



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 45 NETHERMONT AVENUE, NORTH WHITE PLAINS, NY  
10603

### Section III- DESCRIPTION OF WORK:

New Front porch and entry Stairway AT ROBERTA PLACE  
FRONT OF House TO Replace old smaller entry platform and  
steps.

### Section III- CONTACT INFORMATION:

APPLICANT: John G. Scarlato JR Architect  
ADDRESS: 33 Byram Hill Rd, Armonk NY 10504  
PHONE: (914) 273-7350 MOBILE: (914) 714-0152 EMAIL: JGScarlato@gmail.com

PROPERTY OWNER: Kenneth and Nancy Dillon  
ADDRESS: 45 Nethermont Avenue, North White Plains, NY 10603  
PHONE: \_\_\_\_\_ MOBILE: (914) 760-6155 EMAIL: Nancy@presbreytelano.com

PROFESSIONAL: John G. Scarlato JR Architect  
ADDRESS: 33 Byram Hill Rd, Armonk, NY 10504  
PHONE: (914) 273-7350 MOBILE: (914) 714-0152  
EMAIL: JG.SCARLATO@gmail.com

### Section IV- PROPERTY INFORMATION:

Zone: R-5 Tax ID (lot designation) 122.16-4-2



**Town of North Castle**  
**Residential Project Review Committee**  
17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: Dillon Residence

Initial Submittal  Revised Preliminary

Street Location: 45 Hethermont Avenue, North White Plains, NY 10603

Zoning District: R-5 Property Acreage: .335 Tax Map Parcel ID: 122.16-4-2

Date: 3/29/2024

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

<input type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input type="checkbox"/>	1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/>	2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/>	3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
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## 45 Nethermont Ave

