



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 2 Banks Farm Road, Bedford, NY

### Section III- DESCRIPTION OF WORK:

NEW SECOND FLOOR ADDITION OVER HOME, RENOVATION OF FIRST FLOOR,  
FIRST FLOOR ADDITION TO SQUARE OFF FRONT OF HOUSE TO CREATE INSTALLED  
GARAGE. RE BUILD SCREEN PORCH AS SUN ROOM. RENOVATE DETACHED  
2 CAR GARAGE & STUDIO.

### Section III- CONTACT INFORMATION:

APPLICANT: JOHN G. SCARLATO JR ARCHITECT  
ADDRESS: 33 BYRAM HILL ROAD, ARMONK, NY 10504  
PHONE: (914) 273-7350 MOBILE: (914) 714-0152 EMAIL: JGSCARLATO@GMAIL.COM

PROPERTY OWNER: Debi Lane  
ADDRESS: 2 Banks Farm Road, Bedford, NY  
PHONE: \_\_\_\_\_ MOBILE: (208) 720-3000 EMAIL: Debilane01@Gmail.com

PROFESSIONAL: John G. Scarlato Jr Architect  
ADDRESS: 33 Byram Hill Road, Armonk, NY 10504  
PHONE: (914) 273-7350 MOBILE: (914) 714-0152  
EMAIL: JGScarlato@Gmail.com

### Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 95.01 - 2 - 43



**Town of North Castle**  
**Residential Project Review Committee**  
17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: Lane Residence

Initial Submittal  Revised Preliminary

Street Location: 2 Banks Farm Road, Bedford, NY

Zoning District: R-2A Property Acreage: 2 Tax Map Parcel ID: 95.01-2-43

Date: 4/15/2024

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

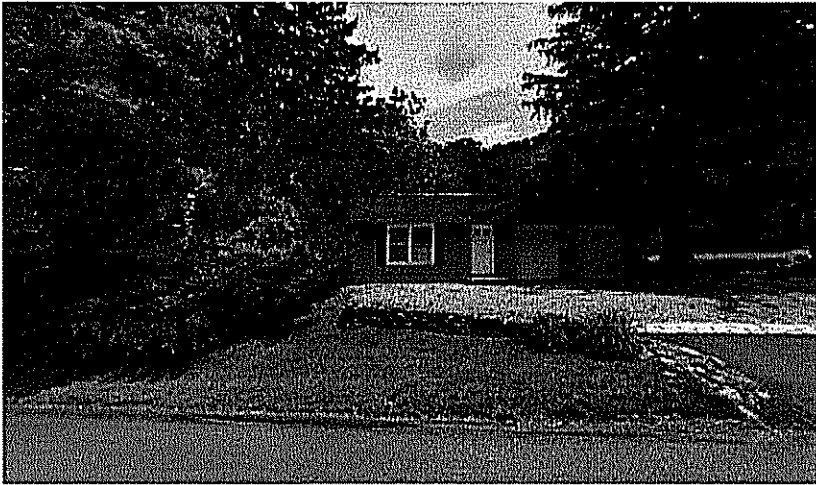
Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.





## 2 Banks Farm Rd

Building

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Directions



Save



Nearby



Send to  
phone



Share

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2 Banks Farm Rd, Bedford, NY 10506

### Photos



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

January 29, 2019  
 Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

### FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Lane Residence Date: 4/15/2024  
 Tax Map Designation or Proposed Lot No.: 95.01 - 2 - 43

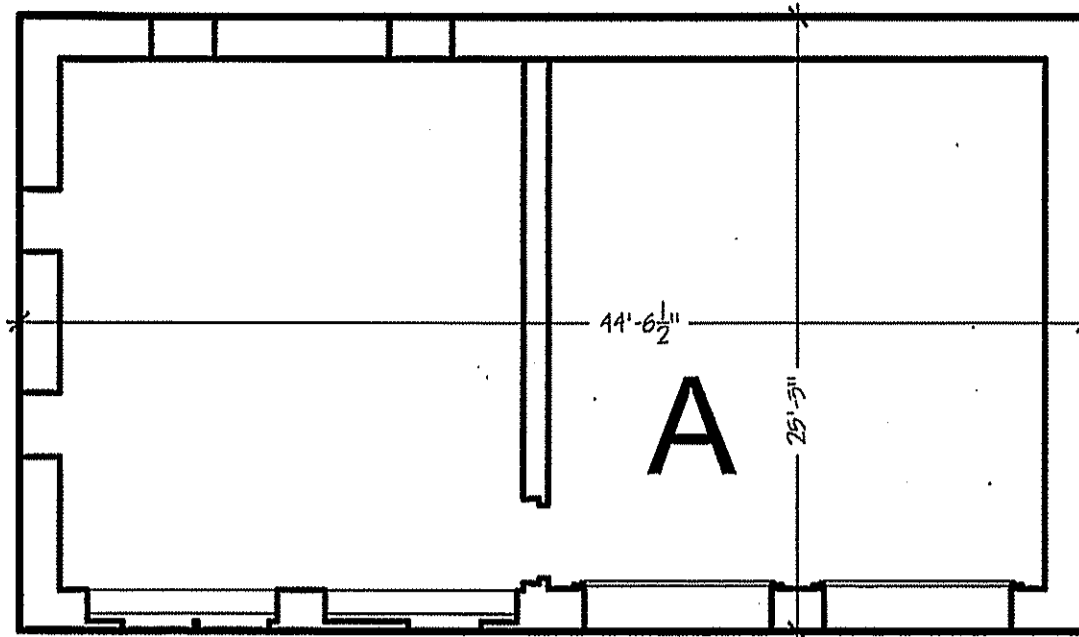
Floor Area

- |     |  |                              |                     |
|-----|--|------------------------------|---------------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):                   |                              | <u>87,130</u>       |
| 2.  | Maximum permitted floor area (per Section 355-26.B(4)):                          |                              | <u>10,122 SQ FT</u> |
| 3.  | Amount of floor area contained within first floor:                               |                              |                     |
| -   | <u>1959</u> existing + <u>84</u> proposed =                                      | ATTACHED GARAGE IN<br>NUMBER | <u>2043</u>         |
| 4.  | Amount of floor area contained within second floor:                              |                              |                     |
| -   | <u>0</u> existing + <u>1655.5</u> proposed =                                     |                              | <u>1655.5</u>       |
| 5.  | Amount of floor area contained within garage:                                    |                              |                     |
| -   | <u>0</u> existing + <u>0</u> proposed =  |                              | <u>          </u>   |
| 6.  | Amount of floor area contained within porches capable of being enclosed:         |                              |                     |
| -   | <u>160</u> existing + <u>          </u> proposed =                               |                              | <u>160</u>          |
| 7.  | Amount of floor area contained within basement (if applicable – see definition): |                              |                     |
| -   | <u>0</u> existing + <u>0</u> proposed =  |                              | <u>          </u>   |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):    |                              |                     |
| -   | <u>0</u> existing + <u>0</u> proposed =  |                              | <u>          </u>   |
| 9.  | Amount of floor area contained within all accessory buildings:                   |                              |                     |
| -   | <u>1125</u> existing + <u>1125</u> proposed =                                    |                              | <u>1125</u>         |
| 10. | Proposed floor area: Total of Lines 3 – 9 =                                      |                              | <u>4983.5</u>       |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

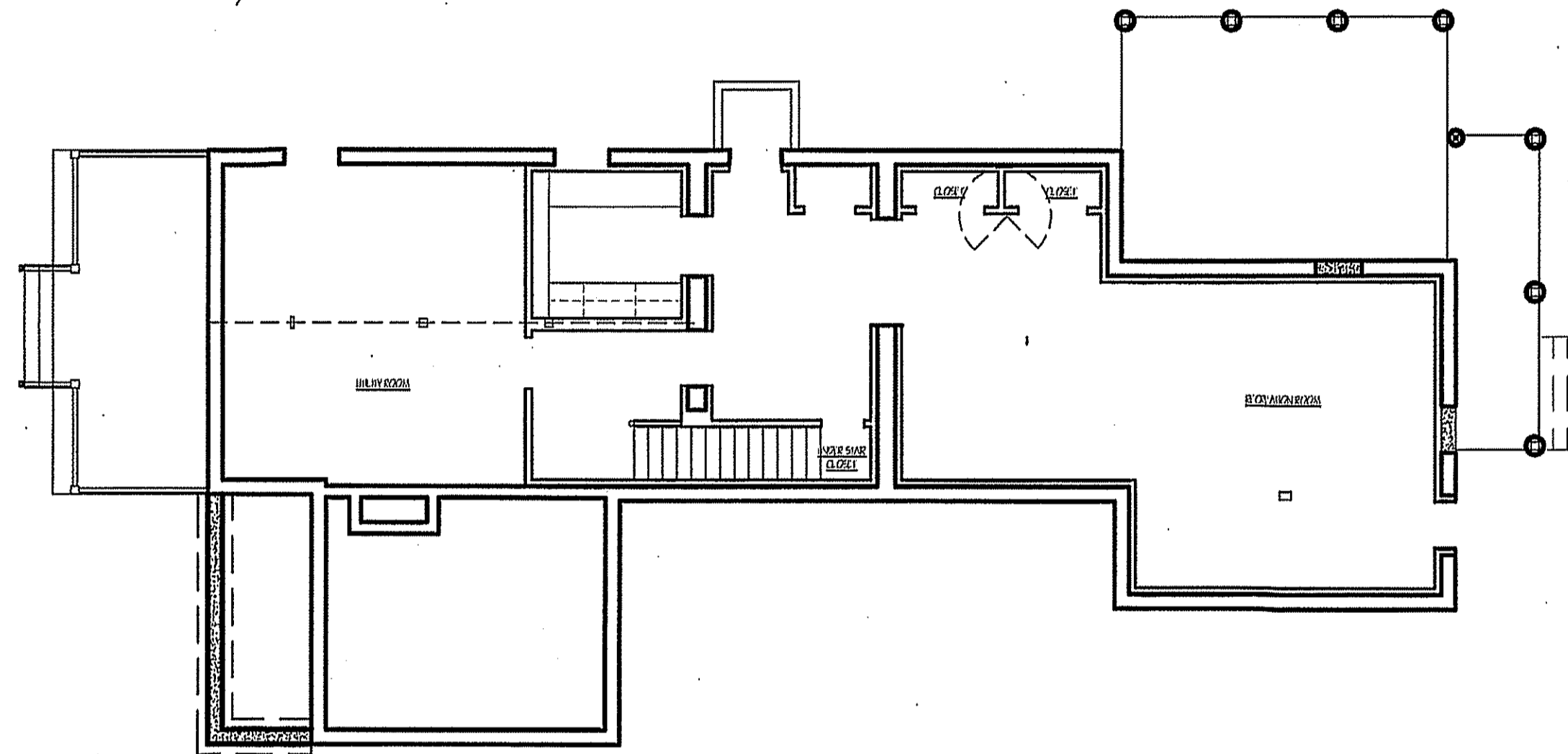
Jan 1 [Signature]  
 Signature and Seal of Professional Preparing Worksheet

4/15/2024  
 Date



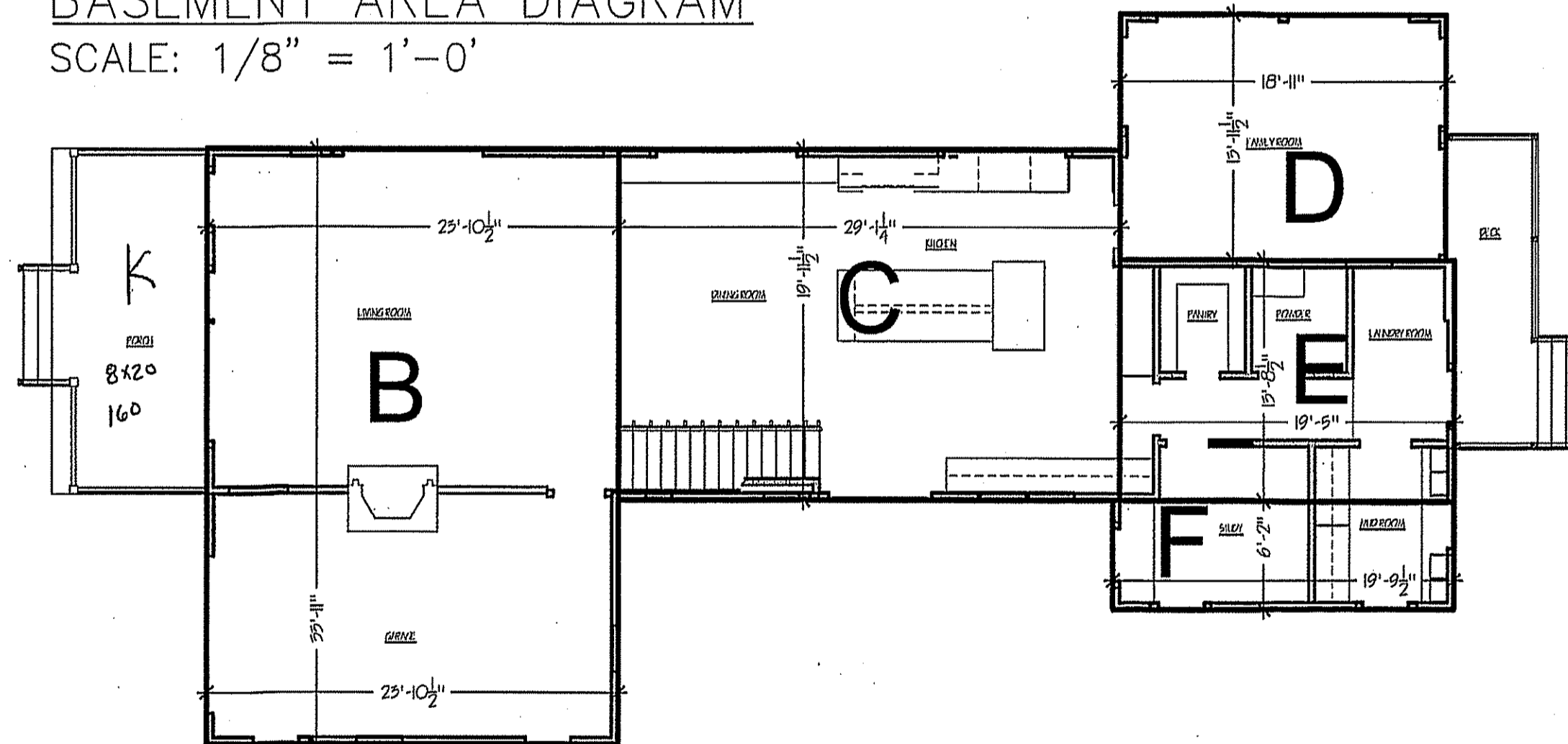
DETACHED GARAGE FLOOR AREA DIAGRAM

SCALE: 1/8" = 1'-0'



