65 5M OR PINNED TO LEDGE ROCK AS APPROVED ON SITE BY STRUCTURAL ENGINEER OR ARCHITECT RETAINED BY THE OWNER AND TO HAVE
- A MIN. COVER OF 4 FEET. DIFFERENCES IN FOOTING LEVELS SHALL BE STEPPED AT A 30' ANGLE OF REPOSE. 8. EXTERIOR FOUNDATION WALLS BELOW GRADE SHALL BE WATERPROOFED WITH 2 COATS OF AN APPROVED TYPE ASPHAL TIC/ ELASTOMERIC

### WOOD NOTES:

MASTIC TROWELED ON

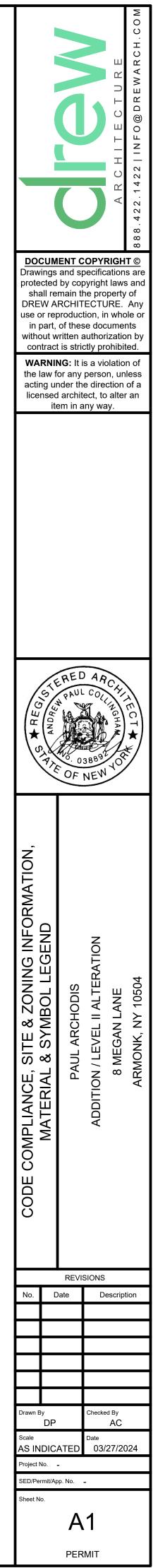
- 1. ALL EXTERIOR WOOD FRAMING MEMBERS SHALL BE STRUCTURAL GRADE WITH MIN. FIBER STRESS STRENGTH OF 1400, AND SHALL BE PRESSURE TREATED FOR EXTERIOR EXPOSURE.
- 2. CONTRACTOR TO PROVIDE ALL STEEL CONNECTIONS REQUIRED FOR FASTENING
- MEMBERS TO OTHERS. 3. CONTRACTOR TO REFER TO "SIMPSON-STRONG TIE" MANUAL

## GENERAL NOTES

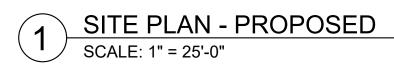
- 1. CONTRACTOR SHALL VISIT SITE AND SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, CONDITIONS, WHICH PERTAIN TO THE FABRICATION PROCESSES, OR TO TECHNIQUES FOR CONSTRUCTION AND COORDINATION OF THE WORK OF ALL TRADES, PRIOR TO START OF CONSTRUCTION
- ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT BEFORE PROCEEDING. THE ELEVATIONS AND AVAILABILITY OF UTILITITIES, SEWER, WATER AND ELECTRIC LINES SHALL BE VERIFIED BY OR DETERMINED BY INTERESTED CONTRACTORS PRIOR TO SUBMISSION OF BID.
- CONTRACTORS SHALL ADJUST PITCH OF NEW LINES TO INSURE PROPER AND LEGAL INTERSECTIONS. CONTRACTOR SHALL COORDINATE LOCATIONS FOR STRUCTURAL, MECHANICAL AND ELECTRICAL WORK FOR ALL PITS. SLAB DEPRESSIONS. SLEEVES IN FOUNDATION WALLS, SLABS, AND ROOF OPENINGS, ETC.
- CONTRACTOR SHALL VERIFY CONDITIONS OF ADJOINING STRUCTURES WHICH MAY BE AFFECTED, PROVIDE ADEQUATE PROTECTION AND RESTORE TO ORIGINAL CONDITIONS, WHENCE DAMAGE SHOULD RESULT FROM SUCH WORK. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- 5. CONTRACTOR SHALL SECURE AND PAY FOR ANY AND ALL PERMITS, LICENSES, CERTIFICATES, FEES, ETC., REQUIRED BY THE TOWN OF NORTH CASTLE DEPARTMENT OF BUILDINGS OR ANY AND ALL JURISDICTION AUTHORITIES. CONTRACTOR SHALL OBTAIN A FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION.
- ALL WORK MUST CONFORM TO THE TOWN OF NORTH CASTLE DEPARTMENT OF BUILDINGS, FIRE DEPARTMENT LAWS, RULES AND TO ALL **REGULATIONS OF ALL AUTHORITIES HAVING** JURISDICTION WHETHER SPECIFICALLY SHOWN OR NOT. IO.S.H.A. REGULATIONS MUST ALSO BE ADHERED TO]. ALL ELECTRIC WORK MUST CONFORM TO 2020 NATIONAL ELECTRIC CODE
- ANY ITEM SHOWN ON ONE SHEET SHALL BE AS IF CALLED FOR BY ALL SHEETS. FINAL COORDINATION IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL NOT SCALE DRAWINGS AND SHALL USE FIGURED DIMENSIONS ONLY. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF BUILDINGS, [STANDARD FORM OF A.I.A. LATEST EDITION A201], ARE PART OF THE CONTRACT DOCUMENTS
- 8. WORK INCLUDED IN THESE CONTRACT DOCUMENTS TO BE ALL LABOR, MATERIALS, AND EQUIPMENT,
- 9. REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION AS SHOWN . WORK INCLUDED IN THIS CONTRACT SHALL BE ACCORDING TO THE TRUE INTENT OF THE DRAWINGS AND SHALL BE FIRST CLASS IN ALL RESPECTS.
- 10. SUBCONTRACTORS SHALL GUARANTEE, IN WRITING TO THE OWNER AT CONCLUSION OF JOB, ALL MATERIALS AND WORKMANSHIP FOR A MINIMUM OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.
- 11. THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION OR PERIODIC FIELD OBSERVATIONS AND ASSUMES NO RESPONSIBILITY FOR SAFETY METHODS ON SITE. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND **EXPENSES INCLUDING ATTORNEY'S FEES ARISING** OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.

## PLUMBING NOTES

- 1. INSTALLATION OF ALL WORK HEREIN SPECIFIED SHALL CONFORM TO THE REQUIREMENTS OF THE NY STATE PLUMBING CODE, RULES AND REGULATIONS, THE TOWN OF NORTH CASTLE BUILDING DEPARTMENT, AND ALL OTHER LOCAL AUTHORITIES HAVING JURISDICTION, INCLUDING FEDERAL O.S.H.A. SPECIFICATIONS.
- ALL MATERIALS USED SHALL BE NEW, BEST OF THEIR RESPECTIVE BRANDS AND CONFORM TO THE REQUIREMENTS OF ALL STATE AND LOCAL AUTHORITIES HAVING JURISDICTION. PIPEWORK INSTALLED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
- SOIL AND WASTE LINES [WITHIN BUILDING] ABOVE GRADE-EXTRA HEAVY CAST IRON PIPE OR DWV COPPER PIPE WITH SWEAT SOLDER CONNECTIONS;
- 4. BELOW GRADE- EXTRA HEAVY CAST IRON PIPE. SOIL AND WASTE LINES IOUTSIDE BUILDINGI EXTRA HEAVY CAST IRON PIPE. VENT PIPING STANDARD WEIGHT GALVANIZED PIPE OR TYPE DWV COPPER PIPE WITH SWEAT SOLDER JOINTS. COLD AND HOT WATER PIPING UNDERGROUND-TYPEK WITH FLARE FITTINGS
- 5. ABOVE GRADE [WITHIN BUILDING] TYPE L COPPER TUBE WITH LEAD FREE SWEAT SOLDER CONNECTIONS
- 6. SET CLEVIS HANGERS FOR THE SUPPORT OF COPPER PIPING NOT MORE THAN10 FT ON CENTER. SET HANGERS FOR CAST IRON PIPE NOT MORE THAN 5 FT APART; USE 3/8" ROD FOR PIPE UP TO 2" AND 1/2" ROD FOR PIPES, 2 1/2" AND LARGER. COVER ALL COLD WATER AND HOT WATER LINES WITH 1" THICK O-C FIBERGLASS LIGHT DENSITY ONE PIECE PIPE INSULATION HAVING FRK UNIVERSAL TYPE VAPOR BARRIER OUTERJACKET. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS. COVER ALL VALVES AND FITTINGS WITH ZESTON PREMOULDED INSULATING SHAPES.