Building



Directions



Save



Nearby



Send to  
phone

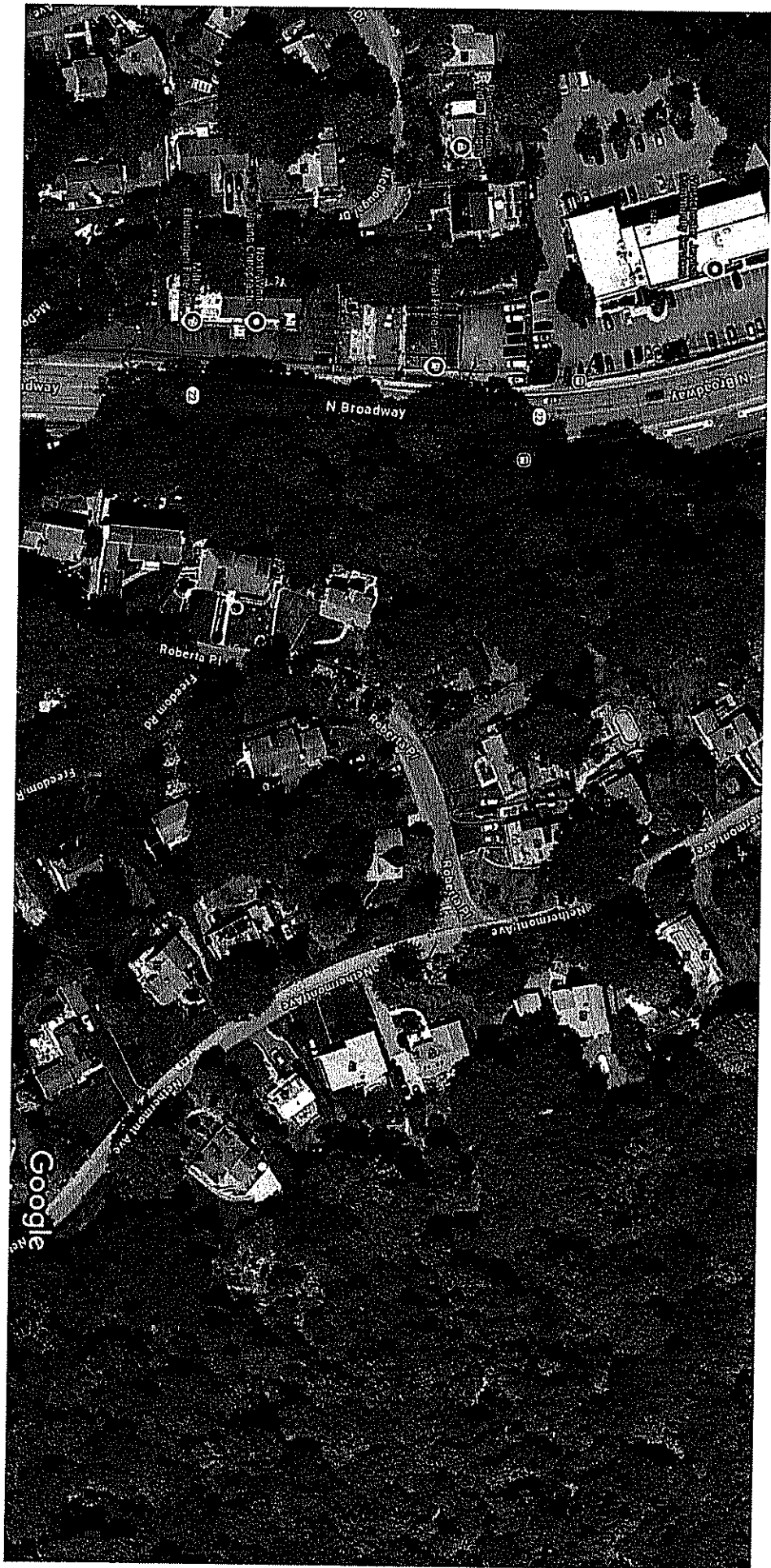


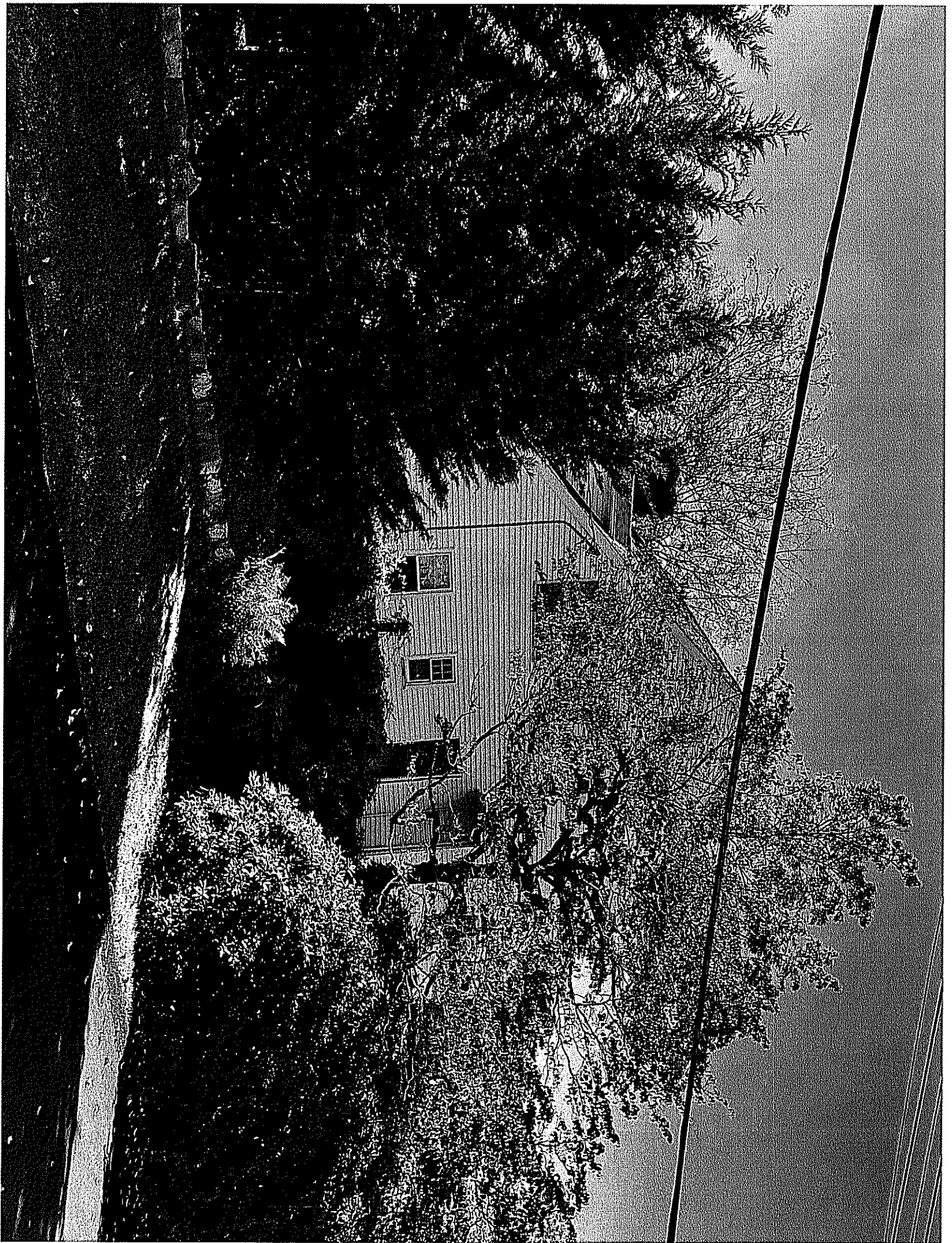
Share

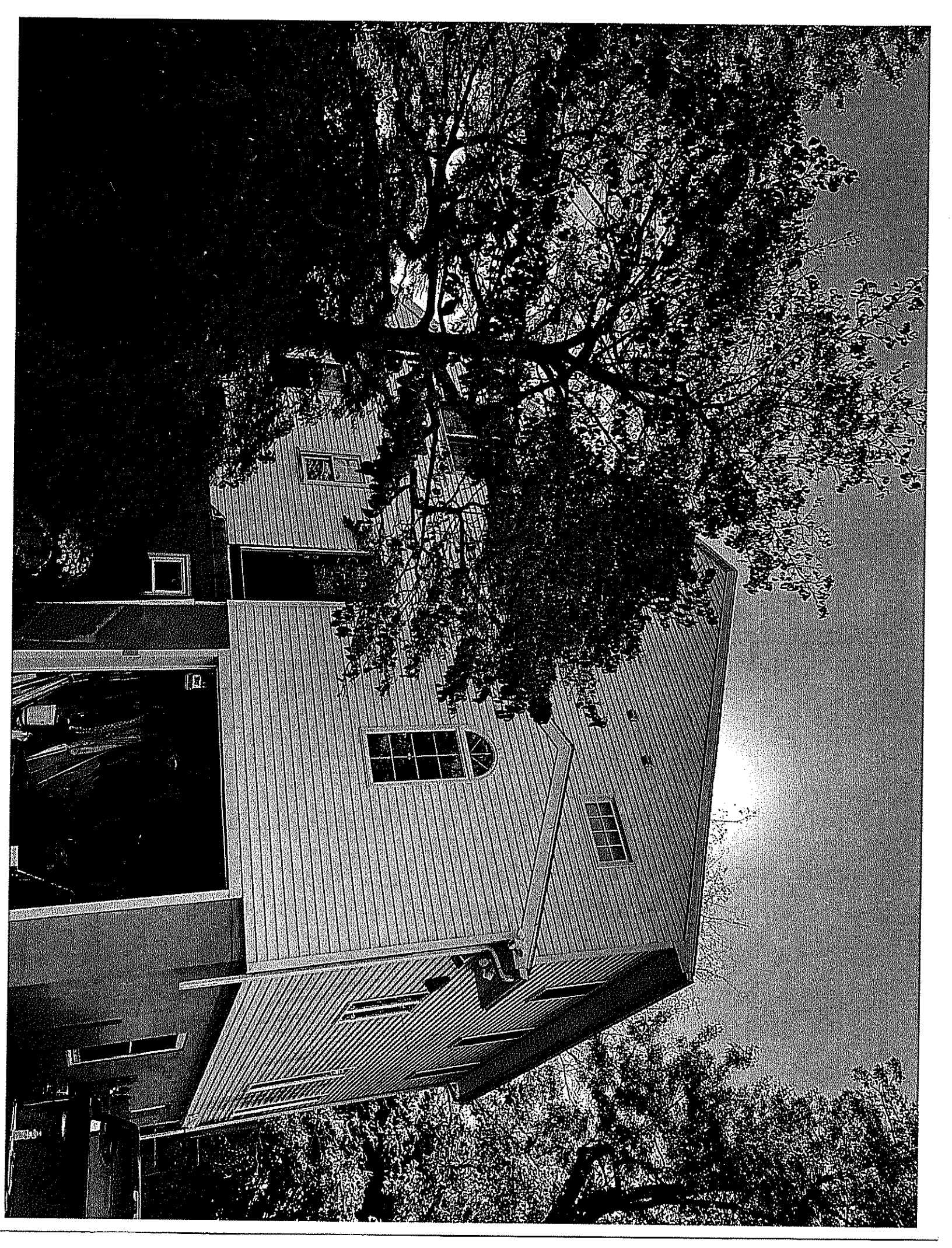


45 Nethermont Ave, White Plains, NY 10603

Photos









TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

January 29, 2019  
Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Dillon Residence Date: 3/29/2024

Tax Map Designation or Proposed Lot No.: 122.16 - 4 - 2

### Floor Area

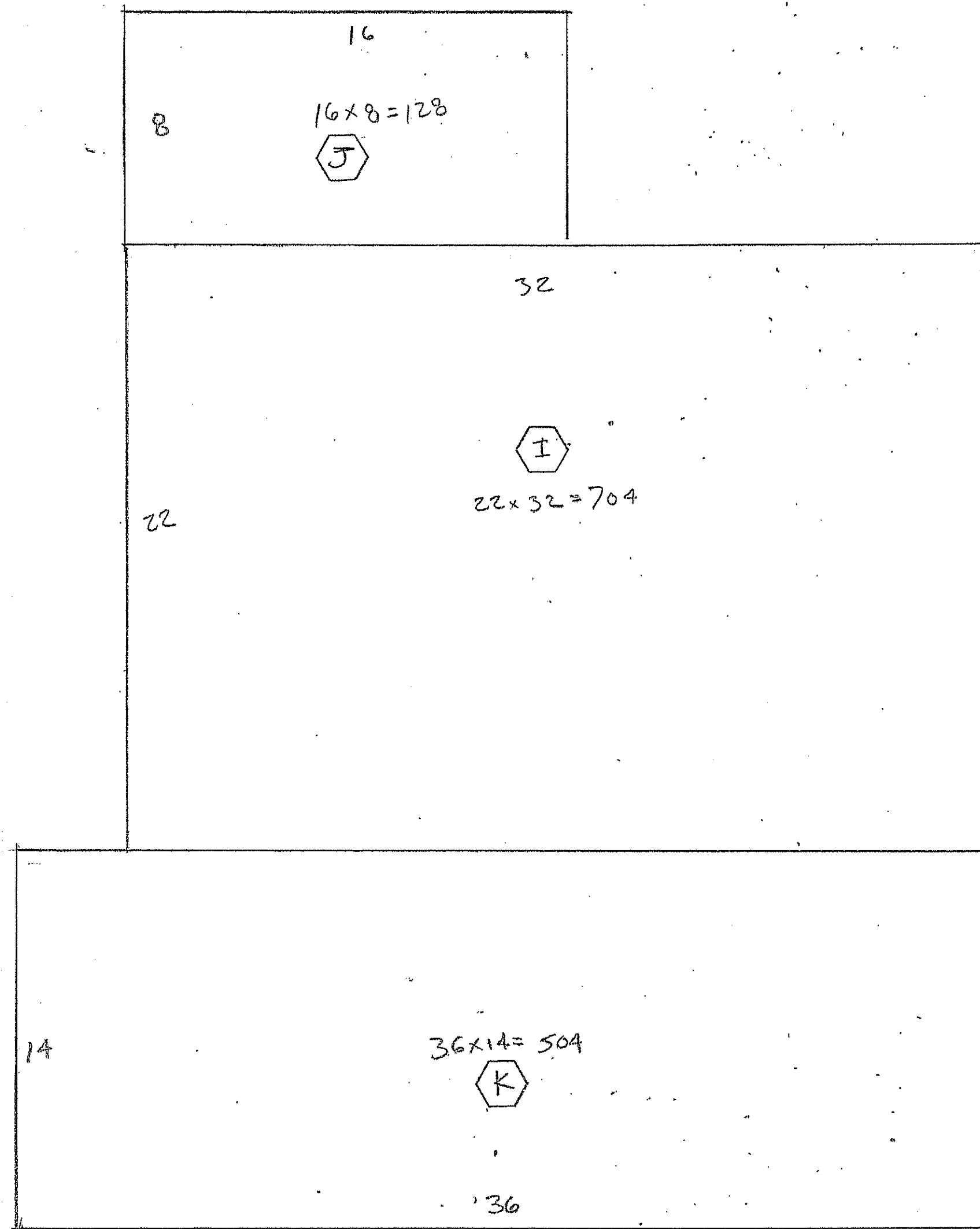
1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 14,596
2. Maximum permitted floor area (per Section 355-26.B(4)): 2500 + 2399 4899 sq ft
3. Amount of floor area contained within first floor:  
- 1304 existing + 0 proposed = 1424 - 120 open porch 1304
4. Amount of floor area contained within second floor:  
- 1182 existing + 0 proposed = 1182
5. Amount of floor area contained within garage:  
- 504 existing + 0 proposed = 504
6. Amount of floor area contained within porches capable of being enclosed:  
- 120 existing + 180 proposed = 300
7. Amount of floor area contained within basement (if applicable – see definition):  
- 832 existing + 0 proposed = 832
8. Amount of floor area contained within attic (if applicable – see definition):  
- 0 existing + 0 proposed = 0
9. Amount of floor area contained within all accessory buildings:  
- 0 existing + 0 proposed = 0
10. Proposed floor area: Total of Lines 3 – 9 = 4122