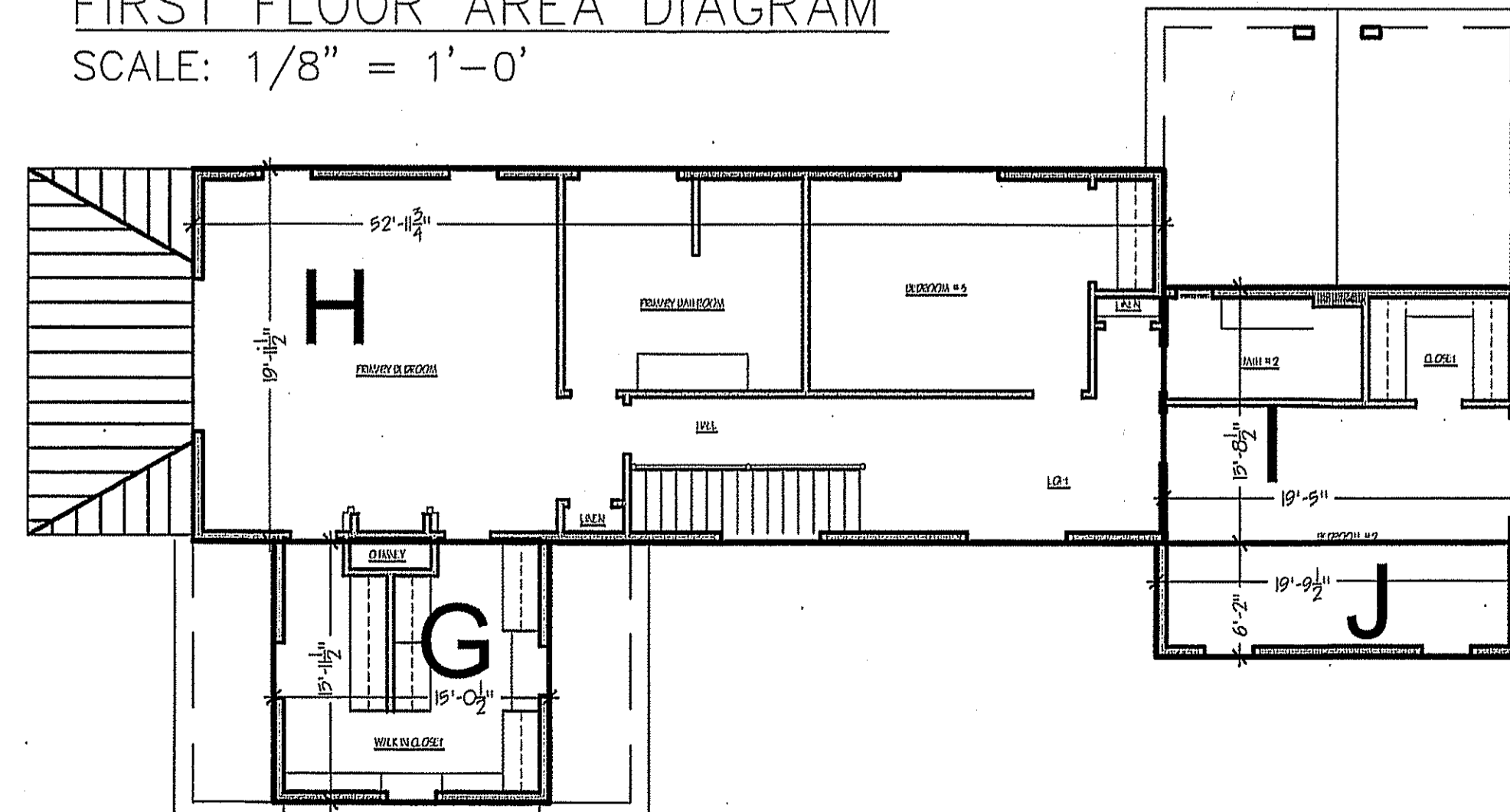
BASEMENT AREA DIAGRAM

SCALE: 1/8" = 1'-0'



FIRST FLOOR AREA DIAGRAM

SCALE: 1/8" = 1'-0'



SECOND FLOOR AREA DIAGRAM

SCALE: 1/8" = 1'-0'

LEGEND

- NEW CONSTRUCTION
- NEW FOUNDATION
- EXISTING CONSTRUCTION TO STAY
- EXISTING TO BE REMOVED
- DOOR NUMBER
- WINDOW LETTER
- ELEVATION LOCATION

**WARNING:**  
 THESE DOCUMENTS ARE NOT VALID UNLESS SEALED AND SIGNED IN INK, NO SCANS, REPRODUCTIONS OR COPIES ARE AUTHORIZED BY WITHOUT WRITTEN AUTHORIZATION OF JOHN G. SCARLATO JR., ARCHITECT.  
 FURTHERMORE, IT IS A VIOLATION OF NEW YORK STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER IN ANY WAY THESE SEALED AND SIGNED DOCUMENTS WITHOUT THE EXPRESS AND CONDITIONED PERMISSION OF THE ARCHITECT.

AREA	BASE x HEIGHT DIMENSIONS	GROSS FLOOR AREA	FLOOR LEVEL TOTAL
A	44'-6" x 25'-3"	1129	2045 FIRST FLOOR
B	35'-11" x 25'-10 1/2"	910	
C	29'-1 1/2" x 19'-11 1/2"	581	
D	18'-11" x 15'-11 1/2"	294	
E	19'-5 1/2" x 13'-8 1/2"	266	
F	19'-9 1/2" x 26'-2"	522	
G	15'-0 1/2" x 13'-11 1/2"	210	1655.5 SECOND FLOOR
H	52'-11 1/2" x 19'-11 1/2"	1037.5	
I	19'-5 1/2" x 13'-8 1/2"	266	
J	19'-9 1/2" x 6'-2"	122	
K	8 x 20	160	
TOTAL FAR			4983.5

John G. Scarlato Jr.  
 Architect

33 Byram Hill Road  
 Armonk, NY 10504  
 Phone: (914) 273-7350  
 JGSCARLATO@GMAIL.COM

LANE RESIDENCE  
 2 BANKS FARM ROAD  
 BEDFORD, N.Y. 10506

FLOOR AREA DIAGRAM

FLOOR PLANS AND  
 DIMENSIONS  
 CHART



DRAWING NO.

FAR



TOWN OF NORTH CASTLE  
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## GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 2 Banks Farm Road Date: 04-10-24

Tax Map Designation or Proposed Lot No.: 95.01 - 2 - 43

### Gross Lot Coverage

1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>87,130</u>
2.	Maximum permitted gross land coverage (per Section 355-26.C(1)(a)): $13,270 + (0.075)(10)$	<u>13,271</u>
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)): Distance principal home is beyond minimum front yard setback $(101.67 - 50)$ $51.67 \times 10 =$	<u>517</u>
4.	TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	<u>13,788</u>
5.	Amount of lot area covered by principal building: <u>1,750</u> existing + <u>-</u> proposed =	<u>1,750</u>
6.	Amount of lot area covered by accessory buildings: <u>1,121</u> existing + <u>0</u> proposed =	<u>1,121</u>
7.	Amount of lot area covered by decks: <u>0</u> existing + <u>0</u> proposed =	<u>0</u>
8.	Amount of lot area covered by porches: <u>512</u> existing + <u>0</u> proposed =	<u>512</u>
9.	Amount of lot area covered by driveway, parking areas and walkways: <u>4,113</u> existing + <u>-</u> proposed =	<u>4,113</u>
10.	Amount of lot area covered by terraces: <u>0</u> existing + <u>0</u> proposed =	<u>0</u>
11.	Amount of lot area covered by tennis court, pool and mechanical equip: <u>21</u> existing + <u>0</u> proposed =	<u>21</u>
12.	Amount of lot area covered by all other structures: Slab, Walls & BBQ <u>1,219</u> existing + <u>0</u> proposed =	<u>1,219</u>
13.	Proposed gross land coverage: Total of Lines 5 – 12 =	<u>8,736</u>

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

  
Signature and Seal of Professional Preparing Worksheet

4/15/2024  
Date





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**General notes:**

- THIS PROJECT IS TO CONFORM TO THE INDIVIDUAL CLASSIFICATION OF WORK AS DEFINED IN THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE CHAPTER 6 IDENTIFIED BELOW.  
 ALL WORK SHALL ALSO CONFORM TO THE 2020 BUILDING CODE, RESIDENTIAL CODE, FIRE CODE, ENERGY CONSERVATION CONSTRUCTION CODE, MECHANICAL CODE, FUEL GAS CODE, AND PROPERTY MAINTENANCE CODES OF NEW YORK STATE AS APPLICABLE.
- CONTRACTOR SHALL PROTECT & BRACE ALL WORK FROM DAMAGE DURING CONSTRUCTION.
- ALL WORK TO BE PLUMB & TRUE. ALL PLUMBING WORK TO BE IN COMPLIANCE WITH NYS PLUMBING CODE. ALL ELECTRICAL WORK TO BE IN COMPLIANCE WITH N.E.C. ALL HVAC WORK TO BE IN COMPLIANCE WITH ASHRAE STANDARDS, LATEST EDITION. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL BE LICENSED AND INSURED. ALL PLUMBERS AND ELECTRICIANS ARE RESPONSIBLE FOR ANY ADDITIONAL PERMITS, APPROVALS AND INSPECTIONS THEIR PARTICULAR TRADE MAY REQUIRE.
- LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY FREE FROM ROT, LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED. ALL NEW LUMBER SHALL CONFORM TO 2020 NEW YORK STATE BUILDING CODE CHAPTER 23. FASTENING SHALL CONFORM TO 2020 NYSBC TABLE 2304.10.1. ALL LUMBER SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WOOD COUNCILS NATIONAL DESIGN SPECIFICATIONS FOR BENDING STRESS AND DEFLECTION, AND 2020 NYSBC 2306. ALL WORKMANSHIP INCLUDING BLOCKING, MILLING, BRIDGING, ECT. SHALL CONFORM TO THE 2020 NYSBC AND OR 2020 NYSRC. PROVIDE LEDGER, BLOCKING, NAILERS AND ROUGH FRAMING HARDWARE AS REQUIRED. ALL BEAMS, JOISTS AND RAFTERS TO BE SET WITH NATURAL CROWN UP. PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF SKYLIGHTS UNLESS OTHERWISE NOTED. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMP. ALL STRUCTURAL LUMBER INCLUDING BUT NOT LIMITED TO T&I, T&I, & LVL BEAMS OR EQUIVALENT SHALL BE INSTALLED PER DRAWINGS AND MANUFACTURERS SPECIFICATIONS. ALL HANDLING AND INSTALLATION PROCEDURES MUST BE SUPPLIED BY THE MANUFACTURER AND SHALL BE FOLLOWED. T&I JOISTS AND LVL BEAMS SHALL NOT BE ALLOWED TO GET WET AT ANY TIME.
- WITH USE OF ANY TRUSS TYPE, PRE-ENGINEERED OR TIMBER CONSTRUCTION A SIGN WILL BE PLACED AT OR ADJACENT TO THE ELECTRIC METER WITH SPECIFICATIONS PROVIDED BY THE ARCHITECT.
- ALL CONCRETE WORK, DETAILS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ACI 318 AND ACI 302 OR PCA 100, AND THE 2020 NEW YORK STATE RESIDENTIAL CODE CHAPTER 8. ALL CONCRETE SHALL BE TYPE I, 3000 PSI COMPRESSIVE AND SECURELY TIED IN PLACE SO AS TO PREVENT DISPLACEMENT DURING CONCRETING. STRENGTH AT 28 DAYS. REINFORCING BARS TO CONFORM TO 2020 NYS BUILDING CODE SECTION 1805 MODIFICATIONS TO ACI 318. REINFORCING SHALL BE ACCURATELY INSTALLED TO REQUIRED ELEVATION.
- CONTRACTORS TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL, HAVING A MINIMUM SAFE BEARING CAPACITY OF 2 TONS PER SQ. FT. BRACE RETAINING WALLS OR FOUNDATION WALLS AS REQUIRED. BACKFILL WITH APPROVED MATERIAL. BACKFILLING UNDER SLABS, AROUND PIERS AND ON EACH SIDE OF FOUNDATION WALLS SHALL BE DONE IN LAYERS NOT TO EXCEED 10 INCHES. COMPACTION SHALL BE 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. EXCAVATION MUST BE FREE OF WATER WHILE FOUNDATION WORK IS IN PROGRESS. TRUCKS, BULLDOZERS OR OTHER HEAVY EQUIPMENT SHALL BE OPERATED WITH CAUTION AND IN SUCH A MANNER AS TO CAUSE NO DAMAGE TO FOUNDATION SYSTEMS.
- ALL STRUCTURAL STEEL SHALL BE NEW, CLEAN AND STRAIGHT AND SHALL CONFORM TO THE LATEST EDITION FOR A.S.T.M. DESIGNATION A-36 OR A-500 FOR ALL "I" SECTIONS. ALL STRUCTURAL STEEL WORK SHALL CONFORM WITH SPECIFICATIONS FOR THE DESIGN, FABRICATION AND CONSTRUCTION OF STRUCTURAL STEEL FOR BUILDING OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION LATEST EDITION PROVIDE STIFFENER ANGLES OR PLATES UNDER ALL POSTS, COLUMNS OR TRUSSES THAT ARE CARRIED BY STEEL BEAMS AND IN THE WEB OF BEAMS CANTILEVERED OVER COLUMNS OR BEAMS SUPPORTING HANGERS, UNLESS OTHERWISE SHOWN OR SPECIFIED PROVIDE 6x6x1/2 BEARING ON CONCRETE MASONRY IF ANY.
- HEADERS TO BE [3] 2" X 10" IN 2x6 WALLS OR [2] 2" X 10" IN 2x4 WALLS UNLESS OTHERWISE NOTED.
- INSULATION IN FLOORS, WALLS AND CEILINGS TO BE A COMBINATION OF FIBERGLASS BAT, CONTINUOUS RIGID, OR SPRAY FOAM OR CELLULOS INSULATION TYPES TO CONFORM TO 2020 NYS ENERGY CONSERVATION CONSTRUCTION CODE CHAPTER 4. WESTCHESTER COUNTY IS CLIMATE ZONE 4A.
- ALL FOOTINGS TO BE A MINIMUM OF 3'-6" BELOW GRADE, OR LOCAL FROST DEPTHS SPECIFIED BY THE ARCHITECT, UNDERPIN WHEN NECESSARY.
- HOUSE TO CONFORM TO ANY LOCAL SUPPLEMENTAL CODE.
- PROVIDE BLOCKING AS REQUIRED TO BRACE POSTS ONTO GIRDER OR BEAM CONDITIONS AND VERIFY ALL BEARING TO FOOTINGS.
- TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH 2020 N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE.
- ALL DECK RAILS AND STAIR HANDRAILS SHALL CONFORM TO THE 2020 N.Y.S. BUILDING CODE SECTIONS 1014 HANDRAILS AND 1014 GUARDS.
- ALL ROOF FRAMING SYSTEMS SHALL BE INSTALLED WITH HIGH WIND CONNECTORS (HURRICANE TIES) IN COMPLIANCE WITH 2020 N.Y.S. BUILDING CODE.
- ALL POSTS TO FOUNDATION FOR THE PURPOSE OF SUPPORTING THE ROOF OR OTHER STRUCTURAL ELEMENTS SHALL BE BLOCKING AS SPECIFIED BY THE ARCHITECT OR A NOMINAL DIMENSION OF 4x4 FROM STRUCTURAL ELEMENT TO BE SUPPORTED CONTINUOUSLY TO A SOLID MASONRY FOUNDATION THAT EXTENDS BELOW REQUIRED FROST DEPTH AND RESTS ON A FOOTING OF TYPICAL CONSTRUCTION.
- ALL SIMPSON STRONG TIE CONNECTORS AND ANCHORS ARE DESIGNED WITH SPECIFIC LOADS AND CAPACITIES. SUBSTITUTIONS OF THESE HANGERS FOR DIFFERENT MODEL NUMBERS THAN SPECIFIED BY THE ARCHITECT OR ENGINEER IS FORBIDDEN WITHOUT VERIFYING THE REPLACEMENT PART WITH THE DESIGN PROFESSIONAL.