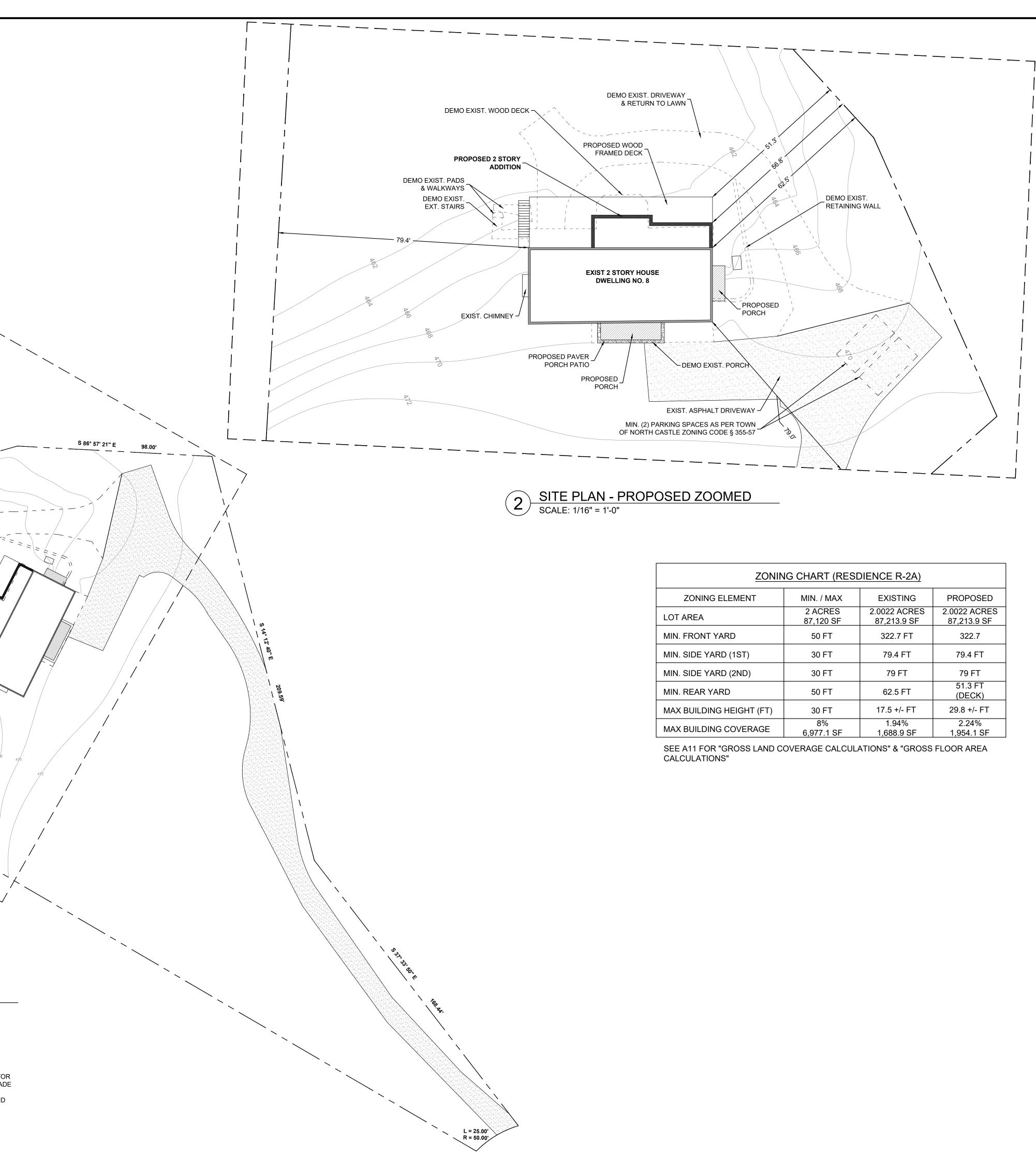






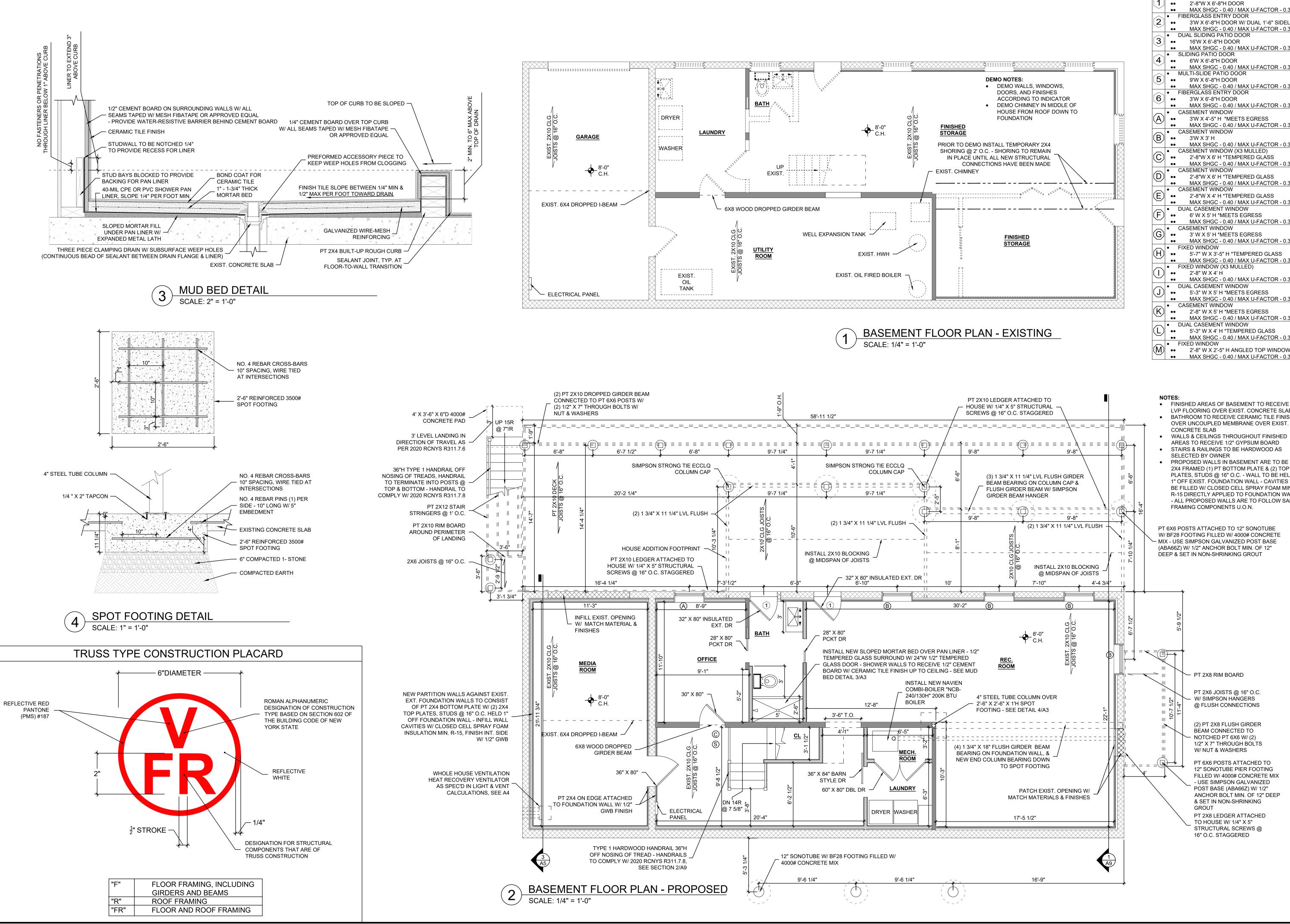
- SITE PLAN NOTES
  SITE PLAN INFORMATION TAKEN FROM SURVEY COMPLETED BY "OICLE LAND SURVEYING" ON NOVEMBER 06, 2023.
  CONTOURS ON SITE PLAN HAVE BEEN TAKEN FROM WESTCHESTER COUNTY GIS
  3 DAYS PRIOR TO COMMENCEMENT OF WORK/ EXCAVATION CONTRACTOR IS TO CALL 811 FOR LOCATIONS & IDENTIFICATIONS OF ANY BELOW GRADE LITUITIES

- UTILITIES
  EXISTING DRIVEWAY TO BE UTILIZED AS CONSTRUCTION ENTRANCE AND MATERIAL STORAGE



ZONING CHART (RESDIENCE R-2A)						
ZONING ELEMENT	MIN. / MAX	EXISTING	PROPOSED			
LOT AREA	2 ACRES 87,120 SF	2.0022 ACRES 87,213.9 SF	2.0022 ACRES 87,213.9 SF			
MIN. FRONT YARD	50 FT	322.7 FT	322.7			
MIN. SIDE YARD (1ST)	30 FT	79.4 FT	79.4 FT			
MIN. SIDE YARD (2ND)	30 FT	79 FT	79 FT			
MIN. REAR YARD	50 FT	62.5 FT	51.3 FT (DECK)			
MAX BUILDING HEIGHT (FT)	30 FT	17.5 +/- FT	29.8 +/- FT			
MAX BUILDING COVERAGE	8% 6,977.1 SF	1.94% 1,688.9 SF	2.24% 1,954.1 SF			

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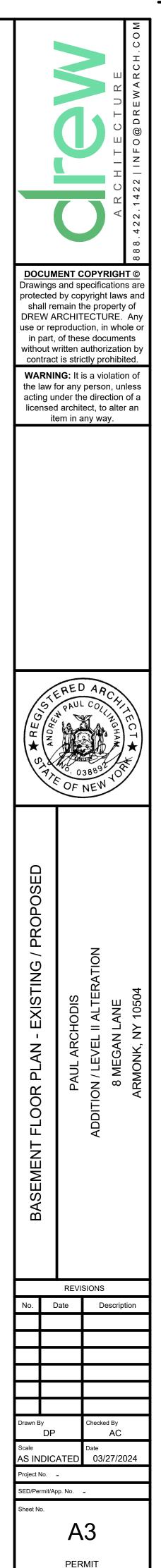