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

  
Signature and Seal of Professional Preparing Worksheet

3/29/2024  
Date





BASEMENT LEVEL FLOOR AREA DIAGRAM

SCALE 1/4" = 1'-0"

FIRST FLOOR

- (A) 35x32 = 1120
- (B) 8x16 = 128
- (C) 4x14 = 56
- (D) 15x8 = 120

TOTAL 1424 SQ FT  
EXISTING 1ST FL

SECOND FLOOR

- (E) 36x32 = 1152
- (F) 5x3 = 15
- (G) 5x3 = 15

TOTAL 1182 SQ FT  
2ND FL

- (H) 6x30 = 180
- HEH PROPOSED  
OPEN PORCH

BASEMENT

- (I) 22x32 = 704.0
- (J) 8x16 = 128

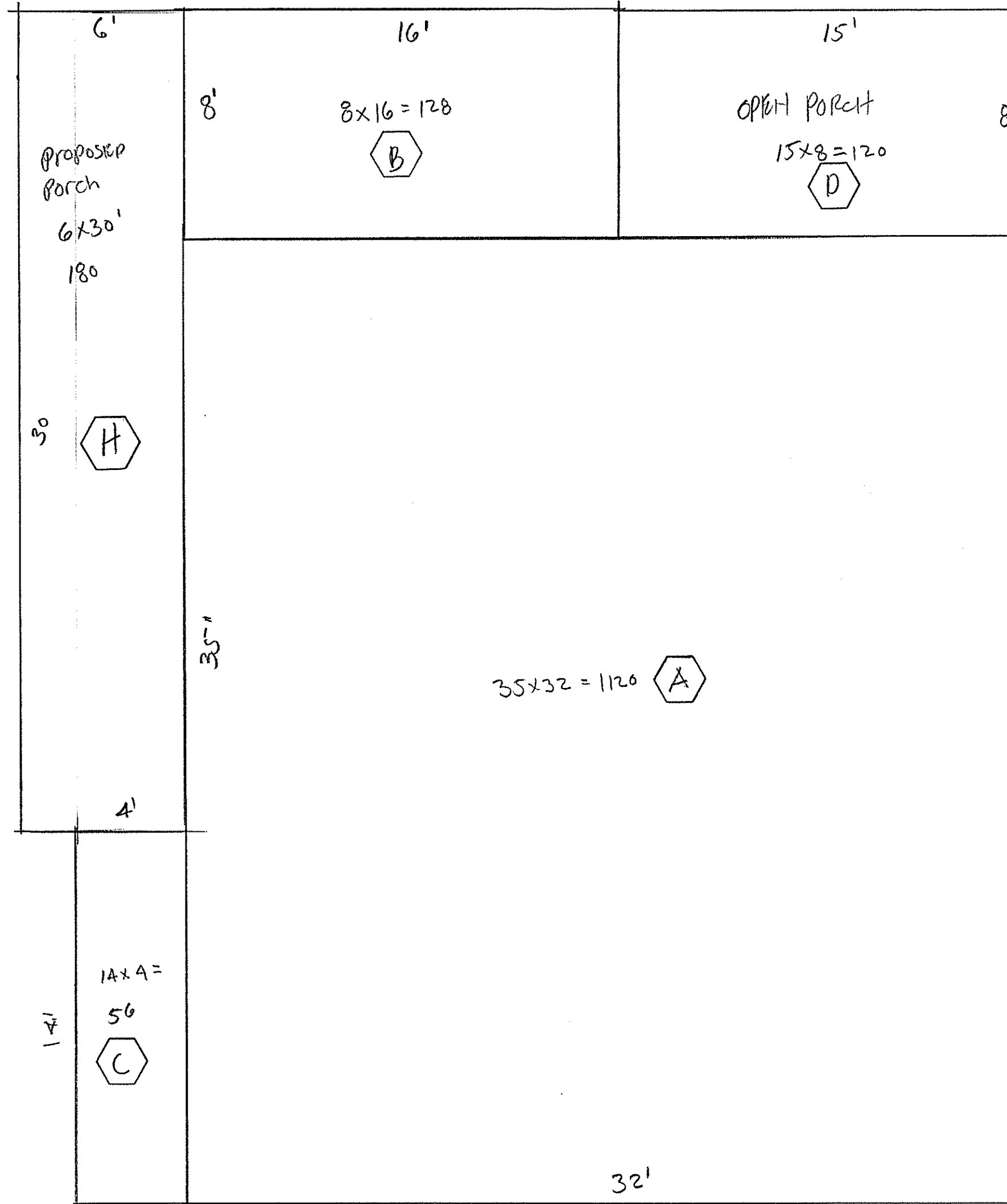
TOTAL BASEMENT 832

GARAGE

- (K) 14x36 = 504

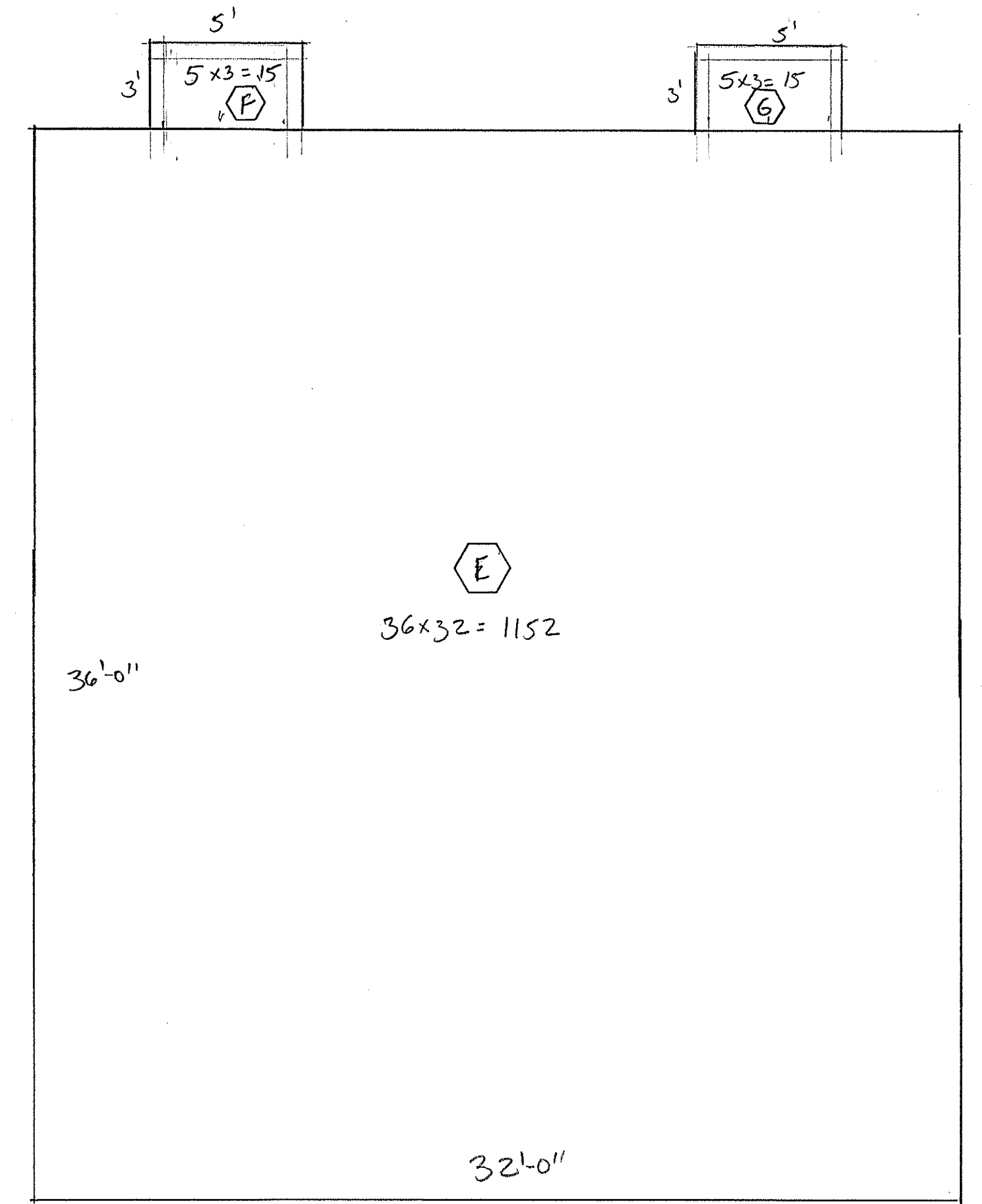
TOTAL

- FIRST FL 1424
- SECOND FL 1182
- BASEMENT 832
- GARAGE 504
- TOTAL EXIST 3942
- PROPOSED HEH 180 SQ FT
- TOTAL HEH FOR 4122 SQ FT
- ALLOWED 4899 SQ FT
- COMPLYS TO ZONING



FIRST FLOOR, FLOOR AREA DIAGRAM

SCALE 1/4" = 1'-0"



SECOND FLOOR, FLOOR AREA DIAGRAM

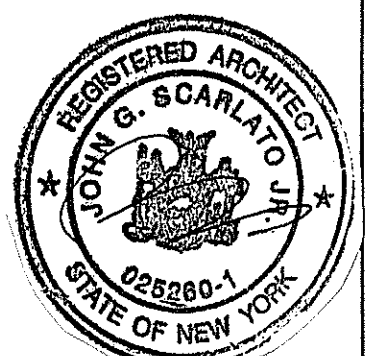
SCALE 1/4" = 1'-0"

JOHN G.  
SCARLATO JR.  
ARCHITECT  
33 BYRAM HILL RD  
ARMONK, NY 10504  
PHONE (914) 273-7350

DILLOH RESIDENCE  
45 NETHERMONT AVENUE  
NORTH WHITE PLAINS, NY 10603

HEH FRONT PORCH AND ENTRY  
STAIRS.

FAR DIAGRAM A CALCULATIONS



FAR

ISSUED 3/20/2024 FOR PERMIT



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
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PLANNING DEPARTMENT  
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**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

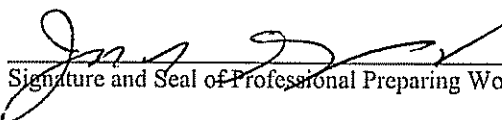
Application Name or Identifying Title: Dillon Residence Date: 3/29/2024