ALTERATION-LEVEL 3  
 804.1 SCOPE LEVEL 3 ALTERATIONS APPLY WHERE THE WORK AREA EXCEEDS 50 PERCENT OF THE BUILDING AREA.  
 804.2 APPLICATION LEVEL 3 ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 7 AND 8 FOR LEVEL 1 AND 2 ALTERATIONS, RESPECTIVELY, AS WELL AS THE PROVISIONS OF CHAPTER 8 SECTION 805.  
 ADDITIONS  
 806.1 SCOPE. PROVISIONS FOR ADDITIONS SHALL APPLY WHERE WORK IS CLASSIFIED AS AN ADDITION AS DEFINED IN CHAPTER 2.  
 806.2 APPLICATION. ADDITIONS TO EXISTING BUILDINGS SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 11.

NORTH CASTLE ZONING COMPARISON CHART					
ADDRESS: 2 BANKS FARM ROAD		SECTION: 95.01	BLOCK: 2	LOT: 43	ZONE: R-2A
DESCRIPTION	REQUIRED/ ALLOWED	EXISTING	PROPOSED		
MINIMUM LOT AREA	2 ACRES	87130	87130		
FRONTAGE	150	703±	703±		
WIDTH	150	550±	550±		
DEPTH	150	440±	440±		
MINIMUM SETBACK (FRONT)	50'	61.25	58.75 ±		
MINIMUM SETBACK (SIDE)	30'	220±	220 ±		
MINIMUM SETBACK (REAR)	50'	29±	N/C 29.0 ±		
MAXIMUM BUILDING (STORIES / FEET)	- / 30	1 / 17' ±	2 / 27.5'		
MAXIMUM BUILDING COVERAGE	8% (6970.4)	3.8% (3335)	4.0% (3462.5)		
MINIMUM DWELLING UNIT SIZE	1400	1779	3698.5		
MAXIMUM PERMITTED FLOOR AREA	10122	2904	4823.5		
MAXIMUM PERMITTED GROSS LAND COV.	13270	8394	9096		

**CLIMATIC & GEOGRAPHIC DESIGN CRITERIA FOR RESIDENTIAL DISTRICTS**

CLIMATE ZONE	GROUND SNOW LOAD	WIND SPEED (mph)	TOPOGRAPHIC WIND SPEED EFFECTS	SPECIAL WIND REGION	WIND BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMINAL PROTECTION REQUIRED	WINTER DESIGN TEMP	ICE BARRELS UNDERLAYMENT	FLOOD HAZARDS - NO FROM MAP'S 9-28-07	AR FREEZE INDEX	MEAN ANNUAL TEMPERATURE
4a (mod)	20 PSF	115/120	NO	NO	NO	B	SEVERE	42"	YES	15	18" D	56/90/646T	500	52.2

INFORMATION FOR PLOT PLAN TAKEN FROM SURVEY OF PROPERTY BY:

TC MERRITTS LAND SURVEYOR  
 394 BEDFORD ROAD  
 PLEASANTVILLE N.Y. 10570  
 (914) 769-8003  
 SURVEY@TCMERRITTS.COM

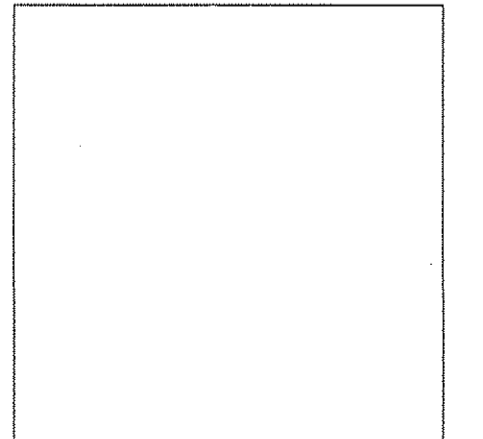
DATED: 2-16-24

ALTERED BY:  
 JOHN G. SCARLATO JR. ARCHITECT  
 ON 4/9/24

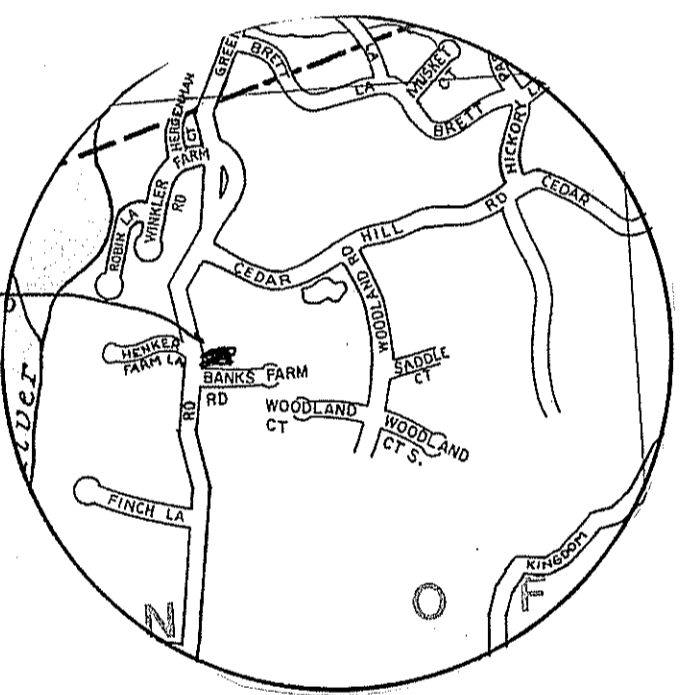
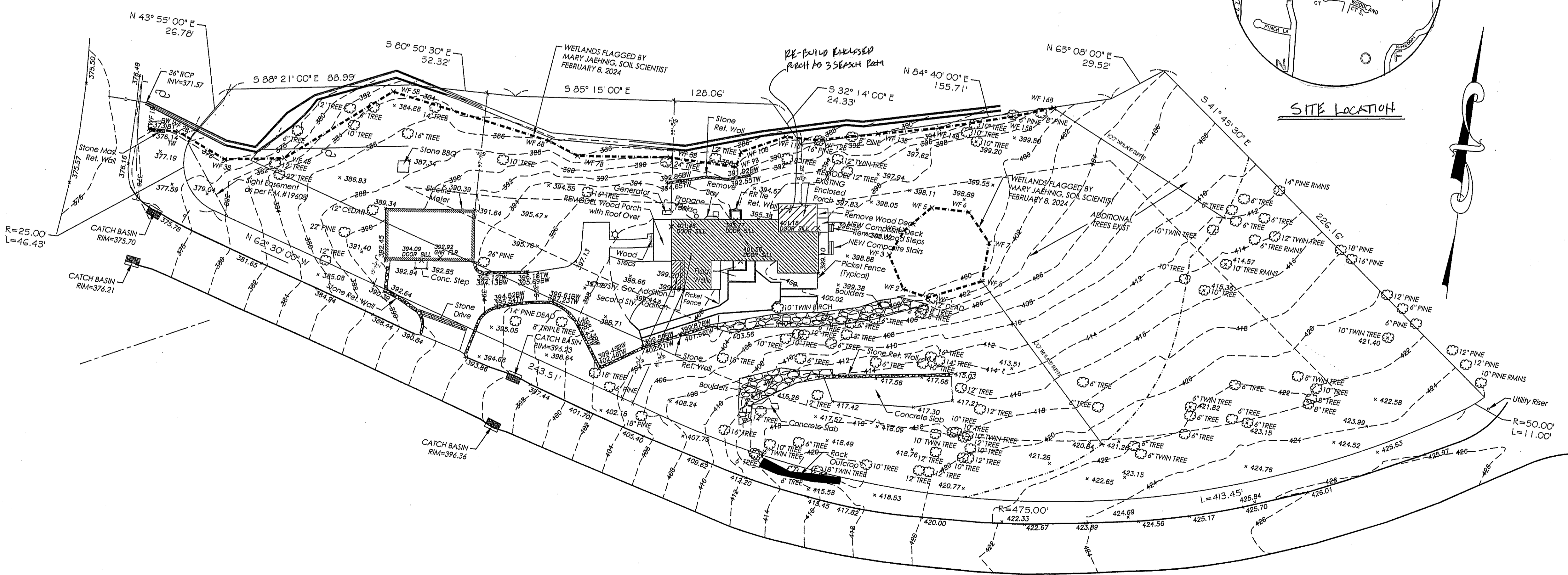
- TO INCLUDE (BUT NOT LIMITED TO):
- \* FRONT, RIGHT SIDE, LEFT SIDE AND REAR SETBACK LINES IN DASHED RECTANGULAR SHAPE.
  - \* DIMENSIONS TO SAID SETBACK LINES IN FEET AND INCHES FORMAT (x'-x").
  - \* ESTIMATED PROPOSED NEW SETBACKS AS DELINEATED TO AREAS OF PROPOSED NEW CONSTRUCTION (IF APPLICABLE) IN FEET AND INCHES FORMAT (x'-x").
  - \* RECTANGULAR HATCHED AREA(S) LABELED "PROPOSED" (-) STORY ADDITION.
  - \* DEPICTION OF NEW STAIRS, PLATFORMS, DECKS, WALKS AND MISC. AS REQUIRED, ALL LABELED AS PROPOSED.

THIS PLOT PLAN IS NOT A PROPERTY SURVEY. ONLY A SURVEY CONTAINING THE INK OR EMBOSSED SEAL OF A LICENSED LAND SURVEYOR IS A VALID LEGAL DOCUMENT. THIS PLOT PLAN IS FOR DEMONSTRATION OF ZONING COMPLIANCE AND LOCATION OF PROPOSED WORK ONLY.

SEAL:



JOHN G. SCARLATO JR.  
 ARCHITECT



3/12/22 ISSUED FOR PRICING AND PERMIT

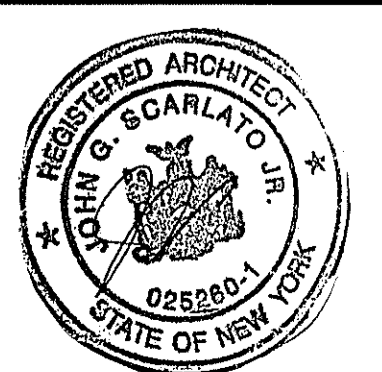
**John G. Scarlato Jr.**  
 Architect

33 Byram Hill Road  
 Armonk, NY 10504  
 Phone: (914) 273-7350  
 JGSCARLATO@GMAIL.COM

**LANE RESIDENCE**  
 2 BANKS FARM ROAD  
 BEDFORD, N.Y. 10506

**ADDITION AND INTERIOR ALTERATIONS AND RENOVATIONS**

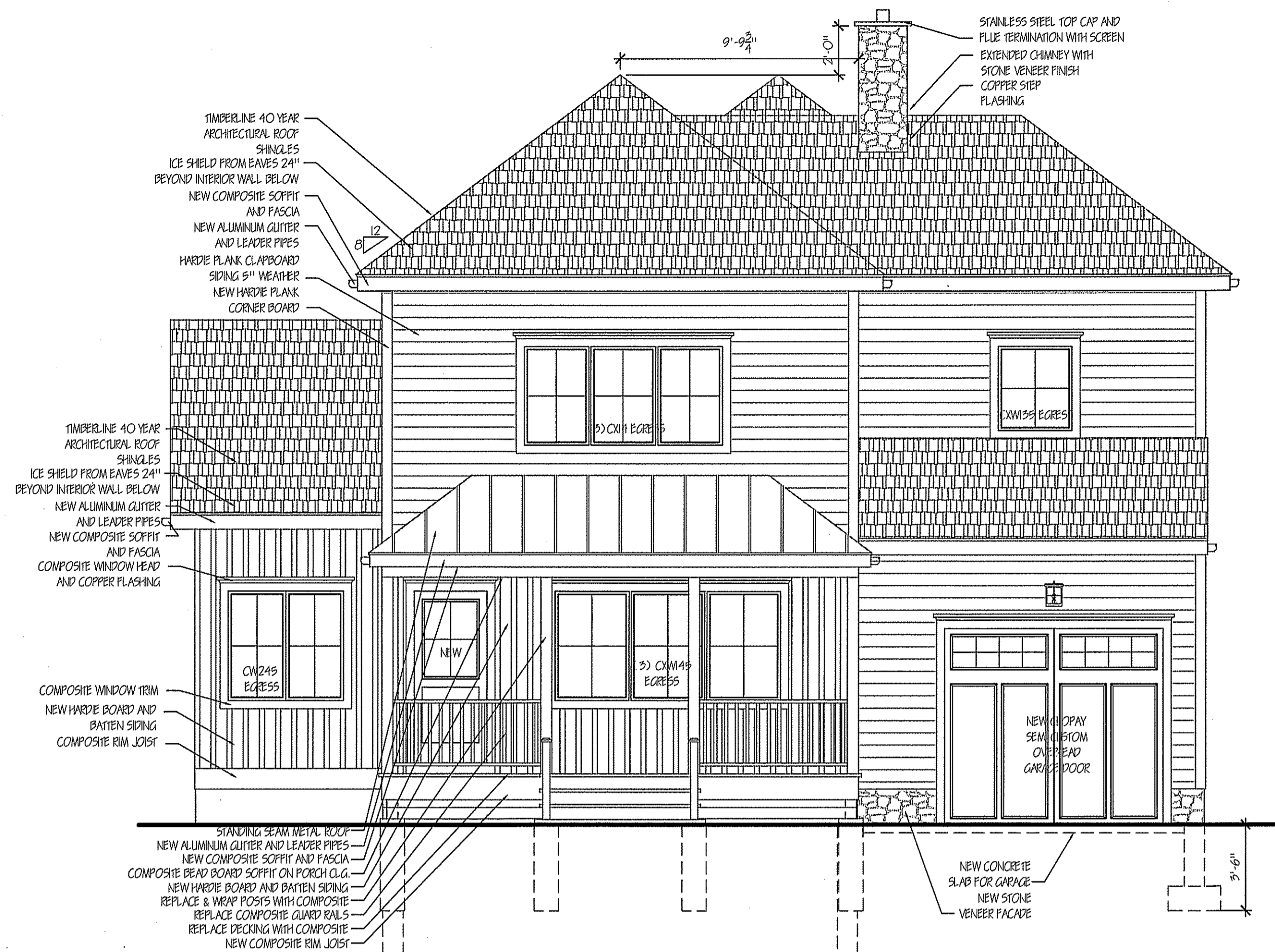
**EXTERIOR ELEVATIONS PLOT PLAN ZONING CHART GENERAL NOTES**



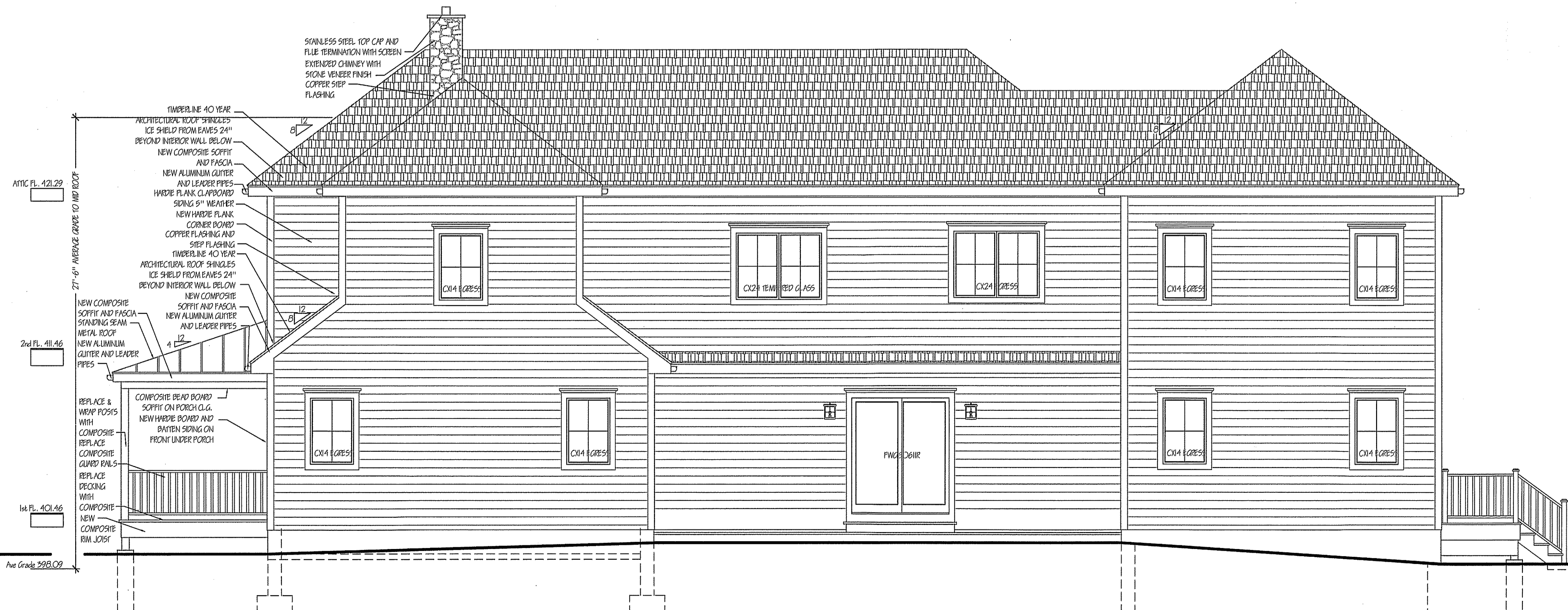
DRAWING NO.