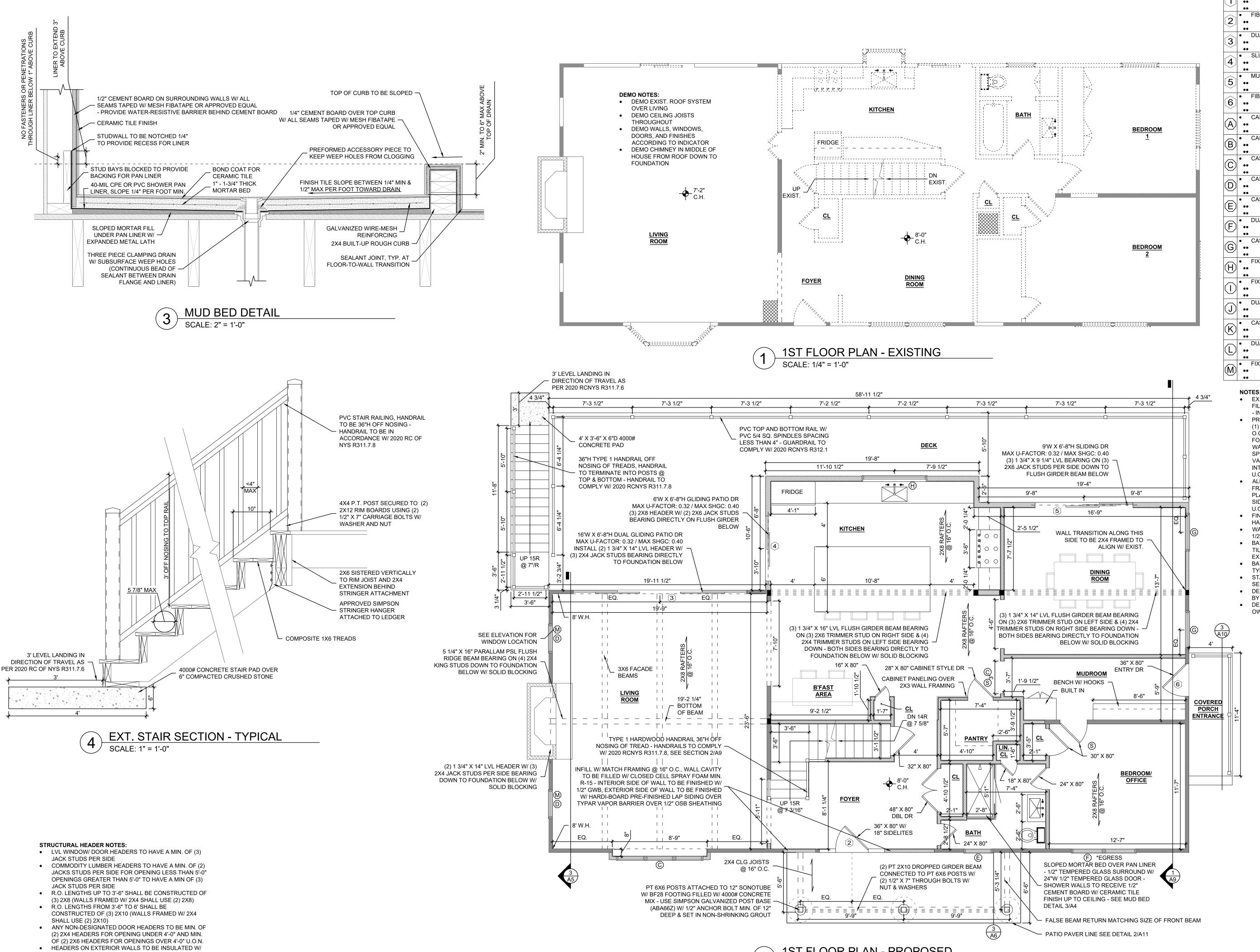
		WINDOW & DOOR SCHEDULE
	•	FIBERGLASS ENTRY DOOR
[1]	••	2'-8"W X 6'-8"H DOOR
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	FIBERGLASS ENTRY DOOR
Z	••	3'W X 6'-8"H DOOR W/ DUAL 1'-6" SIDELITES
L	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
3	•	DUAL SLIDING PATIO DOOR
$ \odot $	••	16'W X 6'-8"H DOOR MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	••	SLIDING PATIO DOOR
4		6'W X 6'-8"H DOOR
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	MULTI-SLIDE PATIO DOOR
[5]	••	9'W X 6'-8"H DOOR
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	FIBERGLASS ENTRY DOOR
[6]	••	3'W X 6'-8"H DOOR
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	CASEMENT WINDOW
(A)	••	3'W X 4'-5" H *MEETS EGRESS
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	CASEMENT WINDOW
(B)	••	3'W X 3' H
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	CASEMENT WINDOW (X3 MULLED) 2'-8"W X 6' H *TEMPERED GLASS
		MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	CASEMENT WINDOW
		2'-8"W X 6' H *TEMPERED GLASS
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	CASEMENT WINDOW
(E)	••	2'-8"W X 4' H *TEMPERED GLASS
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	DUAL CASEMENT WINDOW
(F)	••	6' W X 5' H *MEETS EGRESS
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	CASEMENT WINDOW
(G)	••	3' W X 5' H *MEETS EGRESS
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32 FIXED WINDOW
(H)	•	5'-7" W X 3'-5" H *TEMPERED GLASS
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	FIXED WINDOW (X3 MULLED)
(1)	••	2'-8" W X 4' H
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	DUAL CASEMENT WINDOW
(J)	••	5'-3" W X 5' H *MEETS EGRESS
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	CASEMENT WINDOW
(K)	••	2'-8" W X 5' H *MEETS EGRESS
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
	•	
	••	5'-3" W X 4' H *TEMPERED GLASS
	••	MAX SHGC - 0.40 / MAX U-FACTOR - 0.32 FIXED WINDOW
		2'-8" W X 2'-5" H ANGLED TOP WINDOW
		MAX SHGC - 0.40 / MAX U-FACTOR - 0.32
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- FINISHED AREAS OF BASEMENT TO RECEIVE LVP FLOORING OVER EXIST. CONCRETE SLAB BATHROOM TO RECEIVE CERAMIC TILE FINISH
- WALLS & CEILINGS THROUGHOUT FINISHED
- AREAS TO RECEIVE 1/2" GYPSUM BOARD • STAIRS & RAILINGS TO BE HARDWOOD AS
- PROPOSED WALLS IN BASEMENT ARE TO BE 2X4 FRAMED (1) PT BOTTOM PLATE & (2) TOP PLATES, STUDS @ 16" O.C. - WALL TO BE HELD 1" OFF EXIST. FOUNDATION WALL - CAVITIES TO BE FILLED W/ CLOSED CELL SPRAY FOAM MIN. R-15 DIRECTLY APPLIED TO FOUNDATION WALL - ALL PROPOSED WALLS ARE TO FOLLOW SAME

PT 6X6 POSTS ATTACHED TO 12" SONOTUBE W/ BF28 FOOTING FILLED W/ 4000# CONCRETE - MIX - USE SIMPSON GALVANIZED POST BASE (ABA66Z) W/ 1/2" ANCHOR BOLT MIN. OF 12"

> 12" SONOTUBE PIER FOOTING FILLED W/ 4000# CONCRETE MIX - USE SIMPSON GALVANIZED POST BASE (ABA66Z) W/ 1/2" ANCHOR BOLT MIN. OF 12" DEEP





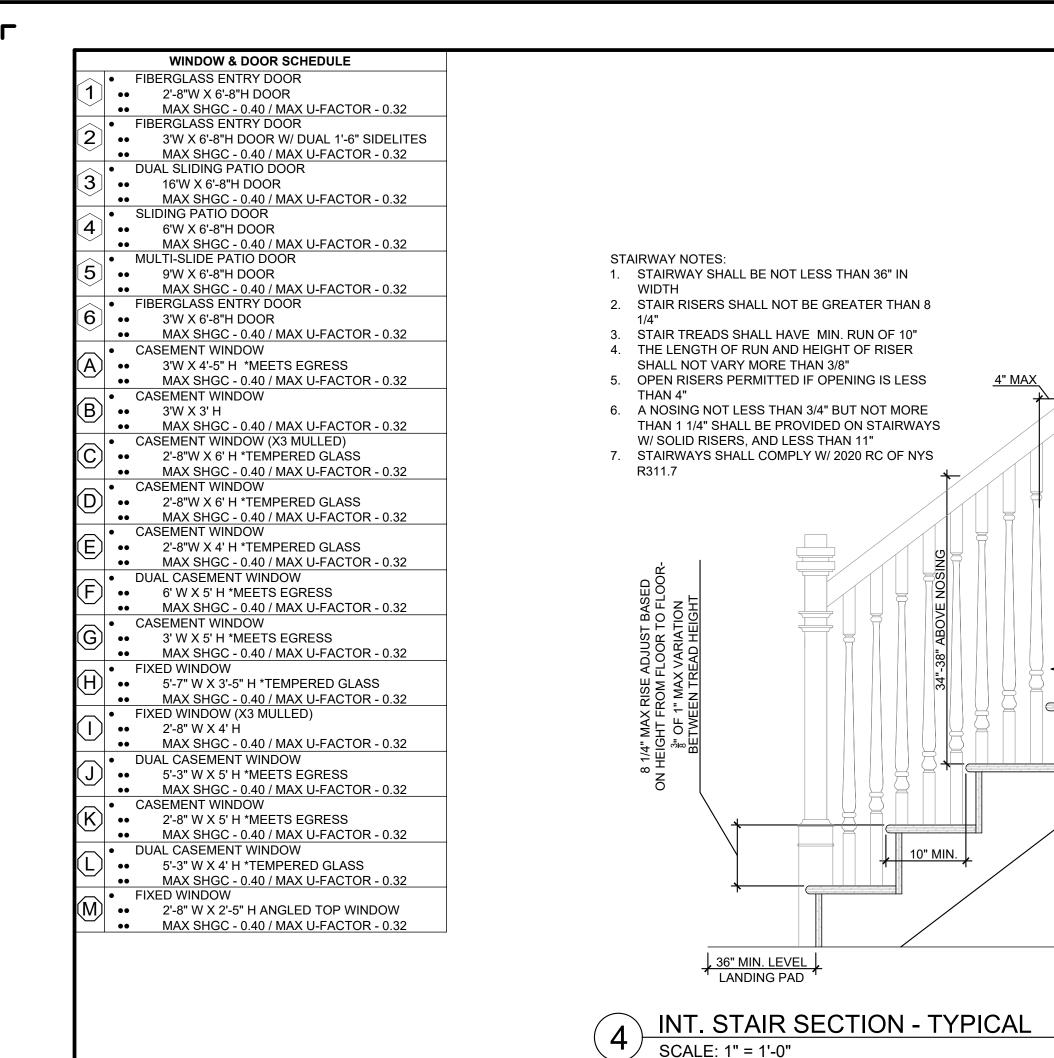
- RIGID INSULATION IF ALLOWABLE SPACE IS PERMITTED