Tax Map Designation or Proposed Lot No.: 122.16 - 4 - 2

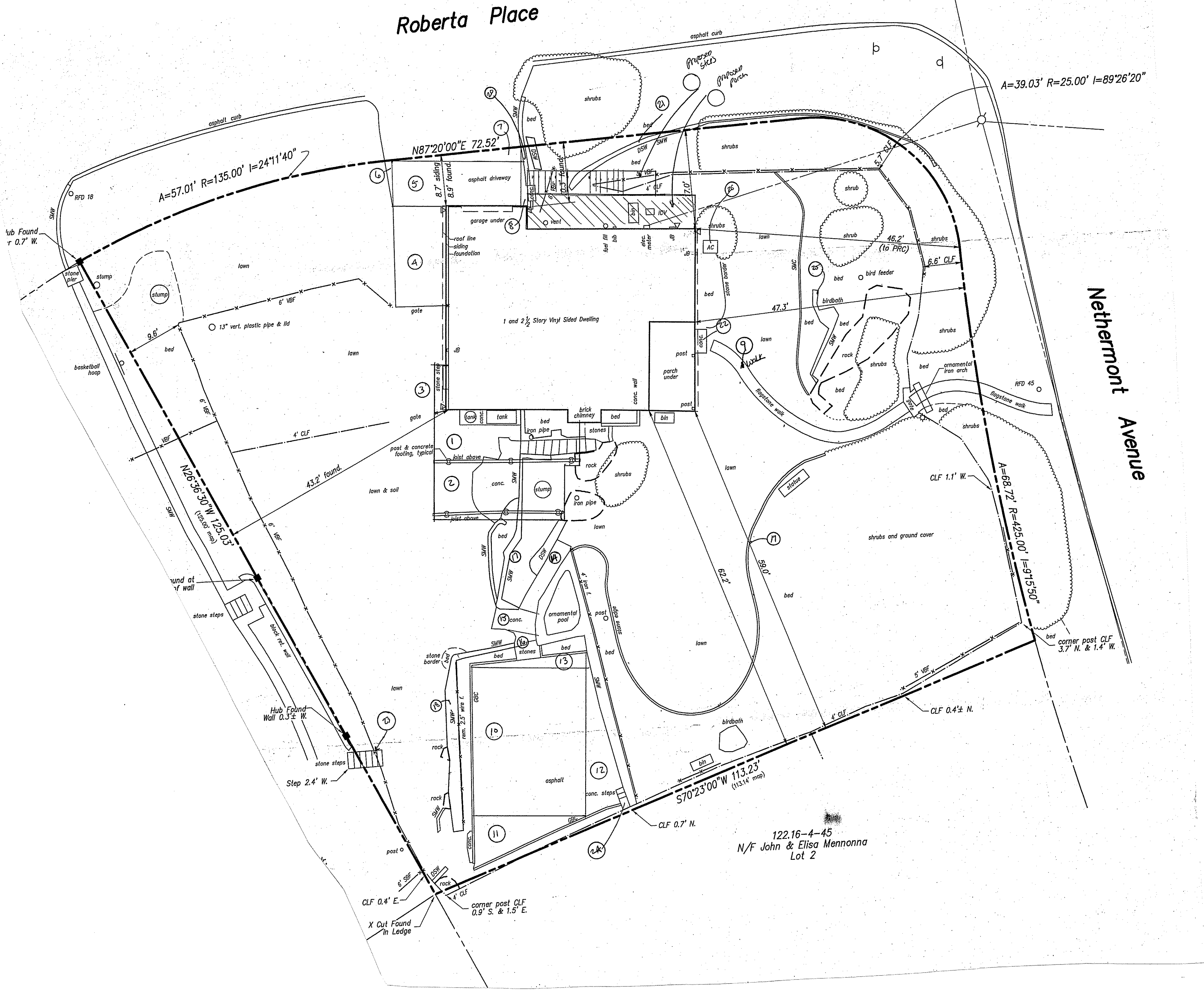
Gross Lot Coverage

- |     |   |               |
|-----|---|---------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>14,596</u> |
| 2.  | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): <del>2500</del> + 2878  | <u>5,378</u>  |
| 3.  | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):<br>Distance principal home is beyond minimum front yard setback<br>_____ x 10 = <u>0</u> | <u>0</u>      |
| 4.  | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3  | <u>5,378</u>  |
| 5.  | Amount of lot area covered by principal building:<br><u>1304</u> existing + <u>0</u> proposed =   | <u>1304</u>   |
| 6.  | Amount of lot area covered by accessory buildings:<br><u>0</u> existing + <u>0</u> proposed =   | <u>0</u>      |
| 7.  | Amount of lot area covered by decks:<br><u>482</u> existing + <u>0</u> proposed =   | <u>482</u>    |
| 8.  | Amount of lot area covered by porches:<br><u>120</u> existing + <u>180</u> proposed =   | <u>300</u>    |
| 9.  | Amount of lot area covered by driveway, parking areas and walkways:<br><u>1580</u> existing + <u>100</u> proposed =                                   | <u>1680</u>   |
| 10. | Amount of lot area covered by terraces:<br><u>0</u> existing + <u>0</u> proposed =  | <u>0</u>      |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:<br><u>12</u> existing + <u>0</u> proposed =                                    | <u>12</u>     |
| 12. | Amount of lot area covered by all other structures:<br><u>0</u> existing + <u>0</u> proposed =  | <u>0</u>      |
| 13. | Proposed gross land coverage: Total of Lines 5 - 12 =   | <u>3,778</u>  |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

  
 Signature and Seal of Professional Preparing Worksheet

3/29/2024  
 Date



- 1 Deck 9x25 = 225
- 2 Deck 23x10 = 230
- 3 Deck 3x9 = 27 → 482
- 4 Driveway 9x17 = 153
- 5 Driveway 22x8 = 176
- 6 Driveway 8x2 ÷ 2 = 8
- 7 Driveway 22x2.5 ÷ 2 = 27.5
- 8 Driveway 10x2 ÷ 2 = 10
- 9 Walk 68x2 = 136
- 10 patio 20x25 = 500
- 11 patio 20x9 ÷ 2 = 90
- 12 patio 28x8 ÷ 2 = 112
- 13 patio 20x3 ÷ 2 = 30
- 14 patio 3x13 = 39
- 15 patio 3x7 = 21
- 16 patio 5x5 = 25
- 17 wall 17x2 = 34
- 18 wall 40x1.5 = 60
- 19 wall 95x.5 = 47.5
- 20 wall 11x1 = 11
- 21 wall 22x2 = 44
- 22 step 2x4 = 8
- 23 step 5x3 = 15
- 24 steps 4x2 = 8
- 25 wall 25x1 = 25 → 1580
- 26 AC 3x4 = 12 → 1592
- 27 New Steps 24x4 = 100 → 1692

existing structure	1304 → 2996
porches	300 → 3276
Deck	482 → 3778
TOTAL Coverage	3778
Allowed	5378
under	