**A-1**

PLOT PLAN  
 SCALE: 1" = 30'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

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LANE RESIDENCE  
2 BANKS FARM ROAD  
BEDFORD, N.Y. 10506

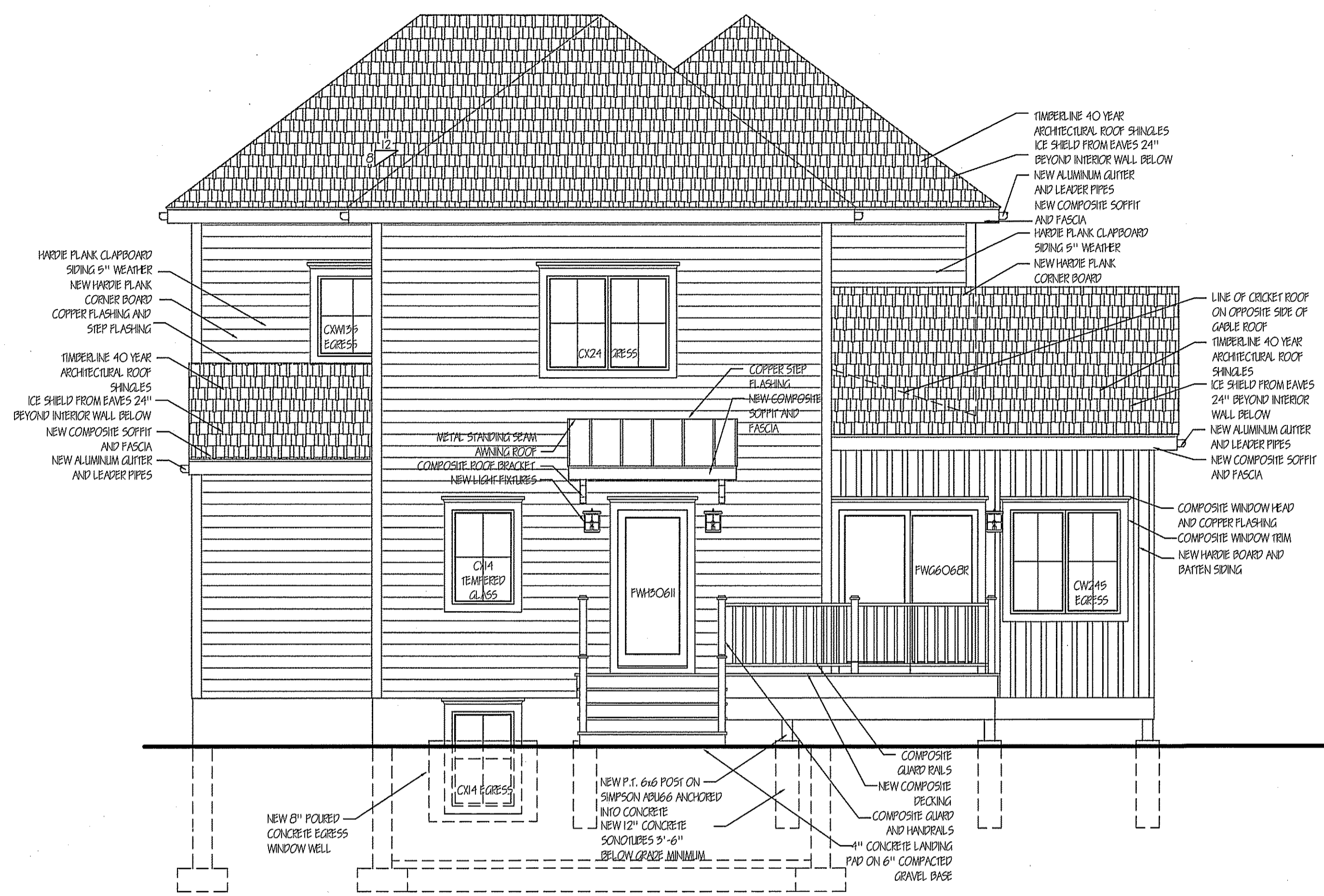
ADDITION AND INTERIOR  
ALTERATIONS AND  
RENOVATIONS

EXTERIOR ELEVATIONS  
SECTIONS



DRAWING NO.

A-2



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

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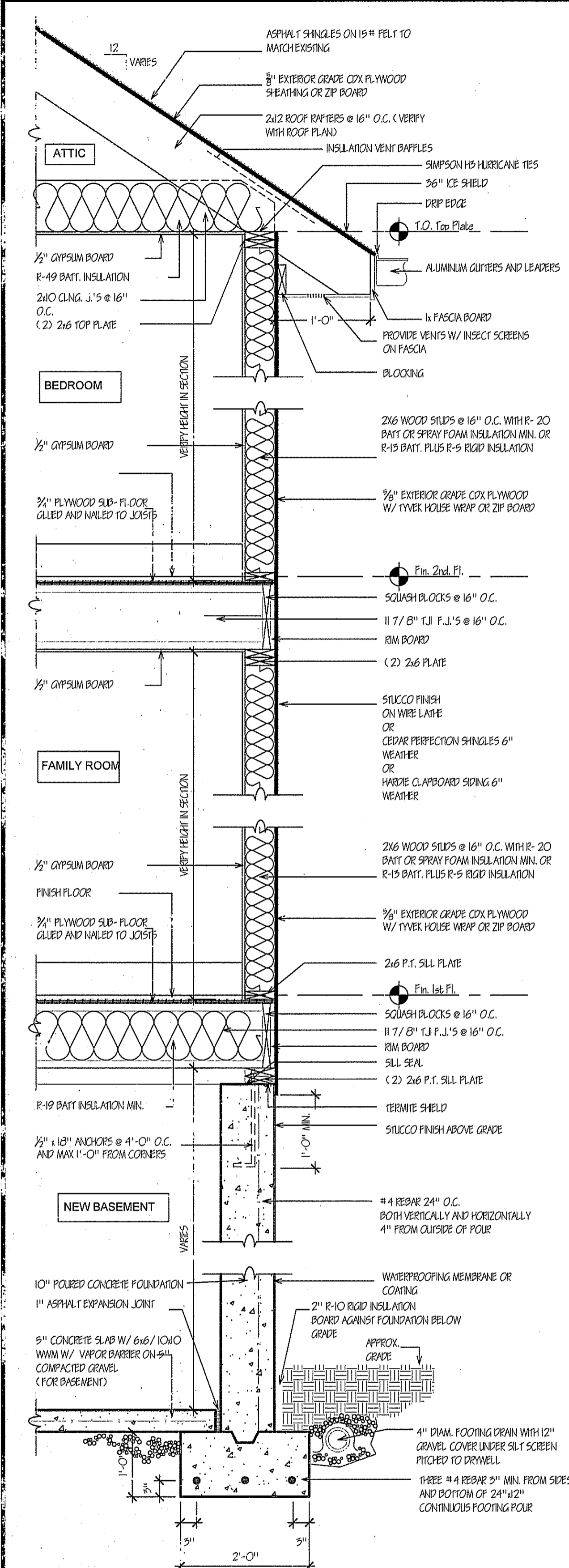
ADDITION AND INTERIOR  
ALTERATIONS AND  
RENOVATIONS

EXTERIOR ELEVATIONS  
SECTIONS



DRAWING NO.

A-3



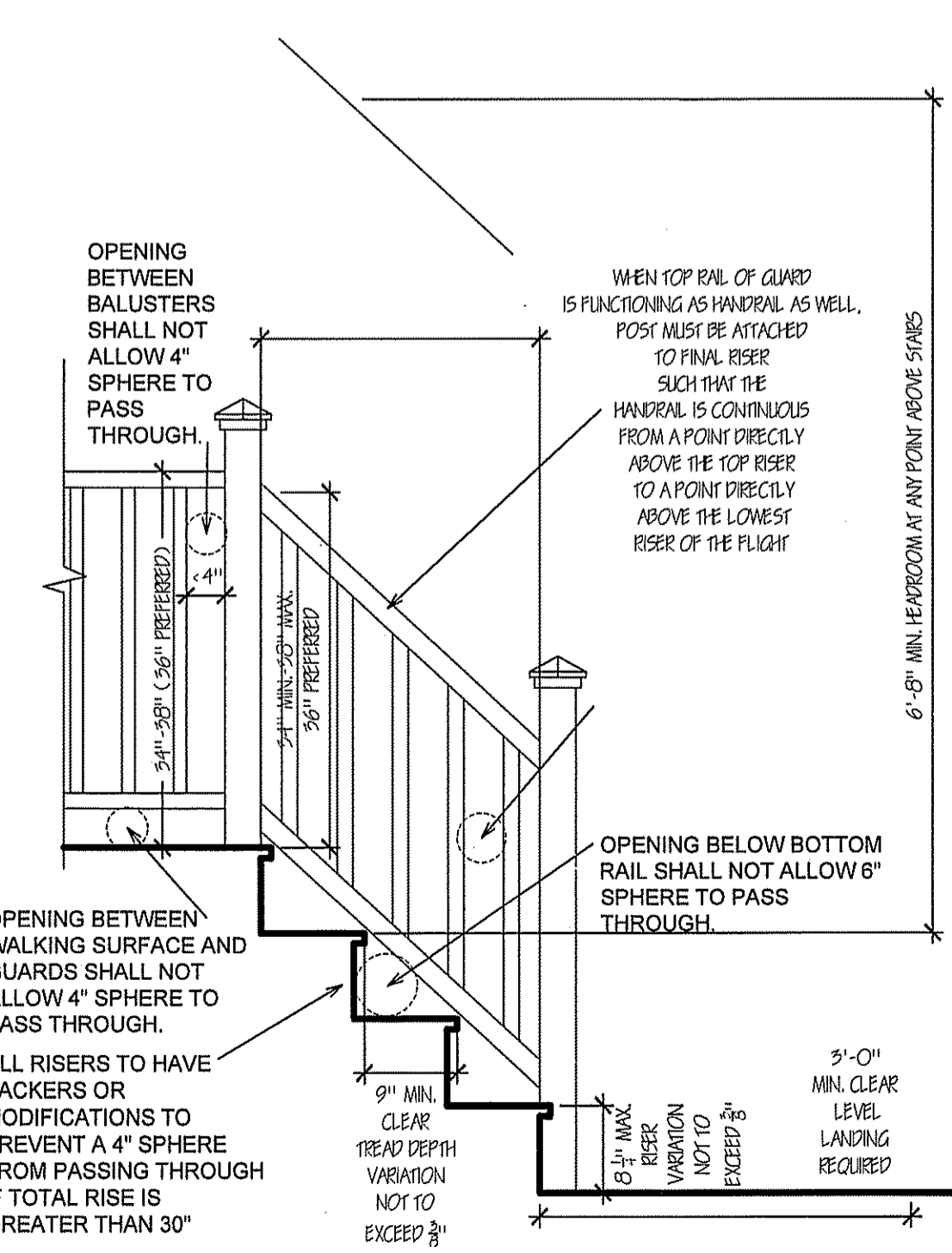
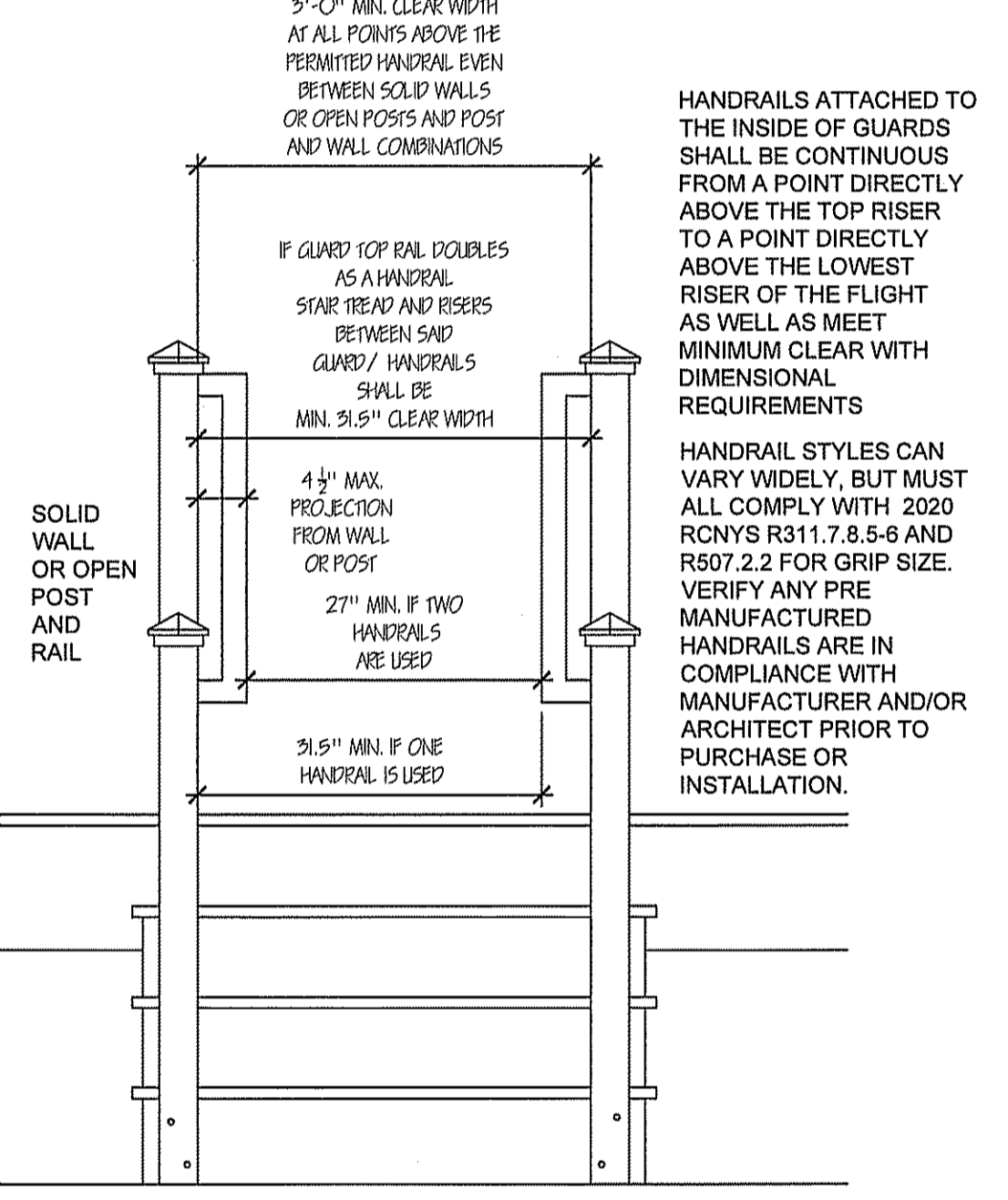
TYPICAL WALL DETAIL  
SCALE: 3/4" = 1'-0"