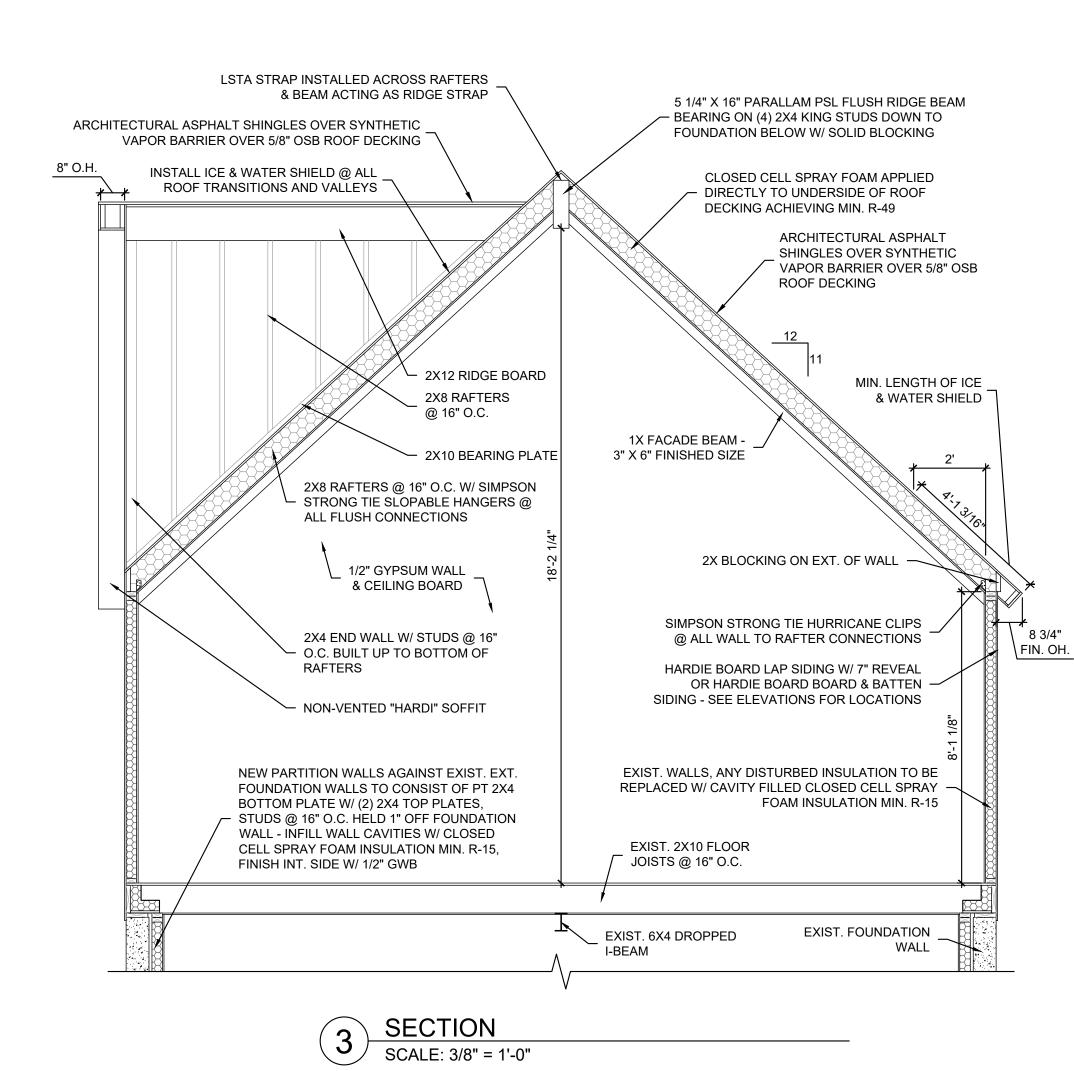
**1ST FLOOR PLAN - PROPOSED** SCALE: 1/4" = 1'-0"