ISSUED FOR PERMIT 3/29/2024

JOHN G. SCARLATO JR.  
ARCHITECT  
33 BYRAM HILL RD  
ARMONK, NY 10504  
PHONE 914 273-2350

DILLOH RESIDENCE  
45 NETHERMONT AVE  
NORTH WHITEPLAINS, NY 10603

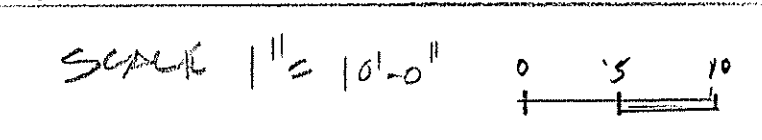
REAR FRONT PORCH AND ENTRY  
STEPS

LOT COVERAGE CALCULATION  
& DIAGRAM

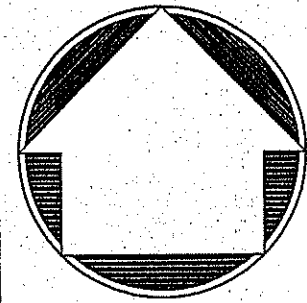


LOT  
COVERAGE

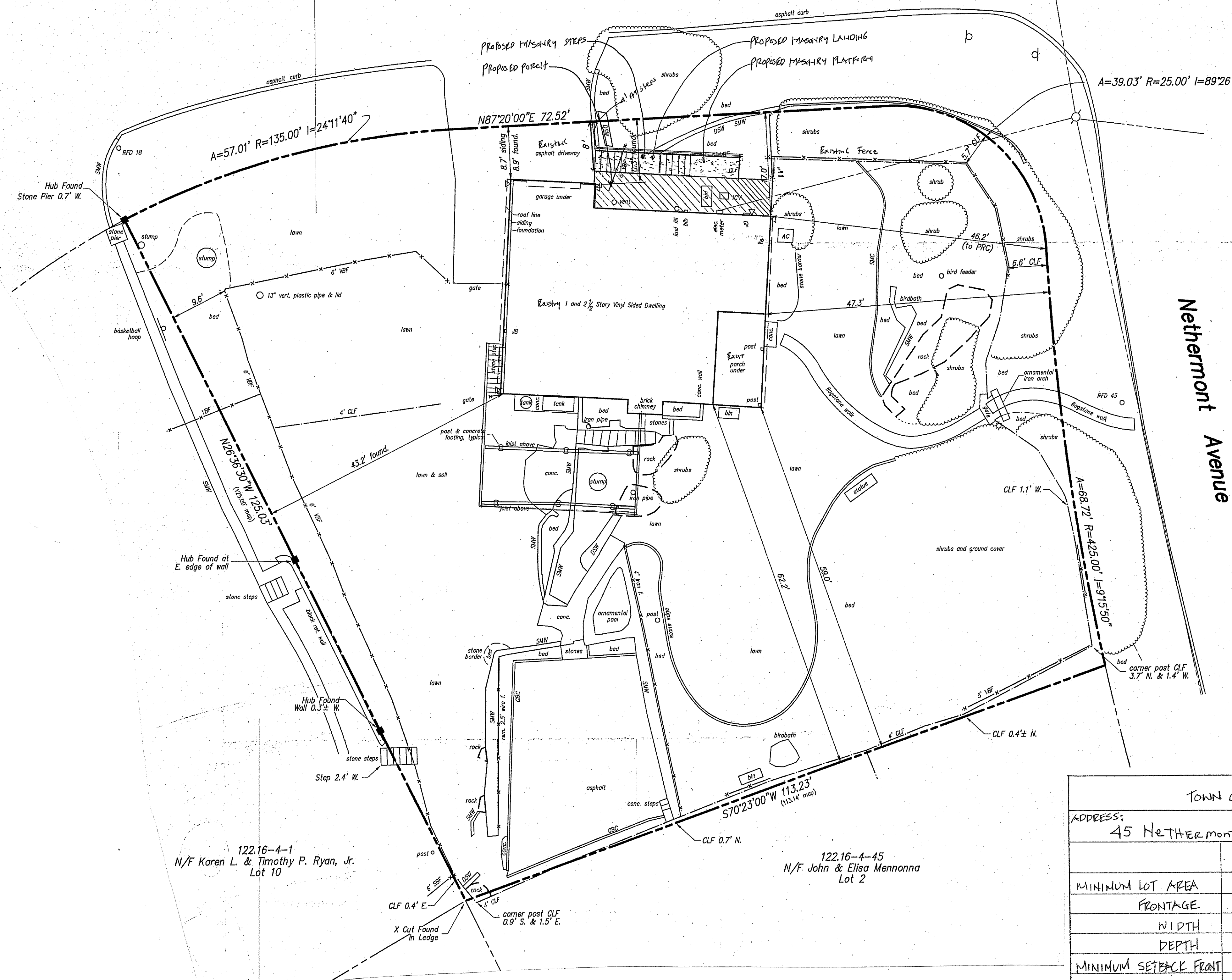
LOT COVERAGE DIAGRAM



122.16-4-45  
N/F John & Elisa Mennonna  
Lot 2



# Roberta Place



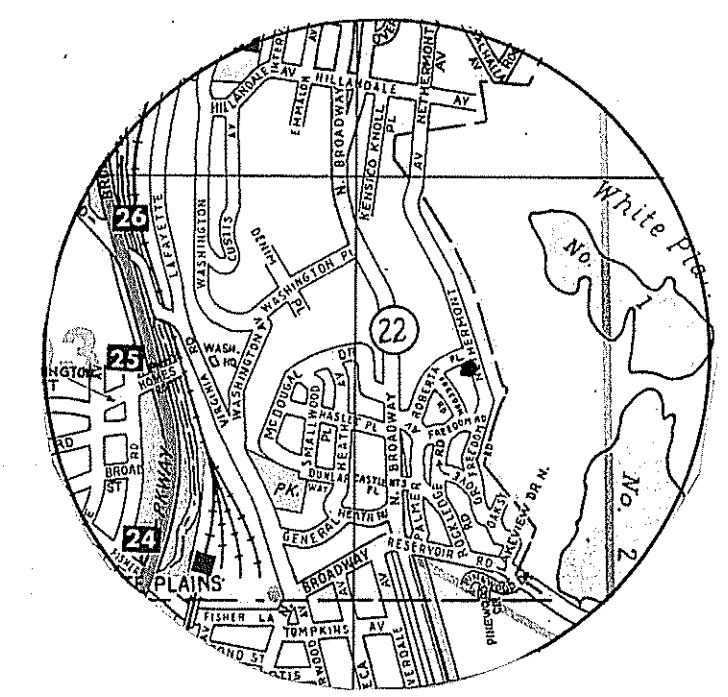
### General notes:

- THIS PROJECT IS SHALL CONFORM TO THE INDIVIDUAL CLASSIFICATION OF WORK AS DEFINED IN THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE CHAPTER 4 IDENTIFIED BELOW.
- ALL WORK SHALL ALSO CONFORM TO THE 2020 BUILDING CODE, RESIDENTIAL CODE, FIRE CODE, ENERGY CONSERVATION CONSTRUCTION CODE, MECHANICAL CODE, FUEL GAS CODE, AND PROPERTY MAINTENANCE CODE OF NEW YORK STATE AS APPLICABLE.
- CONTRACTOR SHALL PROTECT & BRACE ALL WORK FROM DAMAGE DURING CONSTRUCTION.
- ALL WORK TO BE PLUMB & TRUE. ALL PLUMBING WORK TO BE IN COMPLIANCE WITH NYS PLUMBING CODE. ALL ELECTRICAL WORK TO BE IN COMPLIANCE WITH N.E.C. ALL HVAC WORK TO BE IN COMPLIANCE WITH ASHRAE STANDARDS, LATEST EDITION. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL BE LICENSED AND INSURED. ALL PLUMBERS AND ELECTRICIANS ARE RESPONSIBLE FOR ANY ADDITIONAL PERMITS, APPROVALS AND INSPECTIONS THEIR PARTICULAR TRADE MAY REQUIRE.
- LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY FREE FROM ROT, LARGE AND LOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED. ALL NEW LUMBER SHALL CONFORM TO 2020 NEW YORK STATE BUILDING CODE CHAPTER 23. FASTENING SHALL CONFORM TO 2020 NYSBC TABLE 100.1. ALL LUMBER SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WOOD COUNCILS NATIONAL DESIGN SPECIFICATIONS FOR BENDING STRESS AND DEFLECTION, AND 2020 NYSBC 2306. ALL WORKMANSHIP INCLUDING BLOCKING, MILLING, BRIDGING, ECT. SHALL CONFORM TO THE 2020 NYSBC AND OR 2020 NYSRC. PROVIDE LEDGER, BLOCKING, NAILERS AND ROUGH FRAMING HARDWARE AS REQUIRED. ALL BEAMS, JOISTS AND RAFTERS TO BE SET WITH NATURAL CROWN UP. PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF SKYLIGHTS UNLESS OTHERWISE NOTED. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMP. ALL STRUCTURAL LUMBER INCLUDING BUT NOT LIMITED TO TJI, IGL & LVL BEAMS OR EQUIVALENT SHALL BE INSTALLED PER DRAWINGS AND MANUFACTURERS SPECIFICATIONS. ALL HANDLING AND INSTALLATION PROCEDURES MUST BE SUPPLIED BY THE MANUFACTURER AND SHALL BE FOLLOWED. TJI JOISTS AND LVL BEAMS SHALL NOT BE ALLOWED TO GET WET AT ANY TIME.
- WITH USE OF ANY TRUSS TYPE, PRE-ENGINEERED OR TIMBER CONSTRUCTION A SIGN WILL BE PLACED AT OR ADJACENT TO THE ELECTRIC METER WITH SPECIFICATIONS PROVIDED BY THE ARCHITECT.
- ALL CONCRETE WORK, DETAILS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ACI 318 AND ACI 302 OR PCA 100, AND THE 2020 NEW YORK STATE RESIDENTIAL CODE CHAPTER 8. ALL CONCRETE SHALL BE TYPE-1, 3000 PSI COMPRESSIVE AND SECURELY TIED IN PLACE SO AS TO PREVENT DISPLACEMENT DURING CONCRETING. STRENGTH AT 28 DAYS. REINFORCING BARS TO CONFORM TO 2020 NYS BUILDING CODE SECTION 1905 MODIFICATIONS TO ACI 318.
- CONTRACTORS TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL HAVING A MINIMUM SAFE BEARING CAPACITY OF 2 TONS PER SQ. FT. BRACE RETAINING WALLS OR FOUNDATION WALLS AS REQUIRED. BACKFILL WITH APPROVED MATERIAL, BACKFILLING UNDER SLABS, AROUND PIERS AND ON EACH SIDE OF FOUNDATION WALLS SHALL BE DONE IN LAYERS NOT TO EXCEED 10 INCHES. COMPACTION SHALL BE 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. EXCAVATION MUST BE FREE OF WATER WHILE FOUNDATION WORK IS IN PROGRESS. TRUCKS, BULLDOZERS OR OTHER HEAVY EQUIPMENT SHALL BE OPERATED WITH CAUTION AND IN SUCH A MANNER AS TO CAUSE NO DAMAGE TO FOUNDATION SYSTEMS.
- ALL STRUCTURAL STEEL SHALL BE NEW, CLEAN AND STRAIGHT AND SHALL CONFORM TO THE LATEST EDITION FOR A.S.T.M. DESIGNATION A-36 OR A-500 FOR ALL "I" SECTIONS. ALL STRUCTURAL STEEL WORK SHALL COMPLY WITH SPECIFICATIONS FOR THE DESIGN, FABRICATION AND CONSTRUCTION OF STRUCTURAL STEEL FOR BUILDING OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION LATEST EDITION. PROVIDE STIFFENER ANGLES OR PLATES UNDER ALL POSTS, COLUMNS OR STRUTS THAT ARE CARRIED BY STEEL BEAMS AND IN THE WEB OF BEAMS CANTILEVERED OVER COLUMNS OR BEAMS SUPPORTING HANGERS, UNLESS OTHERWISE SHOWN OR SPECIFIED PROVIDE 6x6 1/2 BEARING ON CONCRETE MASONRY IF ANY.
- HEADERS TO BE (3) 2" X 10" IN 2x6 WALLS OR (2) 2" X 10" IN 2x4 WALLS UNLESS OTHERWISE NOTED.
- INSULATION IN FLOORS, WALLS AND CEILING TO BE A COMBINATION OF FIBERGLASS BATT, CONTINUOUS RIGID, OR SPRAY FOAM OR CELLULOS INSULATION TYPES TO CONFORM TO 2020 NYS ENERGY CONSERVATION CONSTRUCTION CODE CHAPTER 4. WESTCHESTER COUNTY IS CLIMATE ZONE 4A.
- ALL FOOTINGS TO BE A MINIMUM OF 3'-6" BELOW GRADE, OR LOCAL FROST DEPTHS AS SPECIFIED BY THE ARCHITECT, UNDERPIN WHEN NECESSARY.
- HOUSE TO CONFORM TO ANY LOCAL SUPPLEMENTAL CODE.
- PROVIDE BLOCKING AS REQUIRED TO BEARING POSTS ONTO GIRDER OR BEAM CONDITIONS AND VERIFY ALL BEARING TO FOOTING.
- TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH 2020 N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE SECTIONS 101.4 HANDRAILS AND 101.4 GUARDS.
- ALL ROOF FRAMING SYSTEMS SHALL BE INSTALLED WITH HIGH WIND CONNECTORS (HURRICANE TIES) IN COMPLIANCE WITH 2020 N.Y.S. BUILDING CODE.
- ALL POSTS TO FOUNDATION FOR THE PURPOSE OF SUPPORTING THE ROOF OR OTHER STRUCTURAL ELEMENTS SHALL BE BLOCKING AS SPECIFIED BY THE ARCHITECT OR A NOMINAL DIMENSION OF 4x4 FROM STRUCTURAL ELEMENT TO BE SUPPORTED CONTINUOUSLY TO A SOLID MASONRY FOUNDATION THAT EXTENDS BELOW REQUIRED FROST DEPTH AND RESTS ON A FOOTING OF TYPICAL CONSTRUCTION.
- ALL SIMPSON STRONG TIE CONNECTORS AND ANCHORS ARE DESIGNED WITH SPECIFIC LOADS AND CAPACITIES. SUBSTITUTIONS OF THESE HANGERS FOR DIFFERENT MODEL NUMBERS THAN I SPECIFIED BY THE ARCHITECT OR ENGINEER IS FORBIDDEN WITHOUT VERIFYING THE REPLACEMENT PART WITH THE DESIGN PROFESSIONAL.