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**One & Two Family Dwellings:**

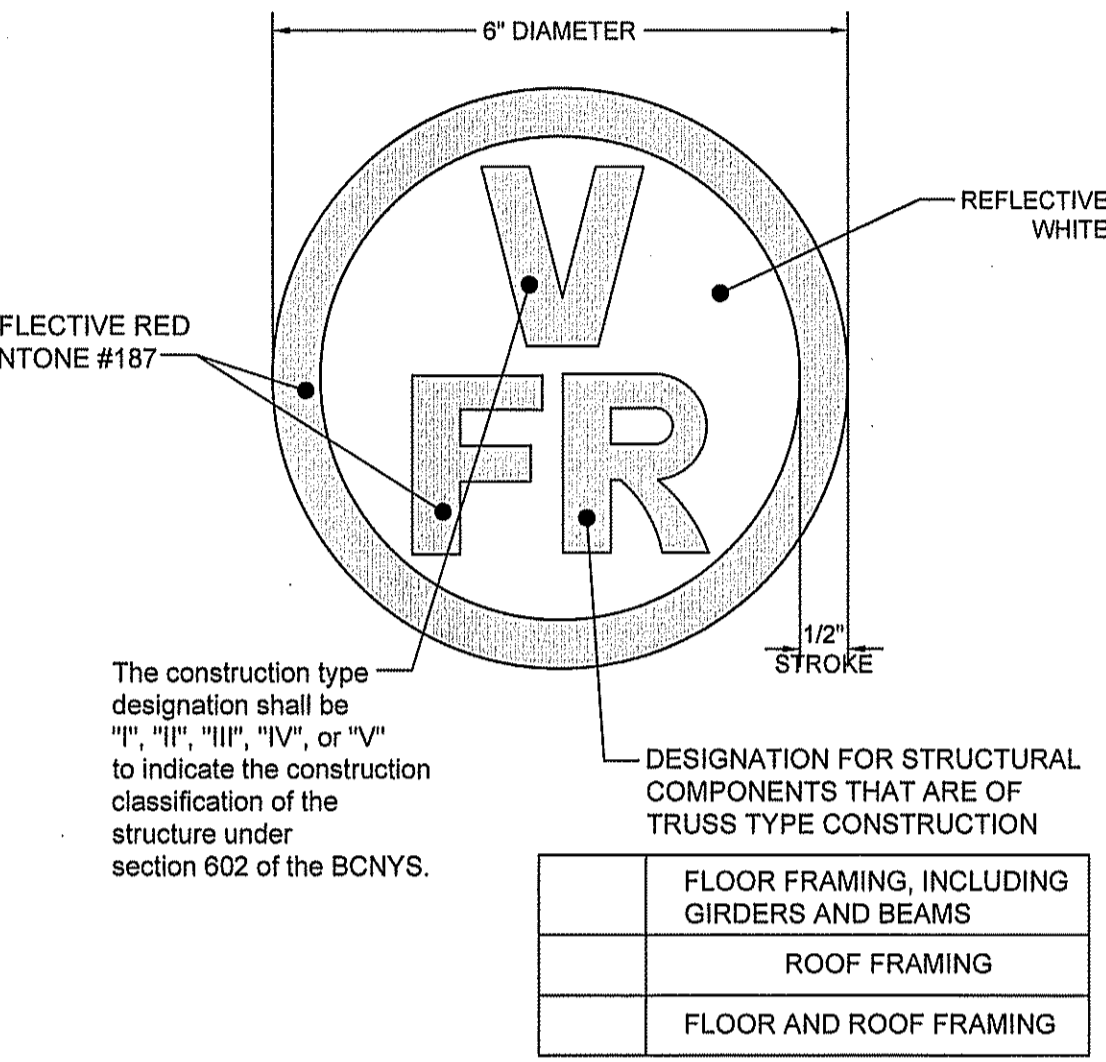
- (a) When truss type construction, pre-engineered wood construction, and/or timber construction is utilized in the construction of a new residential structure or in an addition to or rehabilitation of an existing structure, such residential structure shall be identified by a sign or symbol in accordance with the provision of this Part.
- (b) The sign or symbol required by this Part shall be affixed to the electric box attached to the exterior of the residential structure; provided, however, that:
  - (1) if affixing the sign or symbol to the electric box would obscure any meter on the electric box, or if the utility providing electric service to the residential structure does not allow the sign or symbol to be affixed to the electric box, the sign or symbol shall be affixed to the exterior of the residential structure at a point immediately adjacent to the electric box; and
  - (2) if no electric box is attached to the exterior of the residential structure or if, in the opinion of the authority having jurisdiction, the electric box attached to the building is not in a location likely to be seen by firefighters or other first responders responding to a fire or other emergency at the residential structure, the sign or symbol required by this Part shall be affixed to the exterior of the residential structure in a location approved by the authority having jurisdiction as a location likely to be seen by firefighters or other first responders to a fire or other emergency at the residential structure.
- (c) The sign or symbol required by this Part shall be affixed prior to the issuance of a certificate of occupancy or a certificate of compliance. The authority having jurisdiction shall not issue a certificate of occupancy or a certificate of compliance until the sign or symbol required by this Part shall have been affixed.
- (d) The property owner shall be responsible for maintaining the sign or symbol by this Part and shall promptly replace any such sign or symbol that is affixed to an electric box when any change or modification is made to such electric box. The property owner shall promptly replace the sign or symbol by this Part if such sign or symbol is removed or becomes damaged, faded, worn or otherwise less conspicuous to firefighters or other first responders to a fire or other emergency at the residential structure.
- (e) The sign or symbol indicating the utilization of truss type construction, pre-engineered wood construction, and/or timber construction shall comply with the requirements of this subdivision.

- (1) The sign or symbol shall consist of a circle six inches (152.4 mm) in diameter, with a stroke of 1/2 inch (12.7 mm). The background of the sign or symbol shall be reflective white in color. The circle and contents shall be reflective red in color, conforming to Pantone matching system (PMS) #187.
- (2) The sign or symbol shall be of sturdy, non-fading, weather resistant material; provided, however, that a sign or symbol applied directly to a door or sidelight may be a permanent non-fading sticker or decal.



STAIR CODE DIAGRAM  
NOT TO SCALE

- (3) The sign or symbol shall contain an alphabetic construction type designation to indicate the construction type of the residential structure, as follows:
  - (i) if the residential structure is subject to the provisions of the RCNYS, the construction type designation shall be "V" and
  - (ii) if the residential structure is subject to the provisions of the BCNYS, the construction classification type designation shall be "I", "II", "III", "IV", or "V" to indicate the construction classification of the structure under section 602 of the BCNYS.
- (4) The sign or symbol shall contain an alphabetic location designation to indicate the location(s) containing truss type construction, pre-engineered wood construction and/or timber construction structural components, as follows:
  - (i) "F" shall mean floor framing, including girders and beams;
  - (ii) "R" shall mean roof framing; and
  - (iii) "FR" shall mean floor framing and roof framing.
- (5) The construction type designation shall be placed at the 12 o'clock position of the sign or symbol, over the location designation, which shall be placed at the six o'clock position of the sign or symbol.



The construction type designation shall be "I", "II", "III", "IV", or "V" to indicate the construction classification of the structure under section 602 of the BCNYS.

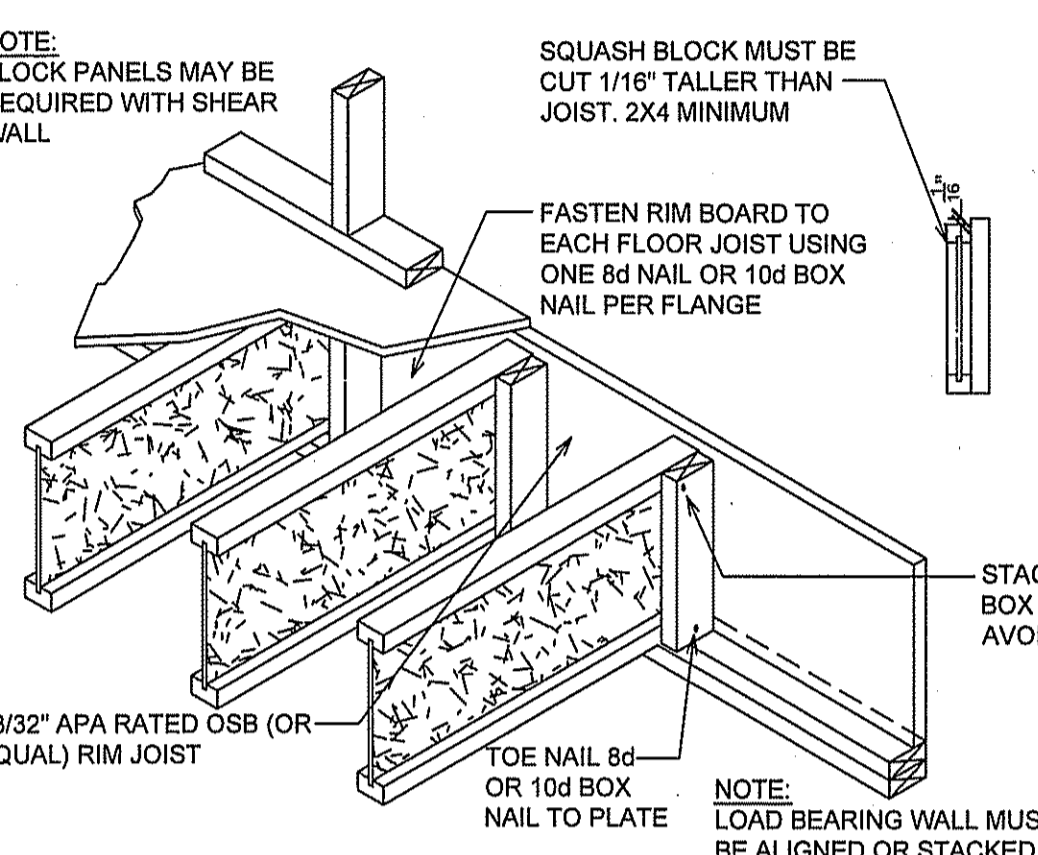
FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS
ROOF FRAMING
FLOOR AND ROOF FRAMING

**INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT**

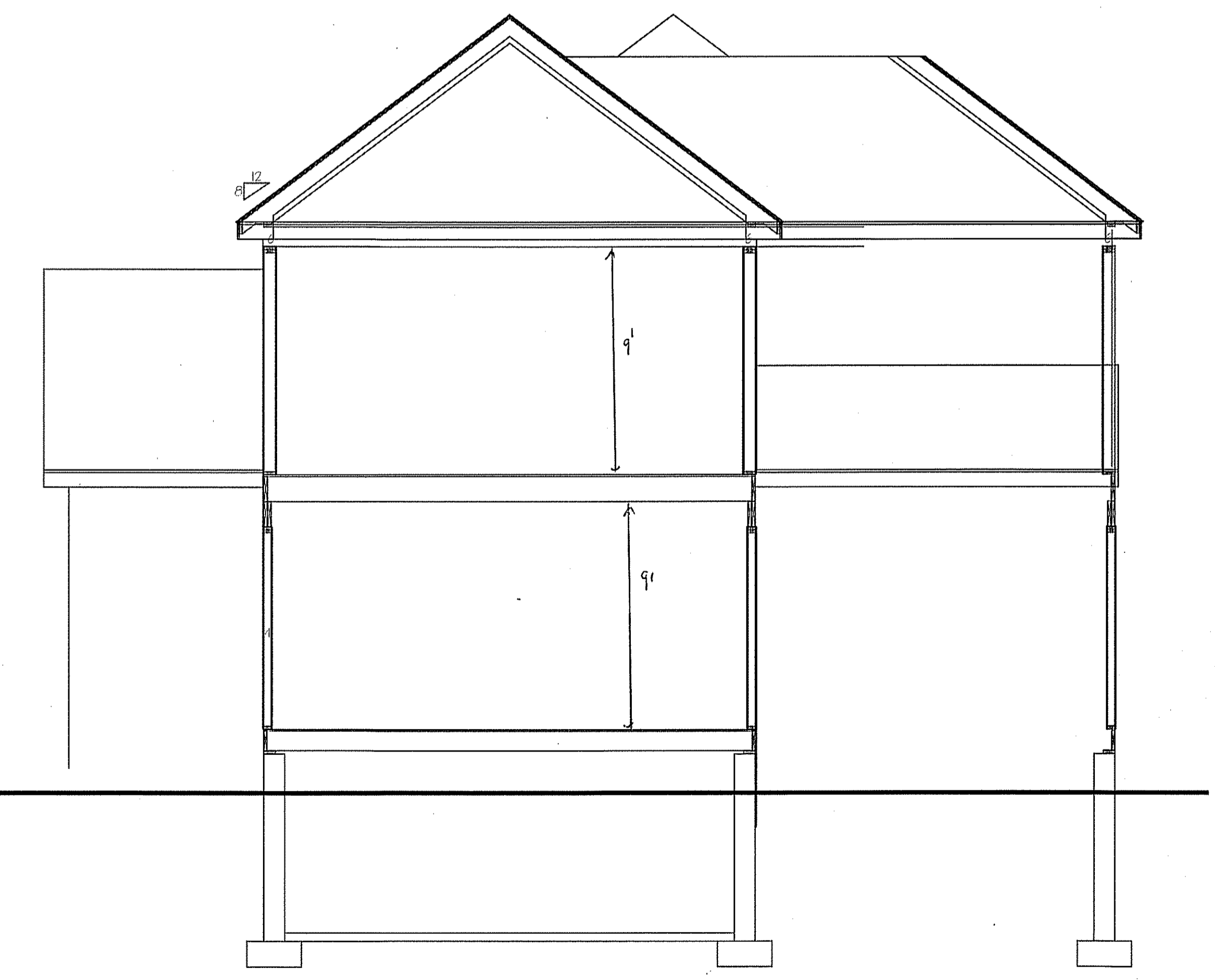
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD-FRAMED WALL R-VALUE	MASONRY WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	CEILING SPACE WALL R-VALUE
4a (cool)	0.32	0.55	0.40	R-49	R-20 or R-12+R5	R-15	R-19	10/15	10, 2 FT. 10, 2 FT.	10/15

RELEVANT NOTES PER 2020 ECCC NYS (NY) TABLE 402.1.2  
 a. R-values are minimums. U-factors are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.  
 b. The Fenestration U-factor includes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.  
 c. 10/15 means R-10 continuous insulation on the interior or exterior of the home or exterior of the home or R-15 cavity insulation at the interior of the basement wall.  
 d. R-5 shall be added to the required slab edge R-values for heated slabs.  
 e. The first value is cavity insulation, the second value is continuous insulation, so "10+5" means R-10 cavity insulation plus R-5 continuous insulation.  
 f. The second R-value applies when more than half the insulation is on the interior of the mass wall.  
 2020 NYS ENERGY CONSERVATION CONSTRUCTION CODE SECTION R-402.2.2 Ceilings without attic spaces.  
 WHERE SECTION R402.1.2 REQUIRES INSULATION GREATER THAN R-50 IN R-VALUES THE CEILING AND THE DESIGN OF THE ROOF / CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THE MINIMUM REQUIRED INSULATION FOR SUCH ROOF / R-VALUE CEILING ASSEMBLIES SHALL BE R-50. INSULATION SHALL EXTEND OVER THE TOP OF THE WALL FLARE TO THE CURB EDGE OF SUCH FLARE AND SHALL NOT BE COMPRESSED. THIS REDUCTION OF INSULATION FROM THE REQUIREMENTS OF SECTION R402.1.2 SHALL BE LIMITED TO 500 SQUARE FEET (46 M2) OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.5.