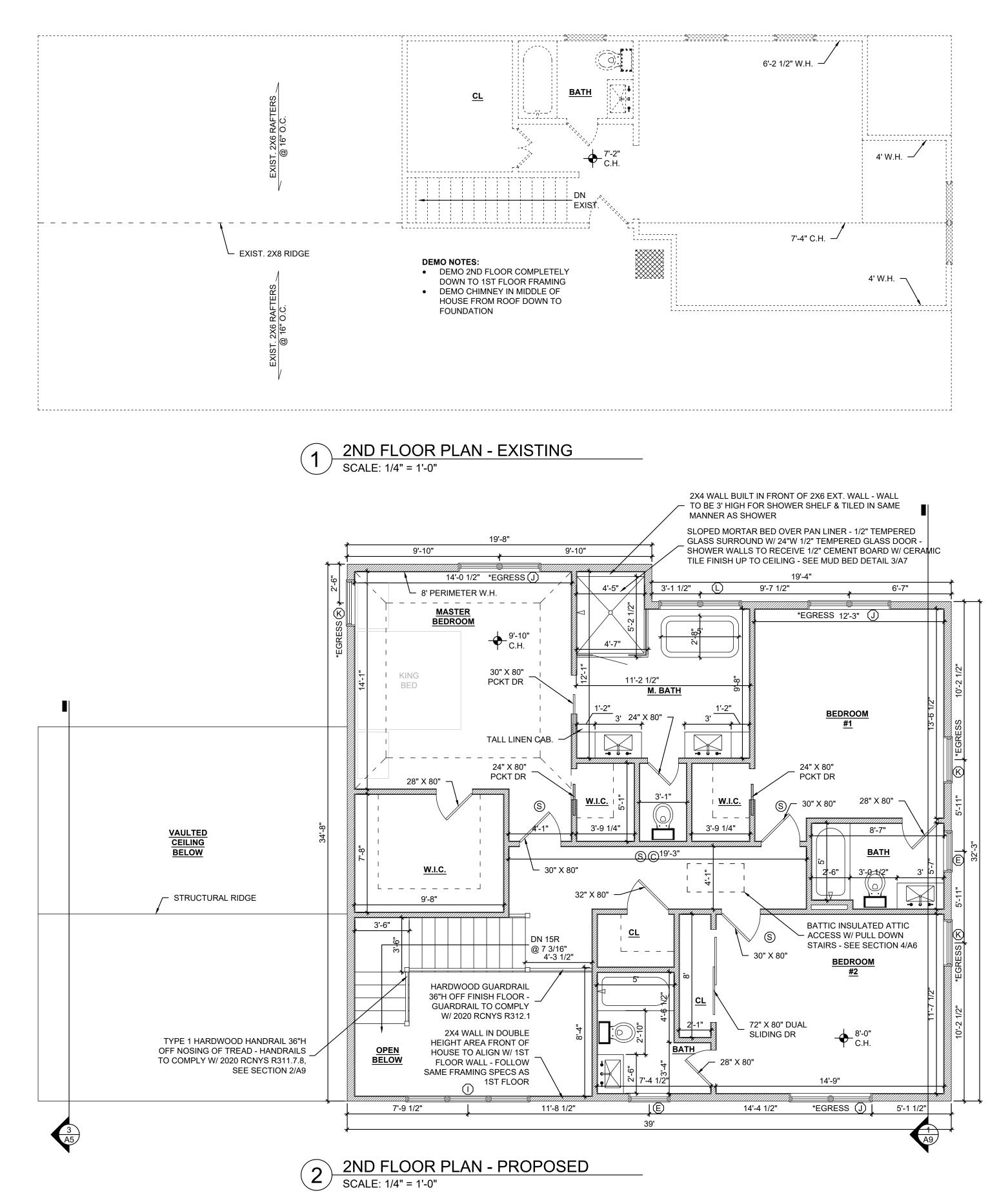
WINDOW & DOOR SCHEDULE FIBERGLASS ENTRY DOOR		
<ul> <li>2'-8"W X 6'-8"H DOOR</li> <li>MAX SHGC - 0.40 / MAX U-FACTOR - 0.32</li> <li>FIBERGLASS ENTRY DOOR</li> </ul>		
<ul> <li>3'W X 6'-8"H DOOR W/ DUAL 1'-6" SIDELITES</li> <li>MAX SHGC - 0.40 / MAX U-FACTOR - 0.32</li> </ul>		
DUAL SLIDING PATIO DOOR • 16'W X 6'-8"H DOOR • MAX SUCC. 0.40 (MAX U FACTOR 0.22)		1.
<ul> <li>MAX SHGC - 0.40 / MAX U-FACTOR - 0.32</li> <li>SLIDING PATIO DOOR</li> <li>6'W X 6'-8"H DOOR</li> </ul>		
MAX SHGC - 0.40 / MAX U-FACTOR - 0.32 MULTI-SLIDE PATIO DOOR		
<ul> <li>9'W X 6'-8"H DOOR</li> <li>MAX SHGC - 0.40 / MAX U-FACTOR - 0.32</li> <li>FIBERGLASS ENTRY DOOR</li> </ul>		
<ul> <li>3'W X 6'-8"H DOOR</li> <li>MAX SHGC - 0.40 / MAX U-FACTOR - 0.32</li> </ul>		
CASEMENT WINDOW • 3'W X 4'-5" H *MEETS EGRESS		
MAX SHGC - 0.40 / MAX U-FACTOR - 0.32 CASEMENT WINDOW		
<ul> <li>3'W X 3' H</li> <li>MAX SHGC - 0.40 / MAX U-FACTOR - 0.32</li> <li>CASEMENT WINDOW (X3 MULLED)</li> </ul>	Drawings	ENT COPY and specific by copyrigh
<ul> <li>2'-8"W X 6' H *TEMPERED GLASS</li> <li>MAX SHGC - 0.40 / MAX U-FACTOR - 0.32</li> </ul>	shall re	main the pro
CASEMENT WINDOW 2'-8"W X 6' H *TEMPERED GLASS	in part,	oroduction, i of these do
<ul> <li>MAX SHGC - 0.40 / MAX U-FACTOR - 0.32</li> <li>CASEMENT WINDOW</li> <li>2'-8"W X 4' H *TEMPERED GLASS</li> </ul>		ritten autho t is strictly p
MAX SHGC - 0.40 / MAX U-FACTOR - 0.32 DUAL CASEMENT WINDOW	the law f	<b>NG:</b> It is a vi or any perso
<ul> <li>6' W X 5' H *MEETS EGRESS</li> <li>MAX SHGC - 0.40 / MAX U-FACTOR - 0.32</li> </ul>	licensed	nder the dire l architect, te
CASEMENT WINDOW 3' W X 5' H *MEETS EGRESS	116	em in any w
<ul> <li>MAX SHGC - 0.40 / MAX U-FACTOR - 0.32</li> <li>FIXED WINDOW</li> <li>5'-7" W X 3'-5" H *TEMPERED GLASS</li> </ul>		
MAX SHGC - 0.40 / MAX U-FACTOR - 0.32 FIXED WINDOW (X3 MULLED)		
<ul> <li>2'-8" W X 4' H</li> <li>MAX SHGC - 0.40 / MAX U-FACTOR - 0.32</li> </ul>		
DUAL CASEMENT WINDOW 5'-3" W X 5' H *MEETS EGRESS		
<ul> <li>MAX SHGC - 0.40 / MAX U-FACTOR - 0.32</li> <li>CASEMENT WINDOW</li> <li>2'-8" W X 5' H *MEETS EGRESS</li> </ul>		
MAX SHGC - 0.40 / MAX U-FACTOR - 0.32 DUAL CASEMENT WINDOW		
<ul> <li>5'-3" W X 4' H *TEMPERED GLASS</li> <li>MAX SHGC - 0.40 / MAX U-FACTOR - 0.32</li> </ul>		
FIXED WINDOW 2'-8" W X 2'-5" H ANGLED TOP WINDOW MAX SUCC. 2 40 (MAX U FACTOR 22)		
•• MAX SHGC - 0.40 / MAX U-FACTOR - 0.32 OTES:		
FILLED W/ CLOSED CELL SPRAY FOAM MIN. R-21 - INTERIOR FINISHES TO BE 1/2" GWB U.O.N. PROPOSED EXT. WALLS TO BE 2X6 FRAMED W/ (1) BOTTOM & (2) TOP PLATES W/ STUDS @ 16" O.C INFILL CAVITIES W/ OPEN CELL SPRAY FOAM ACHIEVING MIN. R-21 - EXTERIOR OF WALLS TO BE FINISHED W/ "HARDIE" SIDING AS SPECIFIED ON ELEVATIONS OVER TYPAR VAPOR BARRIER OVER 1/2" OSB SHEATHING - INT. SIDE OF WALL TO BE FINISHED W/ 1/2" GWB U.O.N. ALL PROPOSED INT. PARTITION WALLS TO BE FRAMED W/ 2X4 FRAMING (1) BOTTOM & (2) TOP PLATES W/ STUDS @ 16" O.C. U.O.N BOTH SIDES OF WALL TO BE FINISHED W/ 1/2" GWB U.O.N. FINISHED FLOORS THROUGHOUT ARE TO BE HARDWOOD U.O.N. WALLS & CEILINGS THROUGHOUT TO RECEIVE 1/2" GYPSUM BOARD U.O.N. BATHROOM FLOORS TO RECEIVE CERAMIC TILE FINISH OVER 1/4" CEMENT BOARD OVER EXIST. SUB-FLOOR BATHROOM WALLS & CEILING TO RECEIVE 1/2" TYPE MR GYPSUM BOARD STAIRS & RAILINGS TO BE HARDWOOD AS SELECTED BY OWNER DECK FINISH TO BE COMPOSITE AS SELECTED BY OWNER DECK RAILINGS TO BE PVC AS SELECTED BY OWNER	AND,	PAUL ARCHODIS ADDITION / LEVEL II ALTERATION
		REVISIONS
	No. D	Date D
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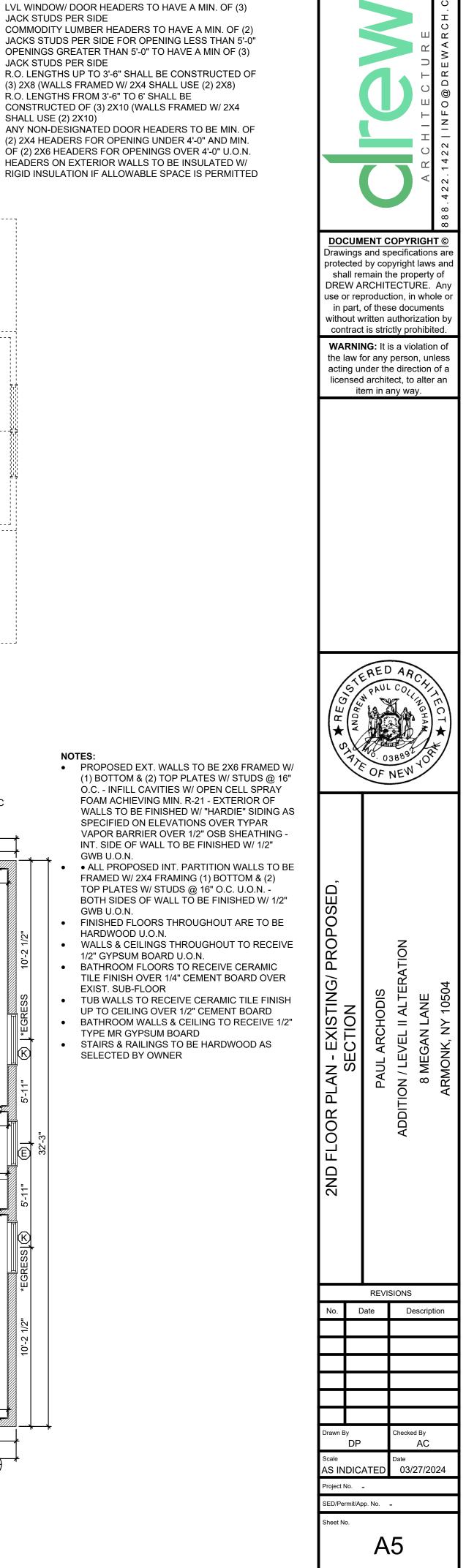
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NOTES:

STRUCTURAL HEADER NOTES:

JACK STUDS PER SIDE

JACK STUDS PER SIDE

SHALL USE (2) 2X10)

• LVL WINDOW/ DOOR HEADERS TO HAVE A MIN. OF (3)

• COMMODITY LUMBER HEADERS TO HAVE A MIN. OF (2)