ALTERATION-LEVEL 3  
 804.1 SCOPE. LEVEL 3 ALTERATIONS APPLY WHERE THE WORK AREA EXCEEDS 50 PERCENT OF THE BUILDING AREA.  
 804.2 APPLICATION. LEVEL 3 ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 7 AND 8 FOR LEVEL 1 AND 2 ALTERATIONS, RESPECTIVELY, AS WELL AS THE PROVISIONS OF CHAPTER 8, SECTION 805.

### CLIMATIC & GEOGRAPHIC DESIGN CRITERIA FOR RESIDENTIAL DISTRICTS

CLIMATE ZONE	GROUND SNOW LOAD (psf)	WIND SPEED (mph)	TOPOGRAPHIC WIND SPEED EFFECTS	REGION	SPECIAL WIND (BORNE) DEPTHS ZONE	DESIGN WIND CATEGORY	WEATHERING SEVERE	FROST LINE DEPTH	TERMINAL PROTECTION REQUIRED	WIND DESIGN TEMP. (F)	ICE BARRIER REQUIREMENT	FLOOD HAZARDS (NO)	AIR FREEZE INDEX	MEAN ANNUAL TEMPERATURE
4a (most)	20 PSF	119/120	NO	NO	NO	B	SEVERE	42"	YES	15	REQ'D	3619 COSE 2'	500	52.2



LOCATION MAP

ISSUED FOR PERMIT 3/29/2024

122.16-4-1  
 N/F Karen L. & Timothy P. Ryan, Jr.  
 Lot 10

122.16-4-45  
 N/F John & Elisa Mennonna  
 Lot 2

Plot Plan  
 SCALE 1" = 10'-0"

TOWN OF NORTH CASTLE ZONING COMPARISON CHART			
ADDRESS:	SECTION/BLOCK/LOT:	ZONE:	
45 NETHERMONT AVE	122.16 - 4 - 2	R-5	
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	5000 sq ft	14,596	14,596
FRONTAGE	50 FT	96	96
WIDTH	50 FT	95	95
DEPTH	100 FT	112	112
MINIMUM SETBACK FRONT	30 FT	3.9	8 ft porch 4 ft steps
SIDE	8 FT MIN TOTAL 18	43.2	43.2
REAR	30 FT	59	59
MAXIMUM BLDG HGT. STORES	2 1/2 story	2 1/2	2 1/2
FEET	30 FT	30 FT	30 FT
MAXIMUM BLDG COVERAGE	30%		
MINIMUM DWELLING UNIT SIZE	800 sq ft		
BASIC PERMITTED FLOOR AREA			
MAX PERMITTED FLOOR AREA			
BASIC PERMITTED GROSS LAND CON.			
MAX PERMITTED GROSS LAND CON.			

John G. Scelato Jr.  
 ARCHITECT  
 33 BYRAM HILL RD  
 ARMONK, NY 10504  
 PHONE (914) 273-7350

PILLON RESIDENCE  
 45 NETHERMONT AVE  
 NORTH WHITE PLAINS, NY

NEW FRONT PORCH AND ENTRY  
 STAIRWAY

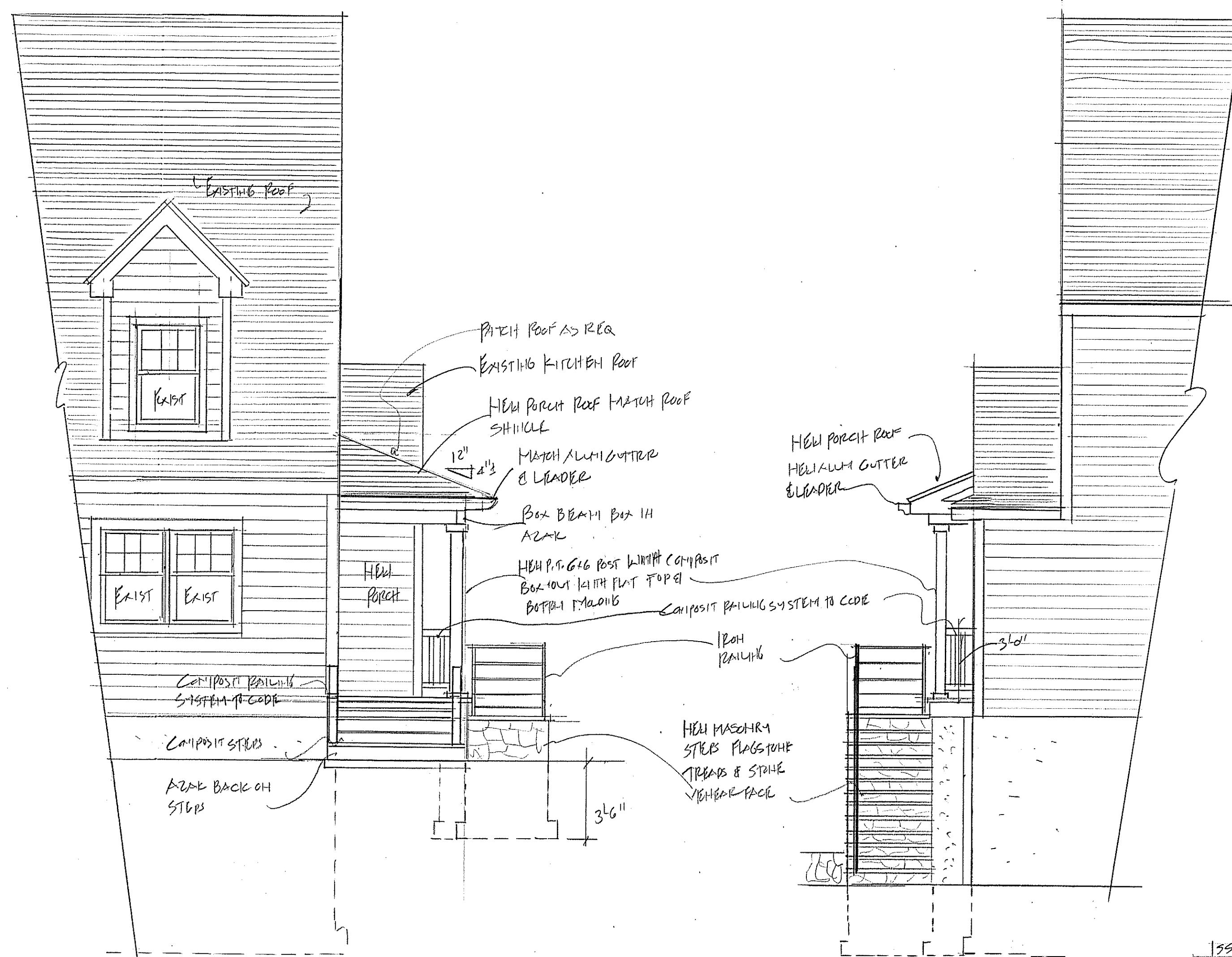
Plot Plan, Zoning Chart  
 GENERAL NOTES