**INSULATION AND FENESTRATION ENERGY CODE COMPLIANCE STATEMENT**  
 TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS COMPLY OR EXCEED 2020 NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS.



SQUASH BLOCK AND RIM JOIST DETAIL  
NOT TO SCALE



SECTION  
SCALE: 1/4" = 1'-0"

SEAL:

JOHN G. SCARLATO JR.  
ARCHITECT

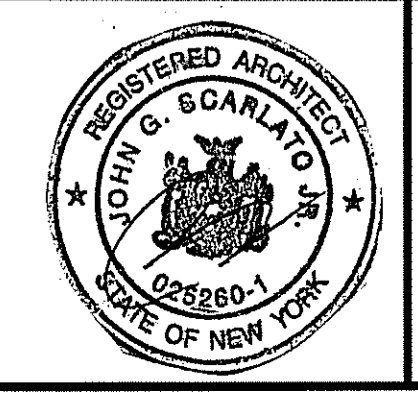
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ADDITION AND INTERIOR ALTERATIONS AND RENOVATIONS

DETAILS AND NOTES



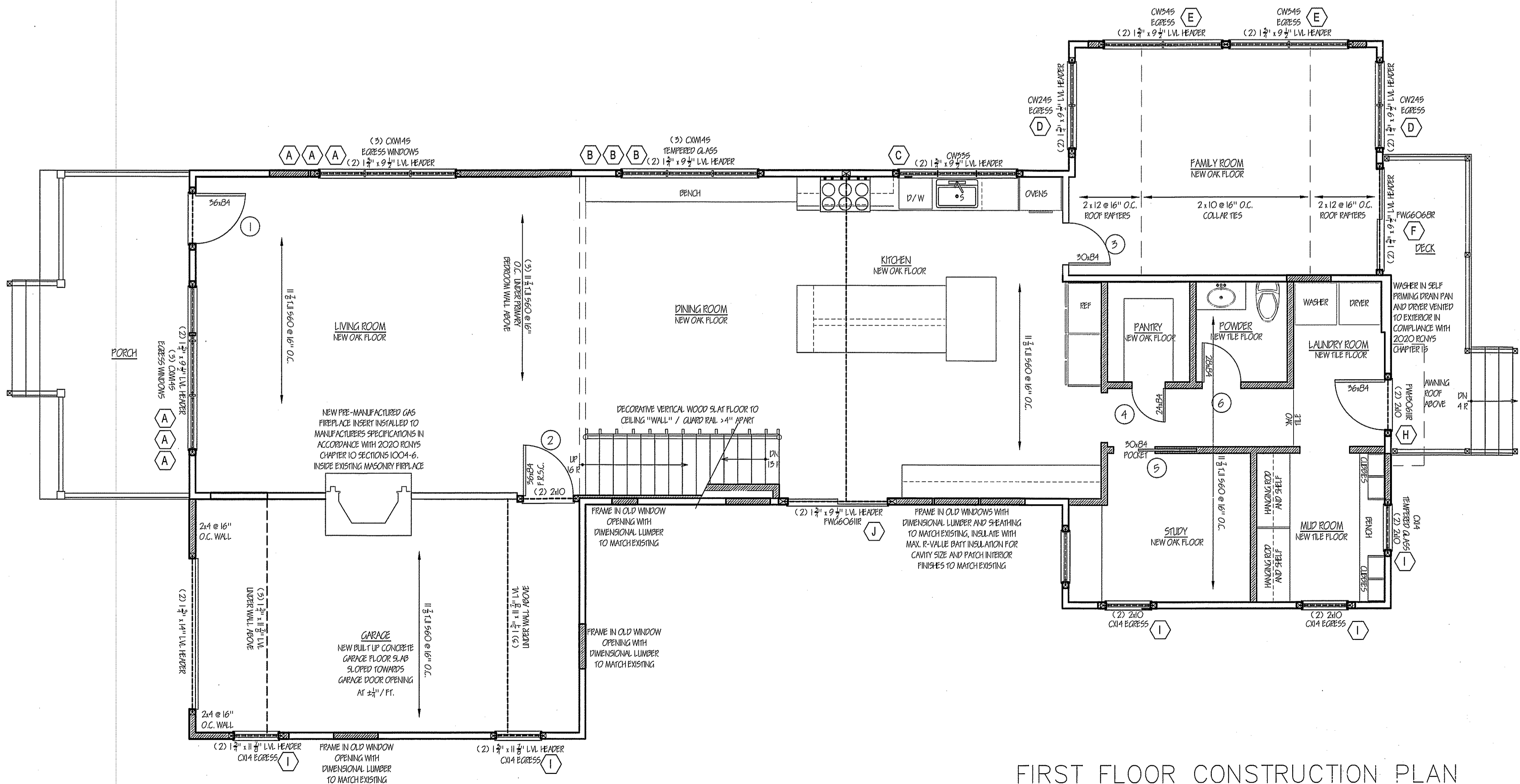
DRAWING NO.

A-4



LEGEND	
	NEW CONSTRUCTION
	NEW FOUNDATION
	EXISTING CONSTRUCTION TO STAY
	EXISTING TO BE REMOVED
	DOOR NUMBER
	WINDOW LETTER
	ELEVATION LOCATION

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FIRST FLOOR CONSTRUCTION PLAN  
 SCALE: 1/4" = 1'-0"

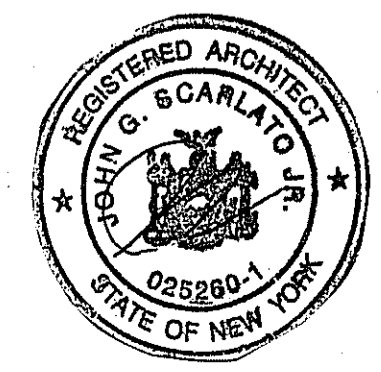
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**LANE RESIDENCE**  
 2 BANKS FARM ROAD  
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ADDITION AND INTERIOR  
 ALTERATIONS AND  
 RENOVATIONS

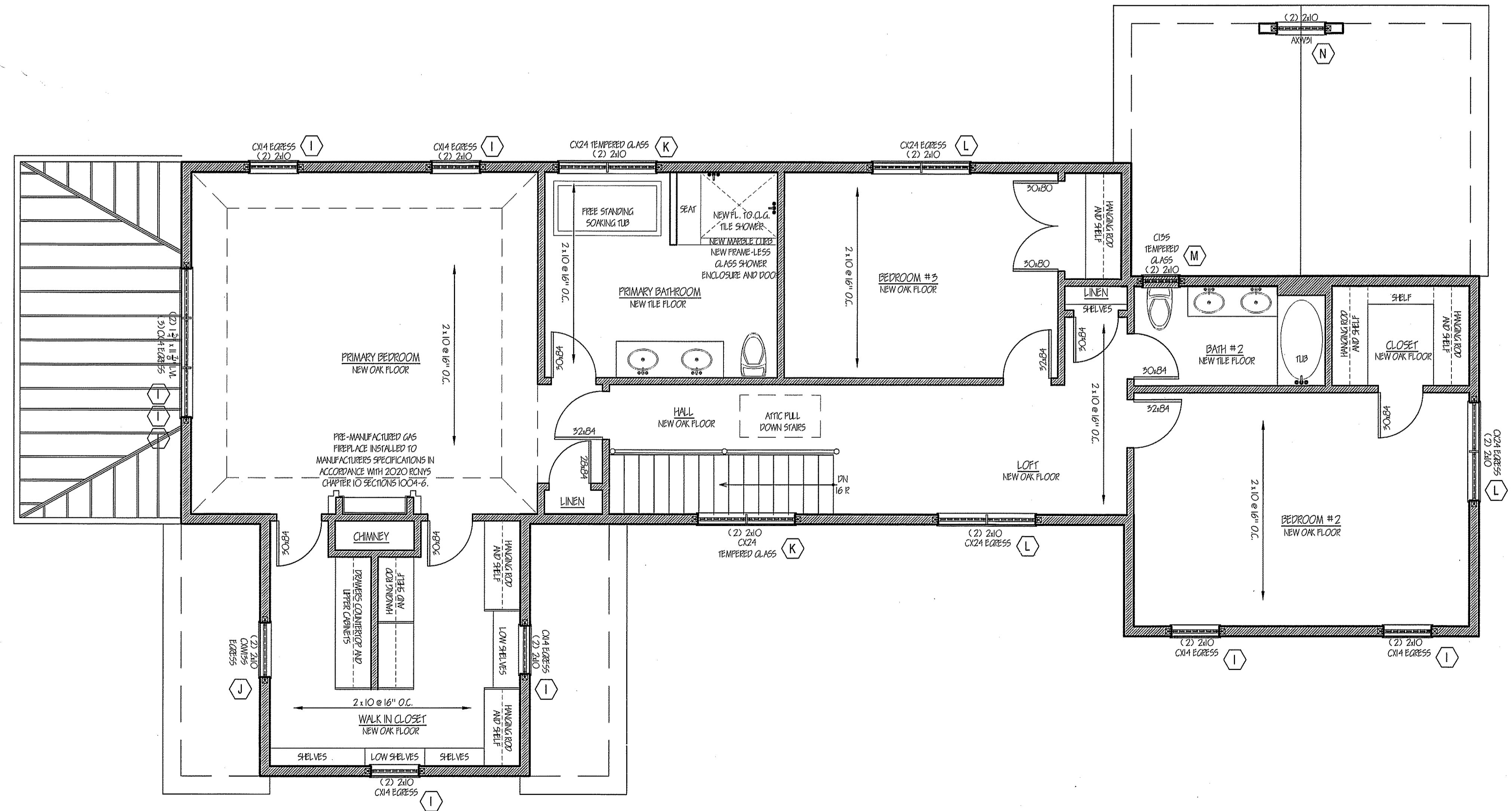
FIRST FLOOR  
 CONSTRUCTION PLAN



DRAWING NO.  
**A-6**

LEGEND	
	NEW CONSTRUCTION
	NEW FOUNDATION
	EXISTING CONSTRUCTION TO STAY
	EXISTING TO BE REMOVED
	DOOR NUMBER
	WINDOW LETTER
	ELEVATION LOCATION

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**LANE RESIDENCE**  
 2 BANKS FARM ROAD  
 BEDFORD, N.Y. 10506

**ADDITION AND INTERIOR  
 ALTERATIONS AND  
 RENOVATIONS**

**SECOND FLOOR  
 CONSTRUCTION PLAN**



DRAWING NO.

**A-7**

**SECOND FLOOR CONSTRUCTION PLAN**  
 SCALE: 1/4" = 1'-0"



1507.1.1 UNDERLAYMENT.  
UNDERLAYMENT FOR ASPHALT SHINGLES, CLAY AND CONCRETE TILE, METAL ROOF SHINGLES, MINERAL SURFACE ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLES, WOOD SHINGLES, WOOD SHAKES, METAL ROOF PANELS AND PRODUCTS THE SHINGLES SHALL CONFORM TO THE APPLICABLE STANDARDS LISTED IN THIS CHAPTER. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASMA D226, D970, D4869 AND D6797 SHALL HAVE A LABEL INDICATING COMPLIANCE WITH THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE 1507.1.1.1. UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH TABLE 1507.1.1.2. UNDERLAYMENT SHALL BE ATTACHED IN ACCORDANCE WITH TABLE 1507.1.1.3.

TABLE 1507.1.1.3 UNDERLAYMENT ATTACHMENT.  
THE UNDERLAYMENT SHALL BE ATTACHED WITH CORROSION RESISTANT FASTENERS IN A GRID PATTERN OF 12 INCHES BETWEEN ROWS WITH A 6-INCH SPACING AT ROW AND END LAPS. UNDERLAYMENT SHALL BE ATTACHED USING METAL OR PLASTIC CAP NAILS OR CAP SCREWS WITH A MINIMUM CAP DIMENSION OF NOT LESS THAN 1/2 INCH. METAL CAPS SHALL HAVE A THICKNESS OF NOT LESS THAN 32 GAUGE (0.024 INCH) SHEET METAL. POWER-DRIVEN METAL CAPS SHALL HAVE A MINIMUM THICKNESS OF 0.024 INCH. MINIMUM THICKNESS OF PLASTIC CAPS SHALL BE 0.024 INCH. THE CAP NAIL SHANK SHALL BE NOT LESS THAN 0.024 INCH FOR RING SHANK CAP NAILS AND 0.024 INCH FOR SMOOTH SHANK CAP NAILS. SCREWS SHALL BE NOT LESS THAN 21 GAUGE (0.025 INCH). THE CAP NAIL SHANK AND CAP SCREW LEGS SHALL HAVE A LENGTH SUFFICIENT TO PENETRATE THROUGH THE ROOF SHEATHING OR NOT LESS THAN 1/4 INCH INTO THE ROOF SHEATHING.

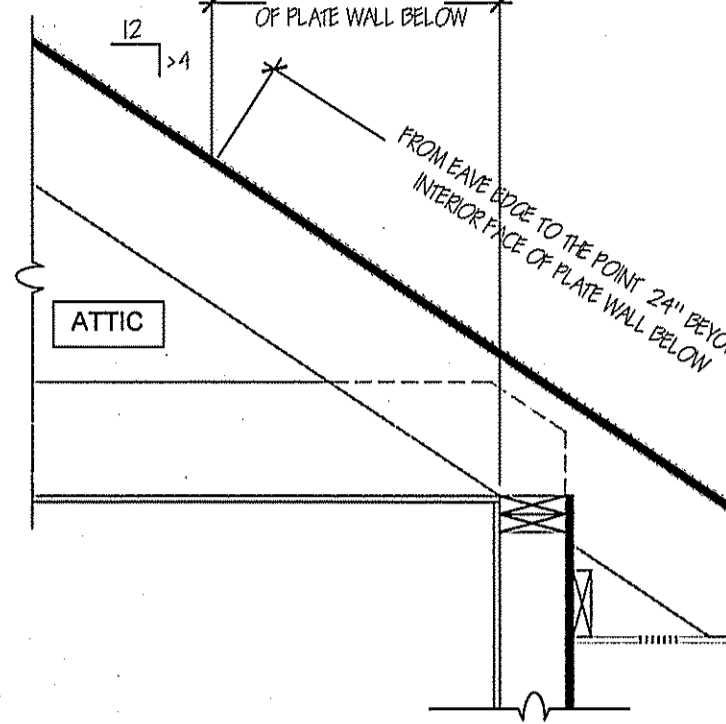
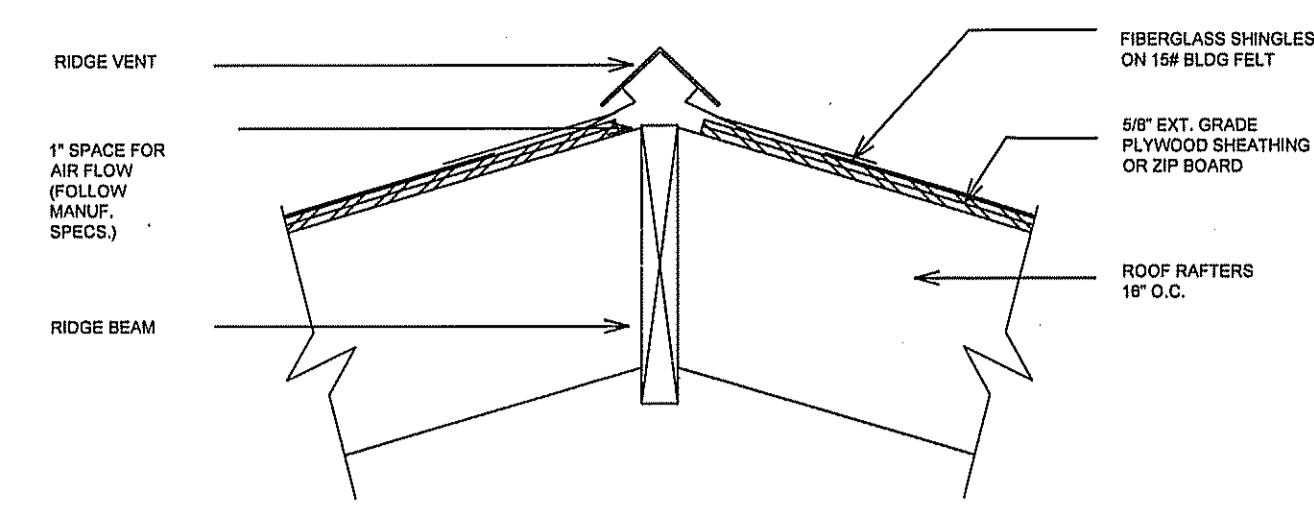