R.O. LENGTHS UP TO 3'-6" SHALL BE CONSTRUCTED OF

(3) 2X8 (WALLS FRAMED W/ 2X4 SHALL USE (2) 2X8)

CONSTRUCTED OF (3) 2X10 (WALLS FRAMED W/ 2X4

ANY NON-DESIGNATED DOOR HEADERS TO BE MIN. OF

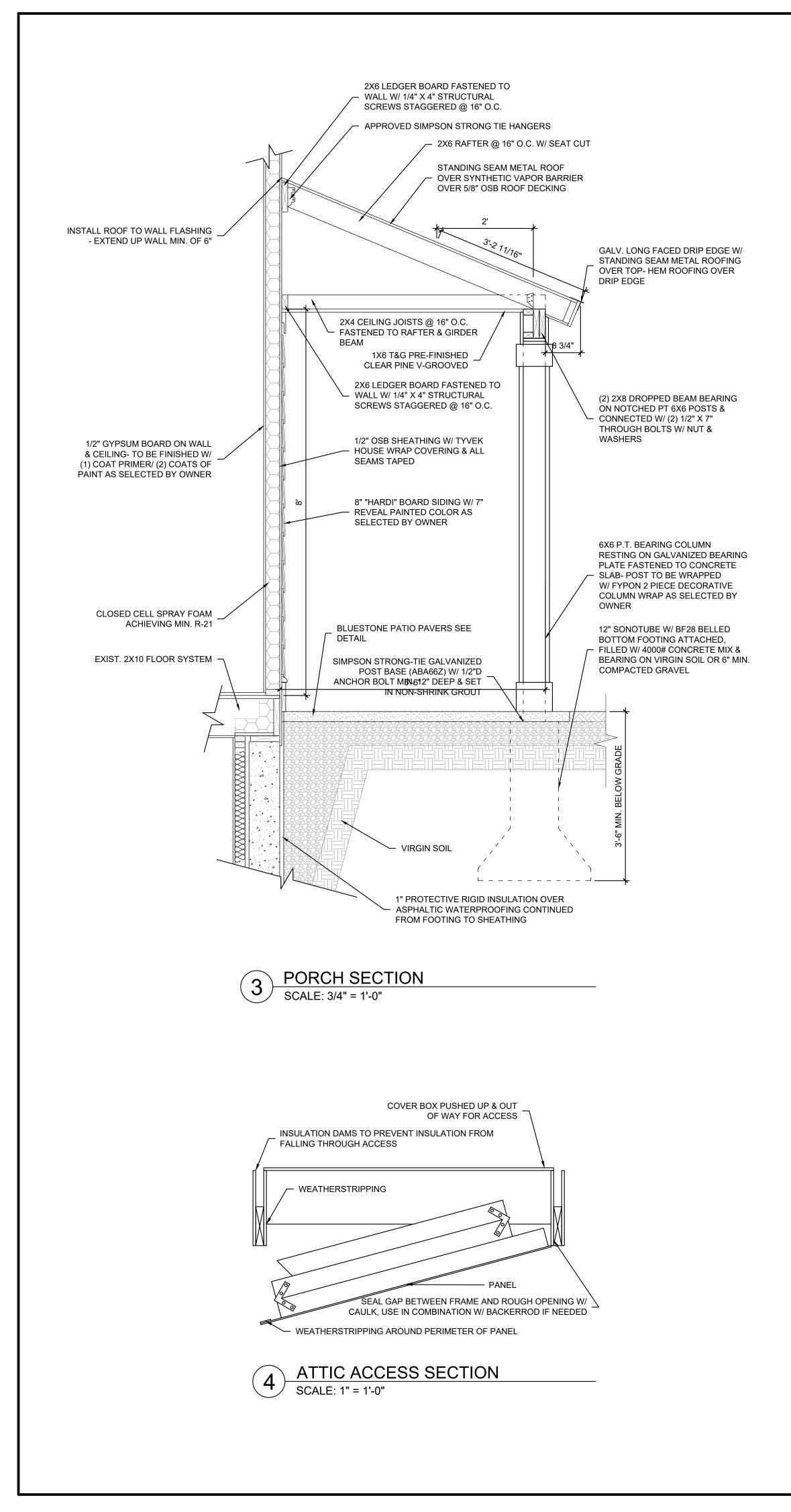
HEADERS ON EXTERIOR WALLS TO BE INSULATED W/

(2) 2X4 HEADERS FOR OPENING UNDER 4'-0" AND MIN. OF (2) 2X6 HEADERS FOR OPENINGS OVER 4'-0" U.O.N.

• R.O. LENGTHS FROM 3'-6" TO 6' SHALL BE

JACKS STUDS PER SIDE FOR OPENING LESS THAN 5'-0" OPENINGS GREATER THAN 5'-0" TO HAVE A MIN OF (3)

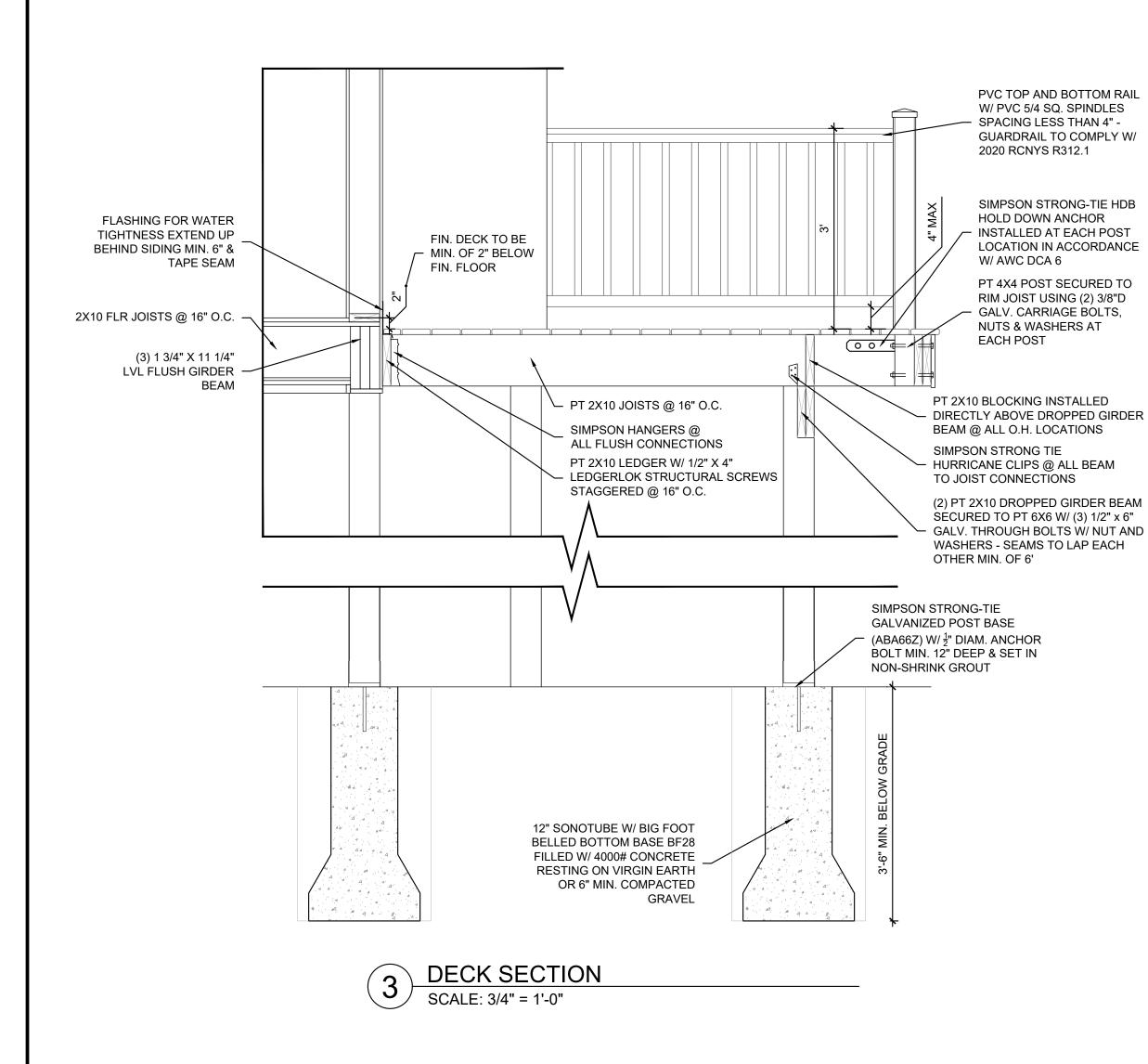
- PROPOSED EXT. WALLS TO BE 2X6 FRAMED W/ (1) BOTTOM & (2) TOP PLATES W/ STUDS @ 16" O.C. - INFILL CAVITIES W/ OPEN CELL SPRAY FOAM ACHIEVING MIN. R-21 - EXTERIOR OF WALLS TO BE FINISHED W/ "HARDIE" SIDING AS SPECIFIED ON ELEVATIONS OVER TYPAR VAPOR BARRIER OVER 1/2" OSB SHEATHING -INT. SIDE OF WALL TO BE FINISHED W/ 1/2" GWB U.O.N.
- ALL PROPOSED INT. PARTITION WALLS TO BE FRAMED W/ 2X4 FRAMING (1) BOTTOM & (2) TOP PLATES W/ STUDS @ 16" O.C. U.O.N. -BOTH SIDES OF WALL TO BE FINISHED W/ 1/2"
- GWB U.O.N. FINISHED FLOORS THROUGHOUT ARE TO BE HARDWOOD U.O.N.
- WALLS & CEILINGS THROUGHOUT TO RECEIVE 1/2" GYPSUM BOARD U.O.N.
- BATHROOM FLOORS TO RECEIVE CERAMIC TILE FINISH OVER 1/4" CEMENT BOARD OVER
- EXIST. SUB-FLOOR TUB WALLS TO RECEIVE CERAMIC TILE FINISH UP TO CEILING OVER 1/2" CEMENT BOARD
- BATHROOM WALLS & CEILING TO RECEIVE 1/2" TYPE MR GYPSUM BOARD STAIRS & RAILINGS TO BE HARDWOOD AS
- SELECTED BY OWNER