A-1



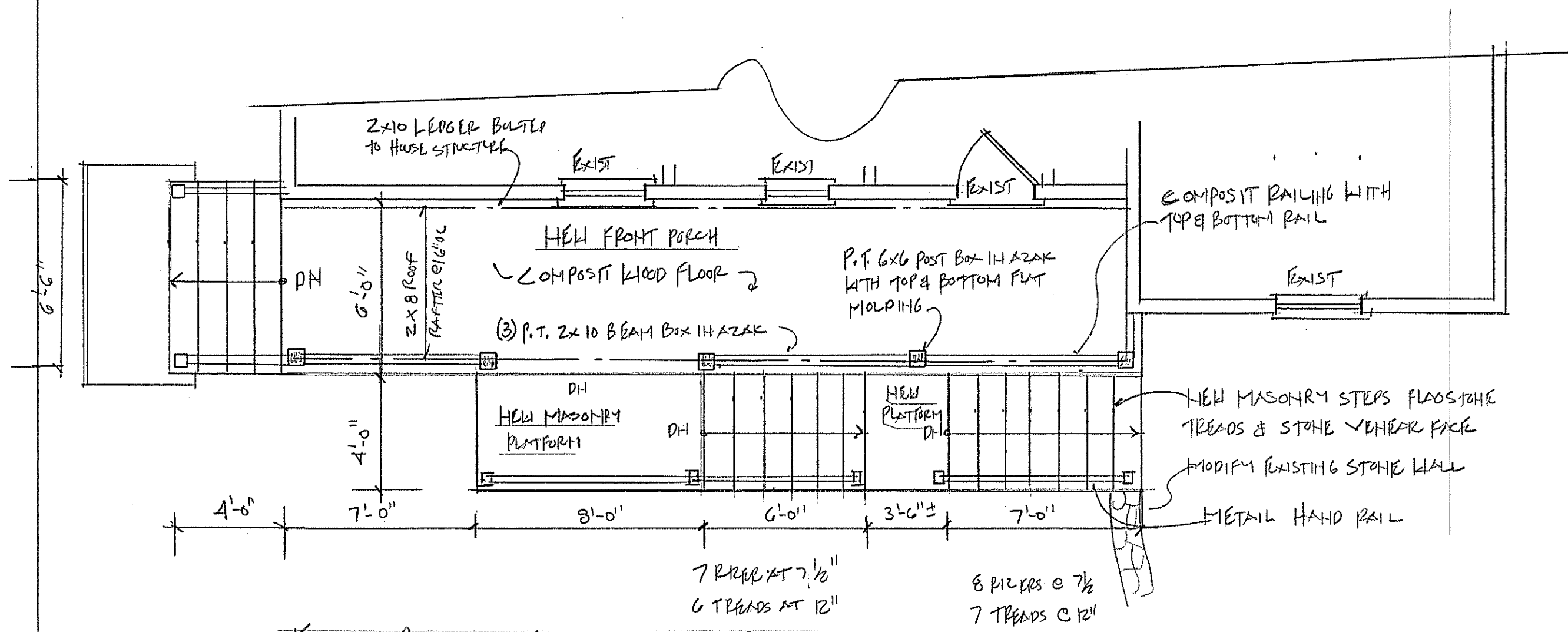
ROBERTA PLACE FRONT ELEVATION  
SCALE 1/4" = 1'-0"



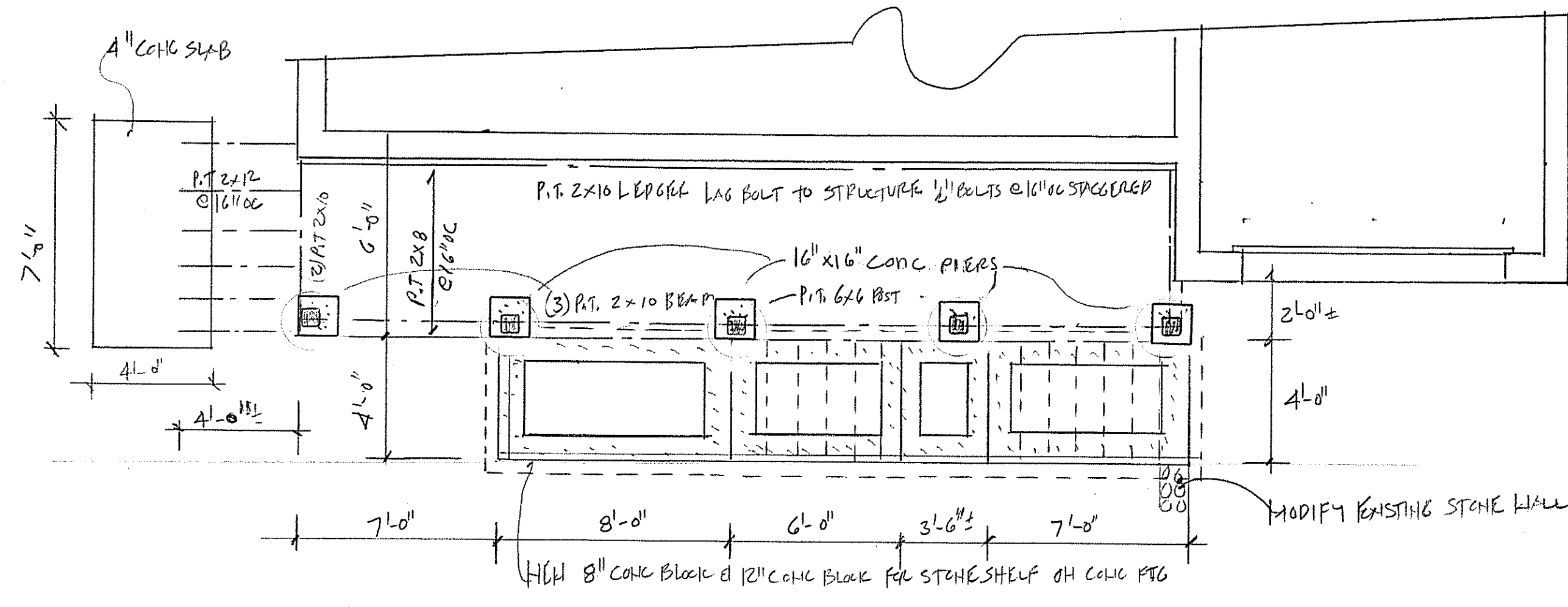
LEFT SIDE PORCH ELEVATION  
SCALE 1/4" = 1'-0"

RIGHT SIDE PORCH ELEVATION  
SCALE 1/4" = 1'-0"

ISSUED FOR PRICING & PERMIT 3/29/2024



FRONT PORCH & ENTRY STEPS PLAN  
SCALE 1/4" = 1'-0"



FRONT PORCH & ENTRY STEPS FOUNDATION PLAN  
SCALE 1/4" = 1'-0"

JOHN G. SCARLATO JR.  
ARCHITECT  
33 BYRAM HILL RD  
ARMONK, NY 10504

PHONE (914) 273-7350

PILLOH RESIDENCE  
45 HETHERMONT AVE  
NORTH WHITE PLAINS, NY 10

NEW FRONT PORCH AND ENTRY  
STAIRWAY

FLOOR PLAN, FOUNDATION PLAN  
FRONT & SIDE ELEVATION



A-2