TABLE 1507.1.1.2 UNDERLAYMENT APPLICATION.  
FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2/12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4/12), UNDERLAYMENT SHALL BE TWO LAYERS APPLIED AS FOLLOWS. APPLY A 10-INCH SHIP OF UNDERLAYMENT FELT PAPER, TO AND STOPPING AT THE EAVES STOPPING AT THE EAVE, WITH 16-INCH WIDE STRIPS OF UNDERLAYMENT OVERLAPPING SUCCESSIVE SHEETS BY INCHES. END LAPS SHALL BE 4 INCHES AND SHALL BE OFFSET BY 6 FEET. DISCREPANCIES IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ADHESION OF THE SHINGLES TO SEAL.  
FOR ROOF SLOPES OF FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4/12) OR GREATER, UNDERLAYMENT SHALL BE ONE LAYER APPLIED AS FOLLOWS. UNDERLAYMENT SHALL BE APPLIED SINGLE PAPER PARALLEL TO AND STOPPING FROM THE EAVE AND LAPPED 2 INCHES. DISCREPANCIES IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ADHESION OF THE SHINGLES TO SEAL. END LAPS SHALL BE 4 INCHES AND SHALL BE OFFSET BY 6 FEET.

1507.1.2 ICE SHIELDS.  
IN AREAS WHERE THERE IS A HISTORY OF ICE FORMING ALONG THE EAVES CAUSING A BACKUP OF WATER, AN ICE SHIELD SHALL BE INSTALLED FOR ASPHALT SHINGLES, METAL ROOF SHINGLES, MINERAL SURFACE ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLES, WOOD SHINGLES, AND WOOD SHAKES. THE ICE SHIELD SHALL CONSIST OF NOT LESS THAN TWO LAYERS OF UNDERLAYMENT GEMENTED TOGETHER, OR A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EAVES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

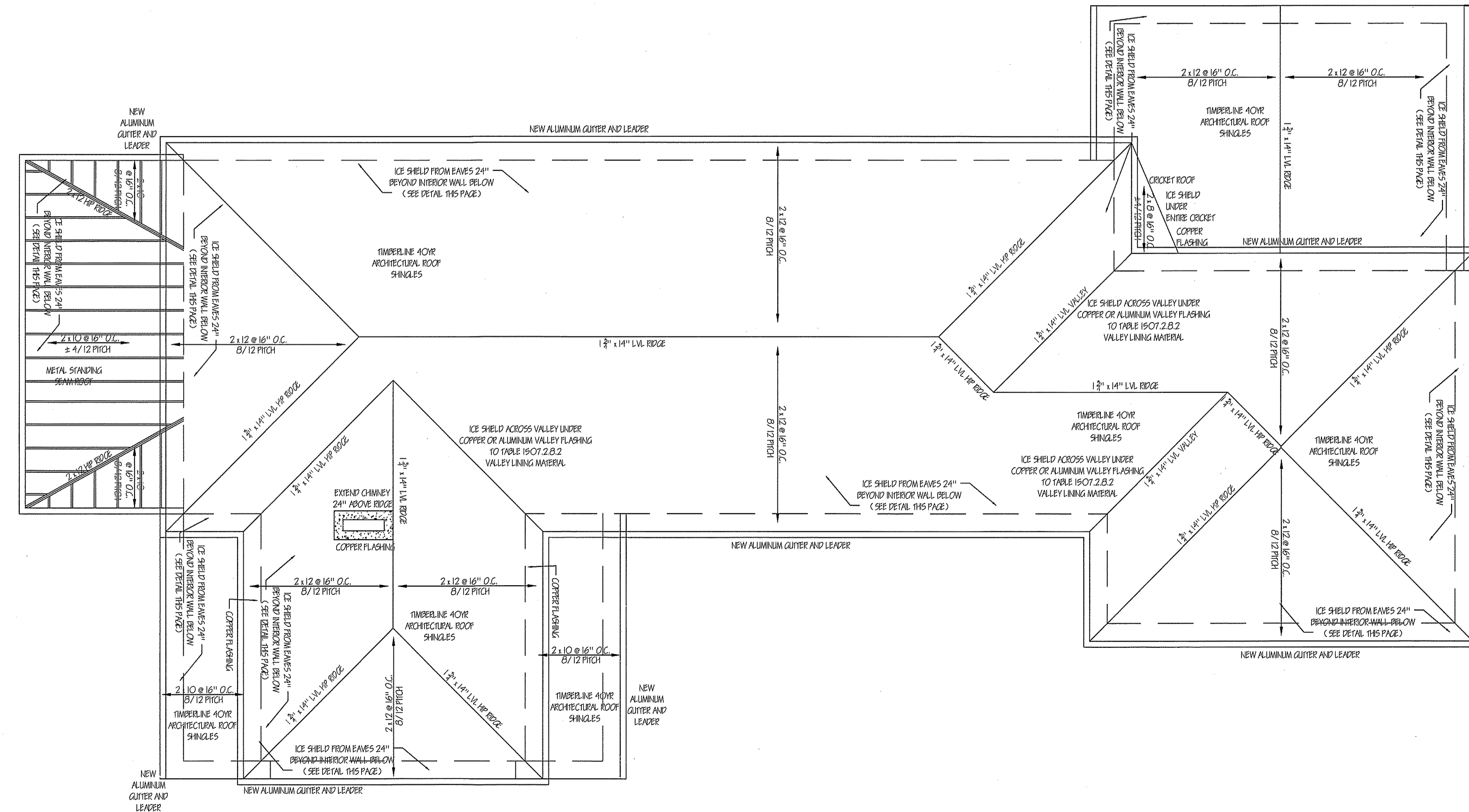
2020 N.Y.S.B.C. UNDERLAYMENT AND ICE SHIELD CODE REFERENCES NOT TO SCALE



RIDGE VENT DETAIL NOT TO SCALE

LEGEND	
	NEW CONSTRUCTION
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	DOOR NUMBER
	WINDOW LETTER
	ELEVATION LOCATION

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ROOF CONSTRUCTION PLAN SCALE: 1/4" = 1'-0"

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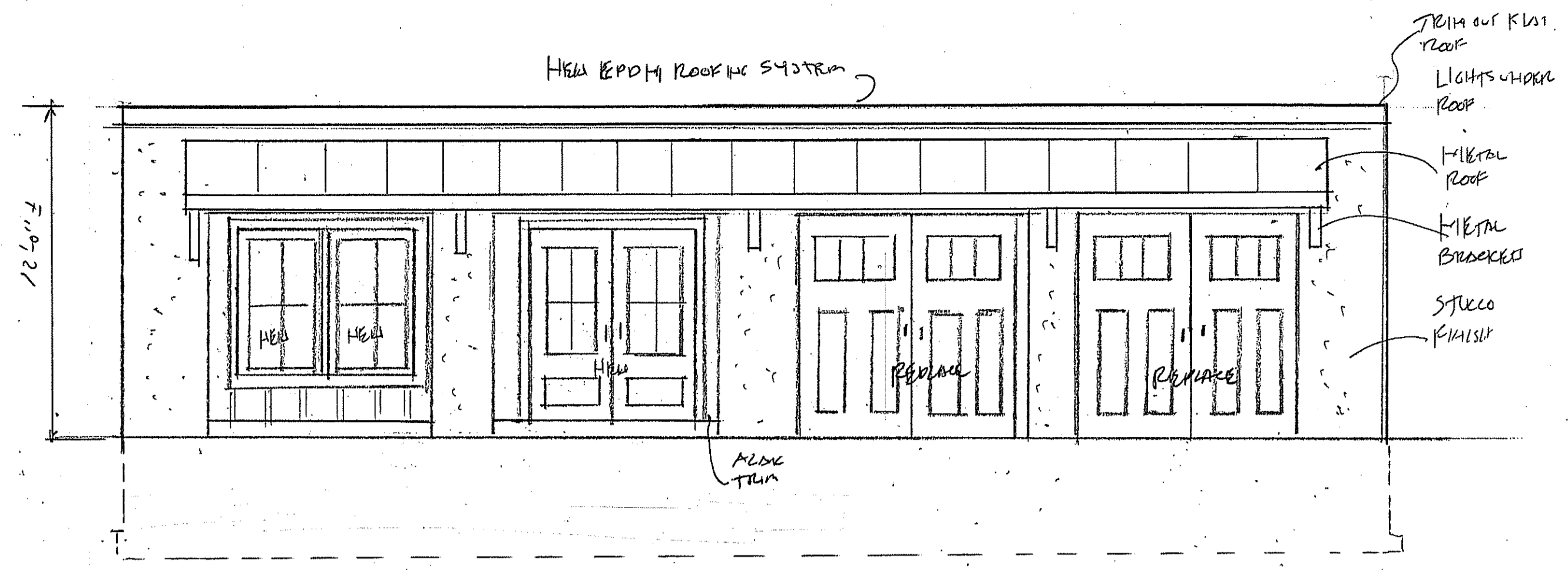
ADDITION AND INTERIOR ALTERATIONS AND RENOVATIONS

ROOF PLAN

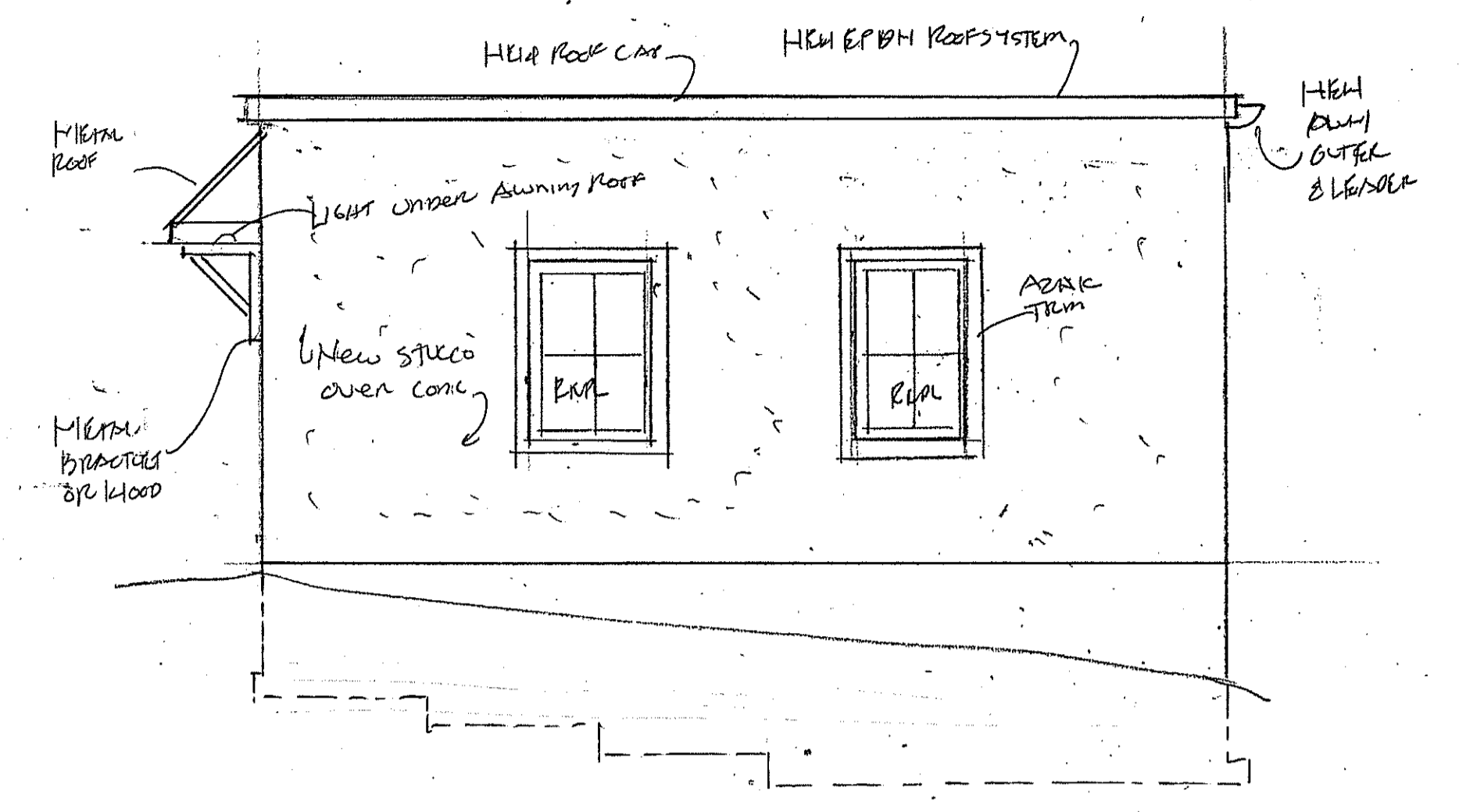


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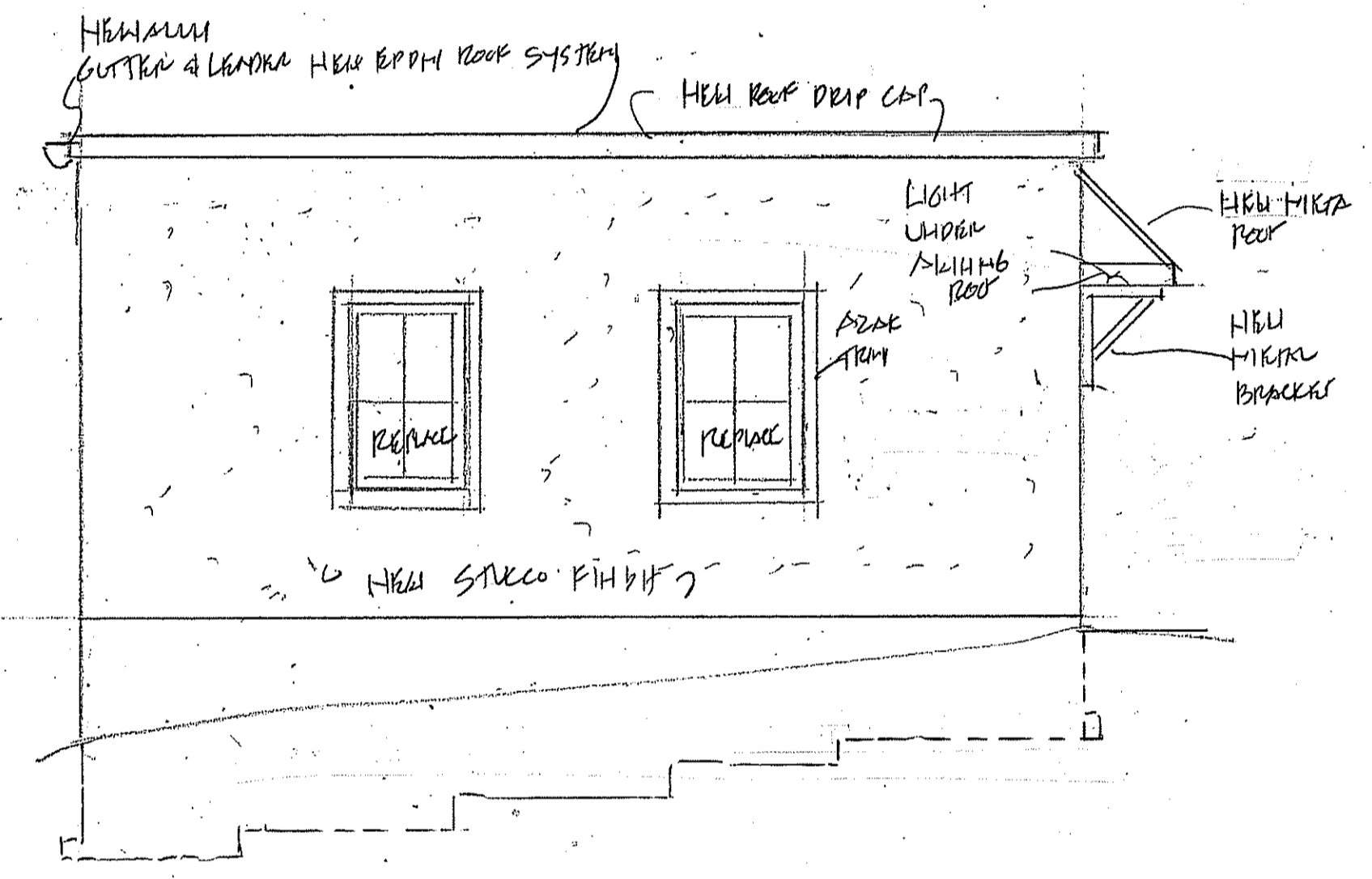
A-8