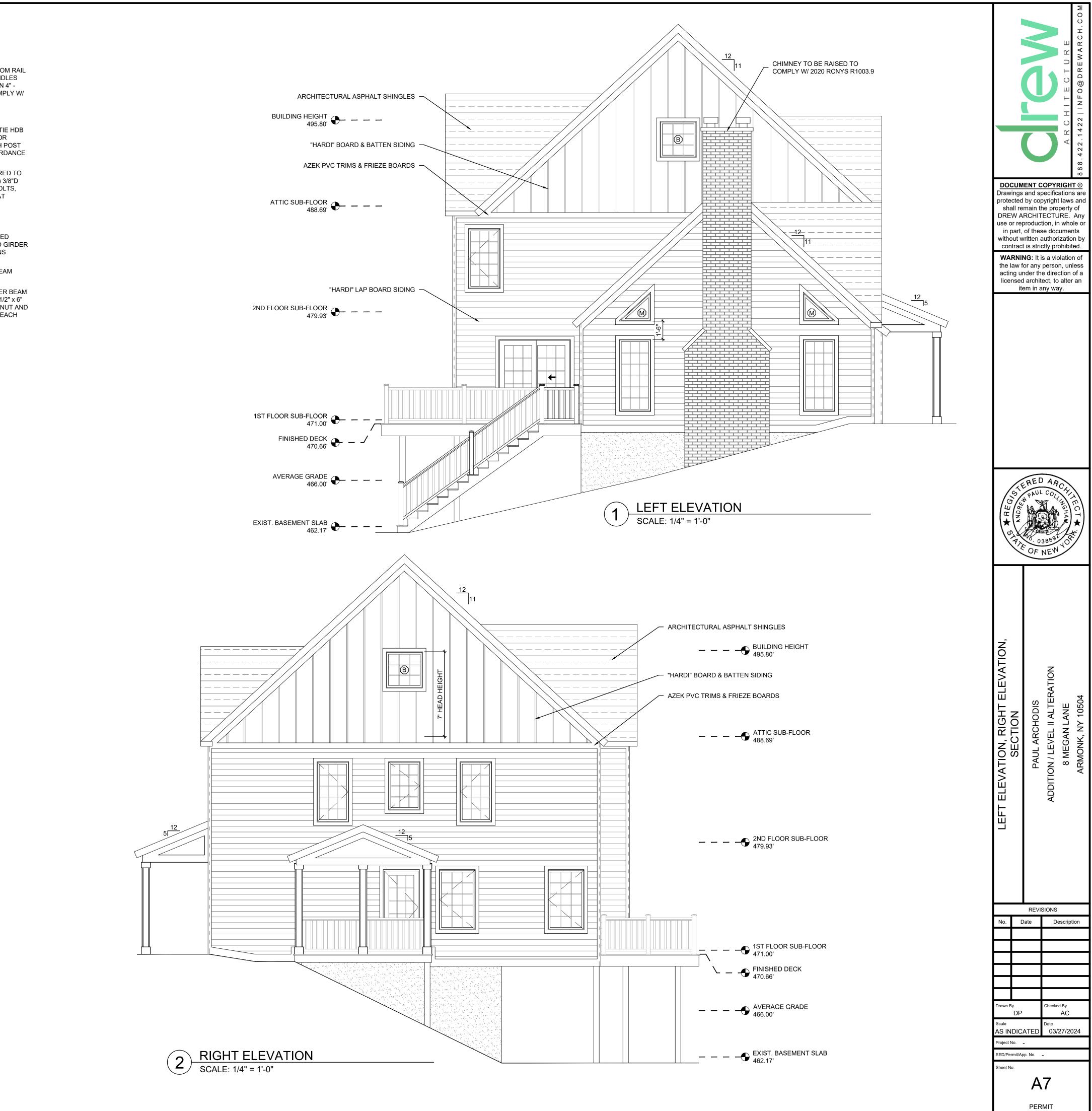


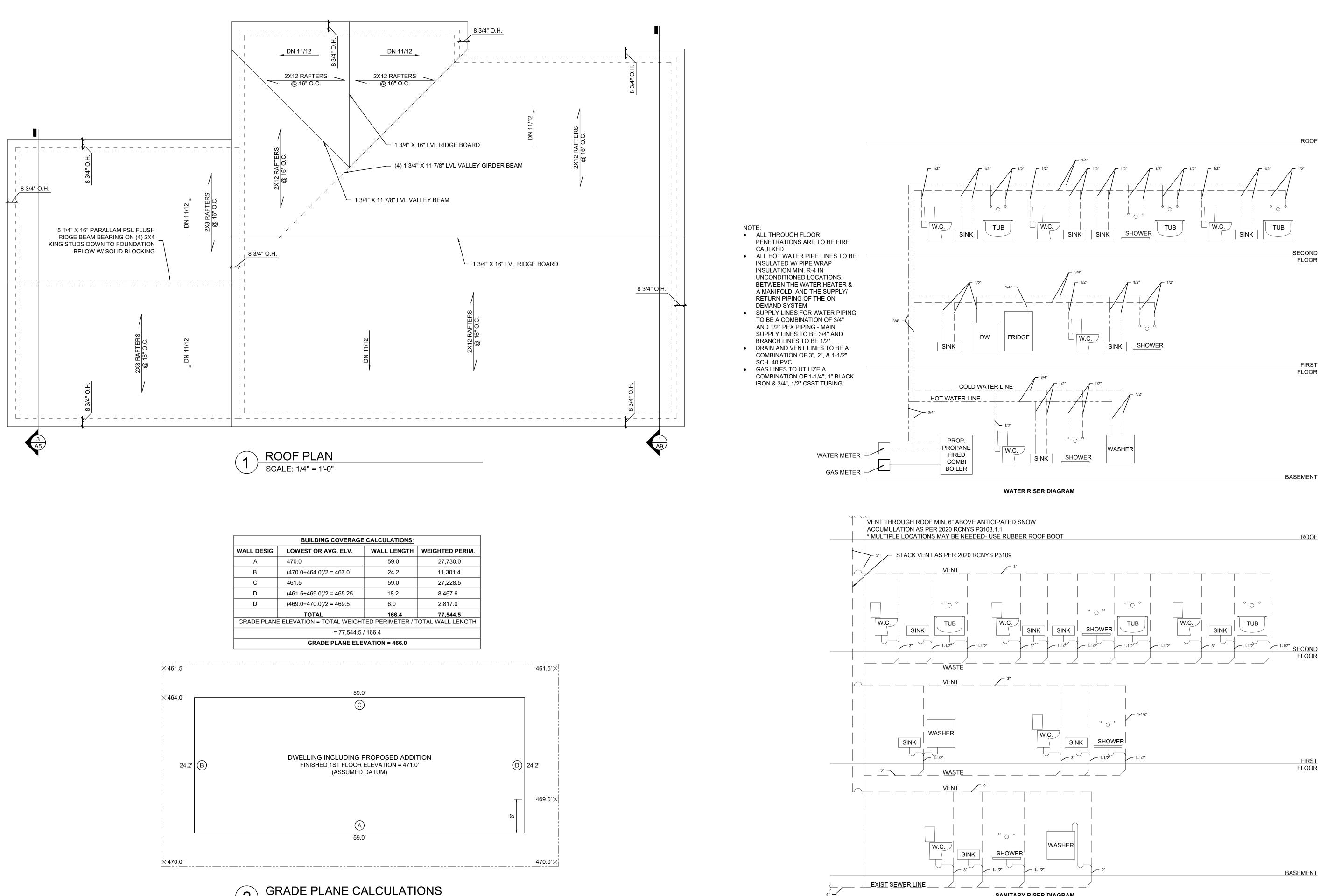




2 REAR ELEVATION SCALE: 1/4" = 1'-0"







	BUILDING COVERAGE CALCULATIONS:					
WALL DESIG	LOWEST OR AVG. ELV.	WALL LENGTH	WEIGHTED PERIM.			
А	470.0	59.0	27,730.0			
В	(470.0+464.0)/2 = 467.0	24.2	11,301.4			
С	461.5	59.0	27,228.5			
D	(461.5+469.0)/2 = 465.25	18.2	8,467.6			
D	(469.0+470.0)/2 = 469.5	6.0	2,817.0			
	TOTAL	166.4	77,544.5			
GRADE PLANE	GRADE PLANE ELEVATION = TOTAL WEIGHTED PERIMETER / TOTAL WALL LENGTH					
	= 77,544.5 / 166.4					