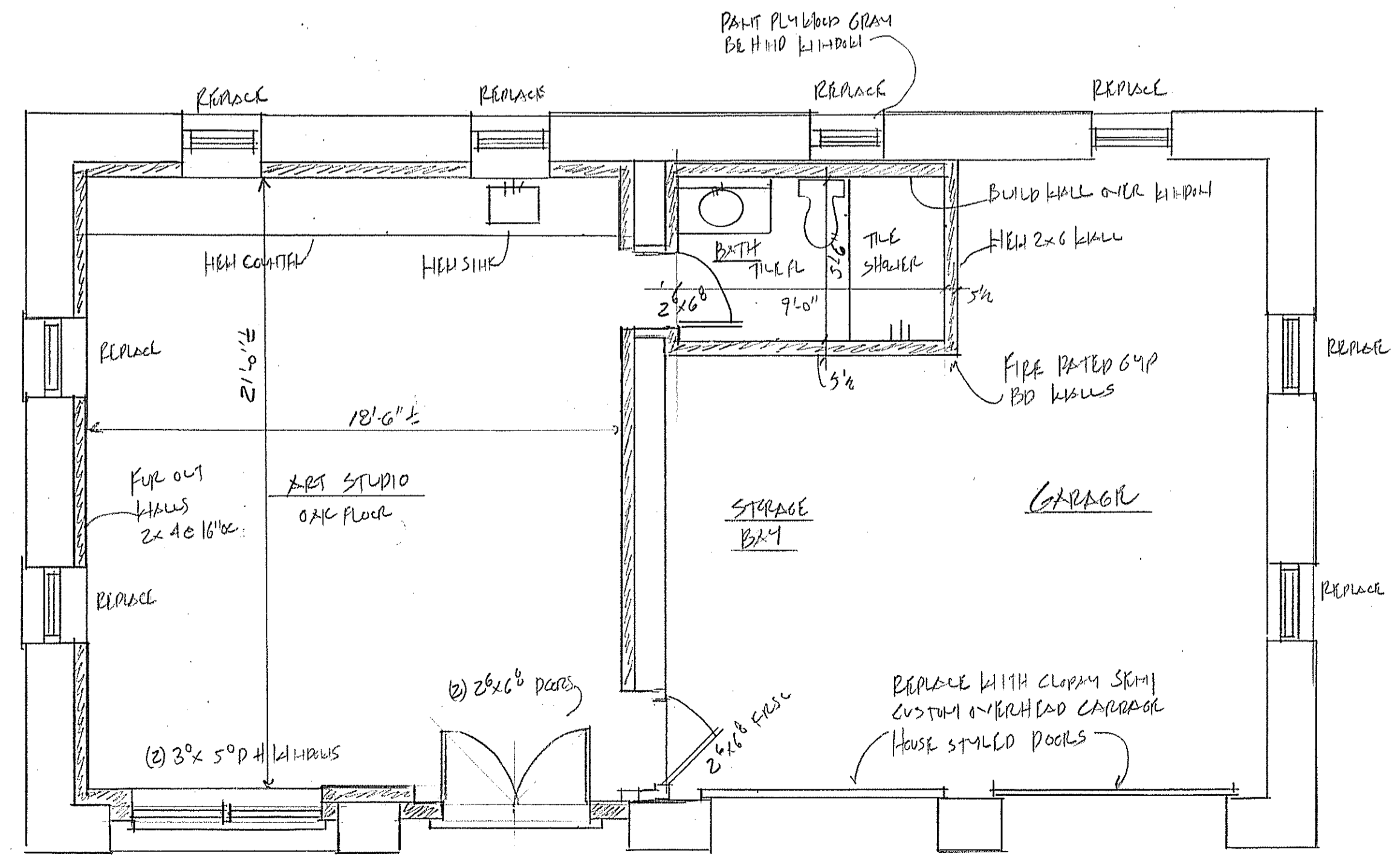
FRONT ELEVATION GARAGE & ART STUDIO  
SCALE 1/4" = 1'-0"



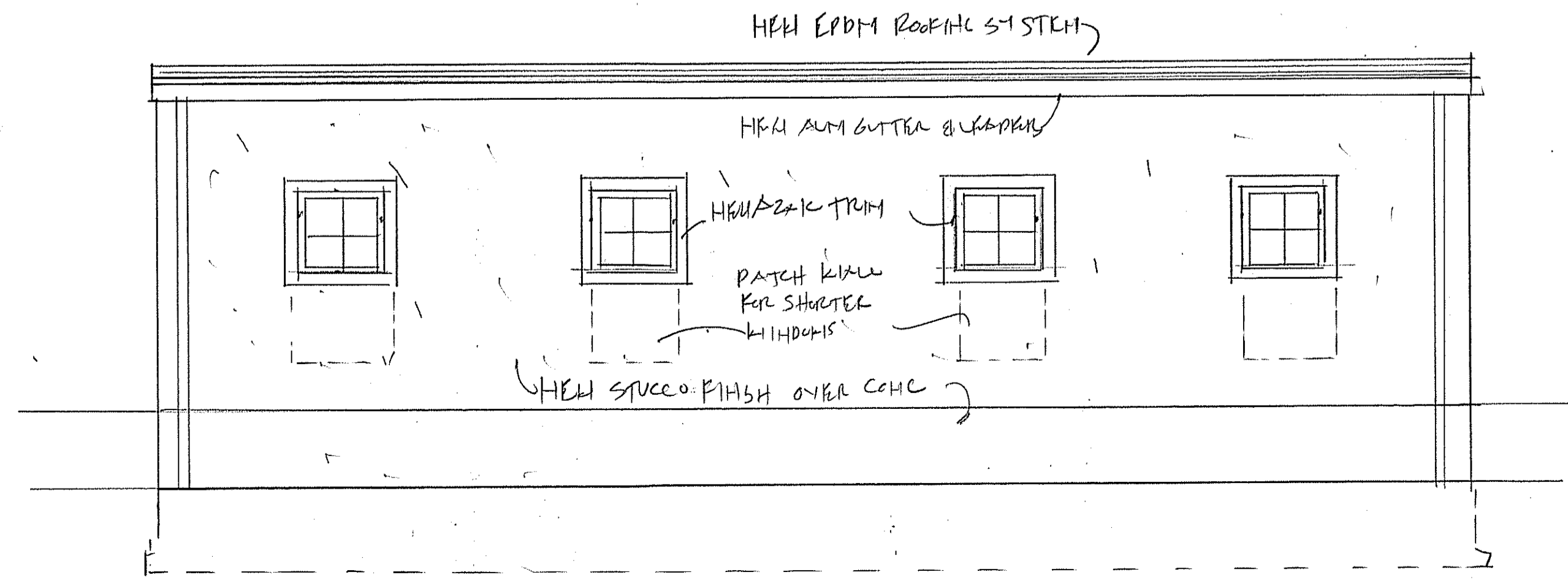
RIGHT SIDE ELEVATION GARAGE & ART STUDIO  
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION GARAGE & ART STUDIO  
SCALE 1/4" = 1'-0"



ACCESSORY GARAGE & ART STUDIO PLAN  
SCALE 1/4" = 1'-0"



REAR ELEVATION GARAGE & ART STUDIO  
SCALE 1/4" = 1'-0"

LEGEND	
	NEW CONSTRUCTION
	NEW FOUNDATION
	EXISTING CONSTRUCTION TO STAY
	EXISTING TO BE REMOVED
	DOOR NUMBER
	WINDOW LETTER
	ELEVATION LOCATION

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LANE RESIDENCE  
2 BANKS FARM ROAD  
BEDFORD, N.Y. 10506

ACCESSORY GARAGE & ART  
STUDIO

PLAN AND EXTERIOR  
ELEVATIONS



DRAWING NO.  
**A-9**



Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

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Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

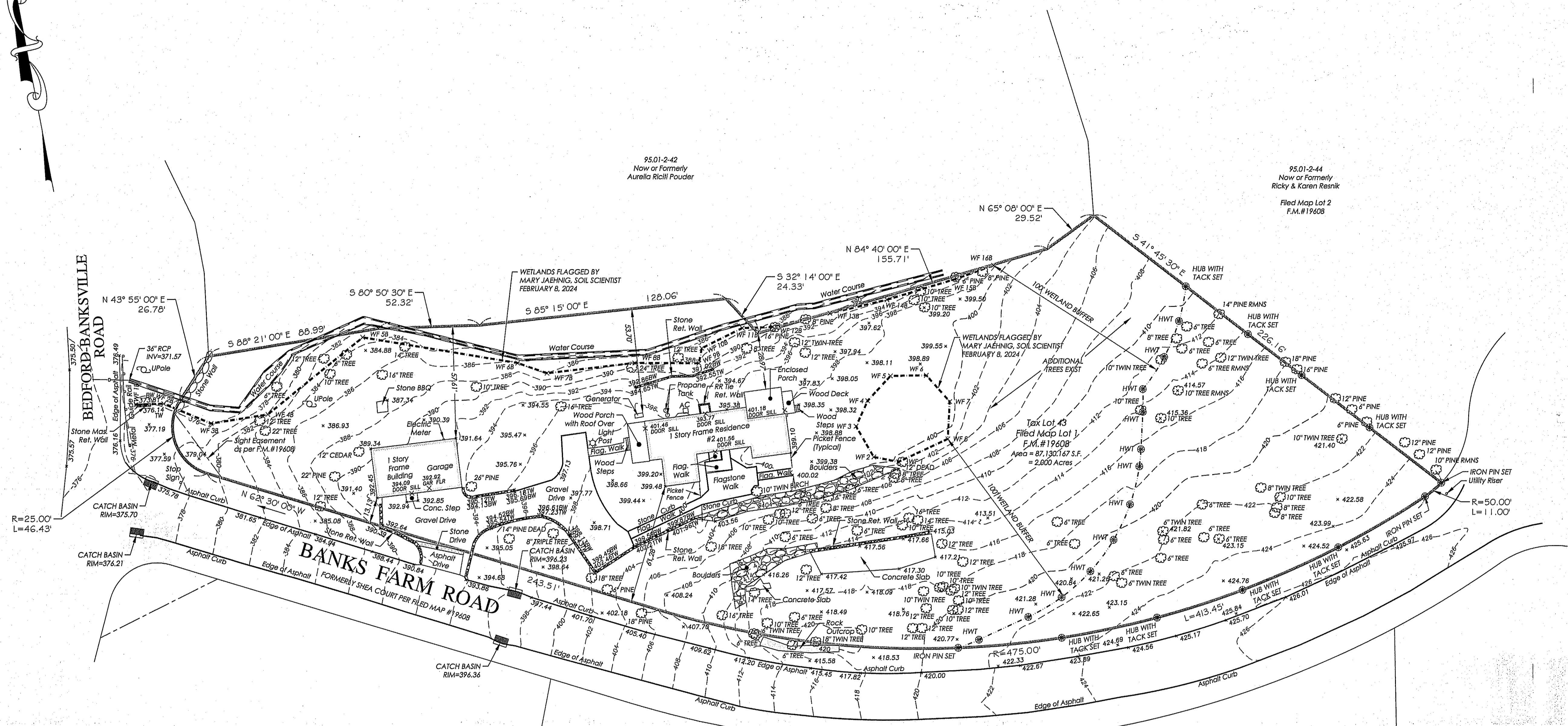
Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Premises hereon being Lot 1 as shown on a certain map entitled, "Subdivision Map of Hobby Hills, situated in the Town of North Castle, Westchester County, NY." Said map filed in the Westchester County Clerk's Office, Division of Land Records July 28, 1978 as map number 19608.

Surveyed in accordance with Deed Liber 7900, Page 57.

Premises shown hereon designated on the Town of North Castle Tax Maps as: Section 95.01, Block 2, Lot 43.

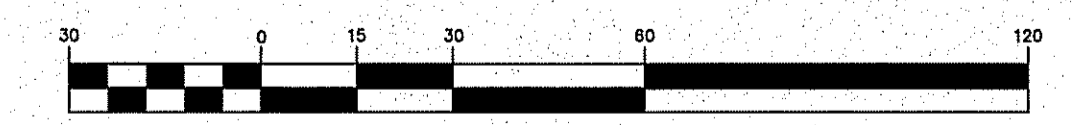
Property Address: 2 Banks Farm Road  
Bedford, NY 10506



**TOPOGRAPHIC SURVEY  
PREPARED FOR  
DEBORAH LANE**  
SITUATE IN THE  
TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY, NEW YORK

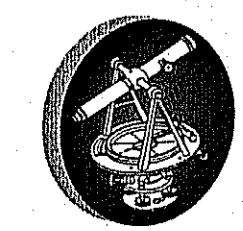
SCALE: 1" = 30'

GRAPHIC SCALE

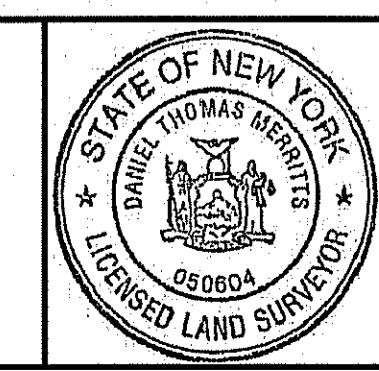


( IN FEET )  
1 inch = 30 ft.

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394 BEDFORD ROAD • PLEASANTVILLE • NY 10570  
(914) 769-8003 • survey@tcmeritts.com



Surveyed: February 14, 2024  
Map Prepared: February 16, 2024  
Map Revised: March 26, 2024 to show points set in field and additional trees

By: *Daniel T. Merritts*  
New York State Licensed Land Surveyor No. 050604

Project: 24-032	Reference: 20-200
Field Survey By: AN/NS	Drawn By: CP
Project Manager: DA	Checked By: DA