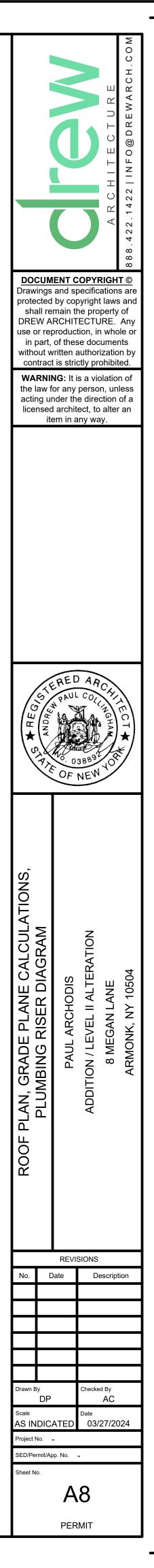
×461.5'	
×464.0'	59.0' C
24.2' B	DWELLING INCLUDING PROPOSED ADDITION FINISHED 1ST FLOOR ELEVATION = 471.0' (ASSUMED DATUM)
	<u>(A)</u> 59.0'
×470.0'	



GRADE PLANE CALCULATIONS SCALE: 1/8" = 1'-0"

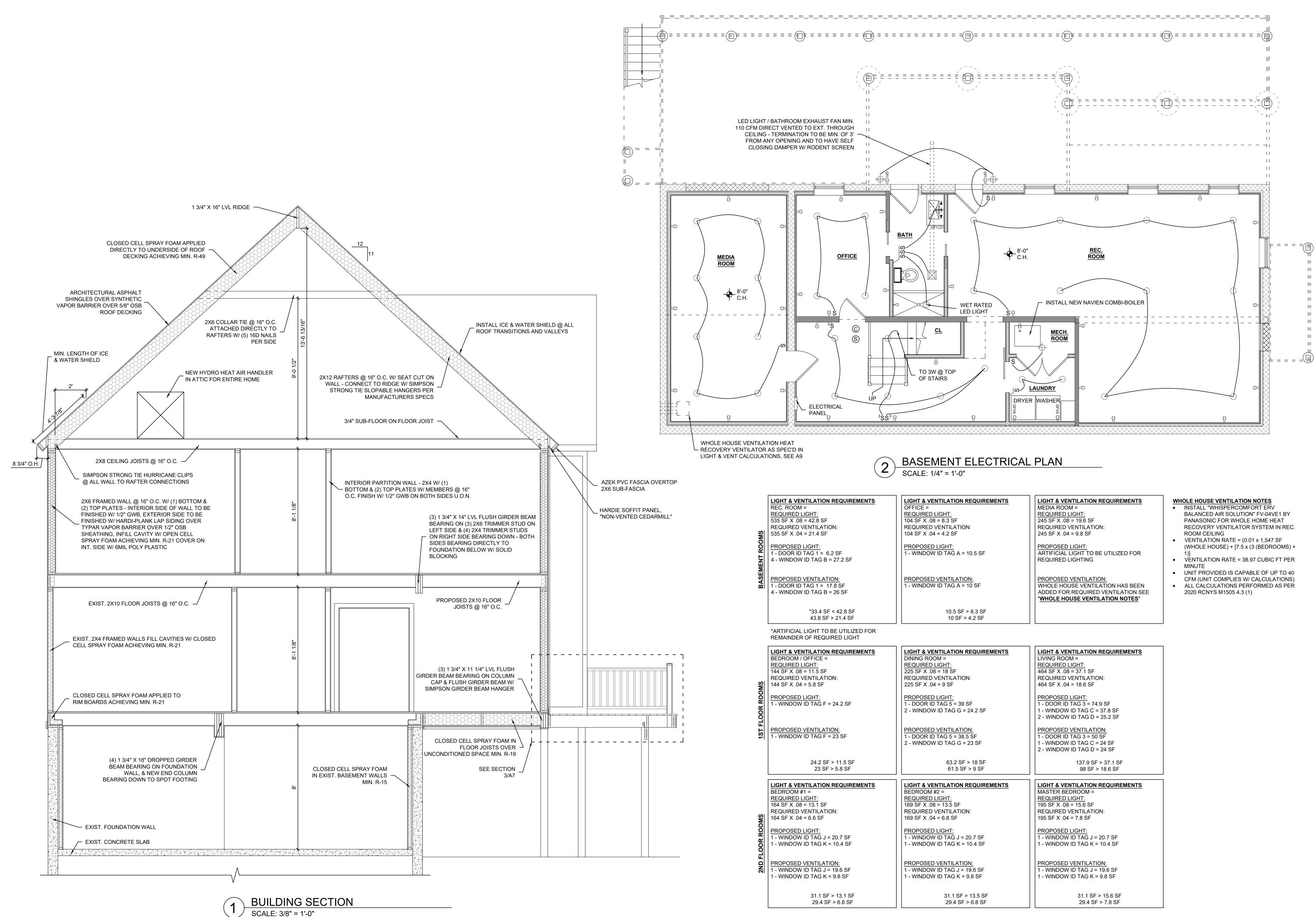
SANITARY RISER DIAGRAM





ROOF

BASEMENT



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F ATION: F A = 10.5  SF A = 10  SF A = 10  SF A = 10  SF S = 8.3  SF S = 4.2  SF	LIGHT & VENTILATION REQUIREMENTSMEDIA ROOM =REQUIRED LIGHT:245 SF X .08 = 19.6 SFREQUIRED VENTILATION:245 SF X .04 = 9.8 SFPROPOSED LIGHT:ARTIFICIAL LIGHT TO BE UTILIZED FORREQUIRED LIGHTINGPROPOSED VENTILATION:WHOLE HOUSE VENTILATION HAS BEENADDED FOR REQUIRED VENTILATION HAS BEENADDED FOR REQUIRED VENTILATION NOTES"	<ul> <li>WHOLE HOUSE VENTILATION NOTES</li> <li>INSTALL "WHISPERCOMFORT ERV BALANCED AIR SOLUTION" FV-04VE1 BY PANASONIC FOR WHOLE HOME HEAT RECOVERY VENTILATOR SYSTEM IN REC. ROOM CEILING</li> <li>VENTILATION RATE = (0.01 x 1,547 SF (WHOLE HOUSE) + [7.5 x (3 (BEDROOMS) + 1)]</li> <li>VENTILATION RATE = 38.97 CUBIC FT PER MINUTE</li> <li>UNIT PROVIDED IS CAPABLE OF UP TO 40 CFM (UNIT COMPLIES W/ CALCULATIONS)</li> <li>ALL CALCULATIONS PERFORMED AS PER 2020 RCNYS M1505.4.3 (1)</li> </ul>	ING SECTION, ELECTRICAL PLAN	Ĭ	LEVEL II ALTERATION
I <mark>ON REQUIREMENTS</mark> = ATION:	LIGHT & VENTILATION REQUIREMENTS LIVING ROOM = REQUIRED LIGHT: 464 SF X .08 = 37.1 SF REQUIRED VENTILATION: 464 SF X .04 = 18.6 SE		BUILDING BASEMENT ELE	PAI	ADDITION / LEVEL
= 39 SF 3 G = 24.2 SF	464 SF X .04 = 18.6 SF <u>PROPOSED LIGHT:</u> 1 - DOOR ID TAG 3 = 74.9 SF 1 - WINDOW ID TAG C = 37.8 SF 2 - WINDOW ID TAG D = 25.2 SF				
<u>ATION:</u> = 38.5 SF 5 G = 23 SF	PROPOSED VENTILATION: 1 - DOOR ID TAG 3 = 50 SF 1 - WINDOW ID TAG C = 24 SF 2 - WINDOW ID TAG D = 24 SF			REVISIO	ONS
2 SF > 18 SF 5 SF > 9 SF	137.9 SF > 37.1 SF 98 SF > 18.6 SF		No. [	Date	Desci
I <mark>ON REQUIREMENTS</mark> SF ATION: F	LIGHT & VENTILATION REQUIREMENTS MASTER BEDROOM = <u>REQUIRED LIGHT:</u> 195 SF X .08 = 15.6 SF REQUIRED VENTILATION: 195 SF X .04 = 7.8 SF				
i J = 20.7 SF i K = 10.4 SF	PROPOSED LIGHT: 1 - WINDOW ID TAG J = 20.7 SF 1 - WINDOW ID TAG K = 10.4 SF		Drawn By DP Scale	Da	Checked By A(
ATION: J = 19.6 SF K = 9.8 SF	PROPOSED VENTILATION: 1 - WINDOW ID TAG J = 19.6 SF 1 - WINDOW ID TAG K = 9.8 SF		AS INDIC Project No. SED/Permit/A	-	03/27/
SF > 13.5 SF 4 SF > 6.8 SF	31.1 SF > 15.6 SF 29.4 SF > 7.8 SF		Sheet No.	AS	9
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Description

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AC

03/27/2024

