



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 10 Seymour Place East, Armonk, New York 10504

Section III- DESCRIPTION OF WORK:

Construction of proposed single family residence.

Section III- CONTACT INFORMATION:

APPLICANT: American Building Technologies

ADDRESS: 333 55th Street, New York, NY 10022

PHONE: 917 416-3413 MOBILE: _____ EMAIL: _____

PROPERTY OWNER: American Building Technologies

ADDRESS: 10 Seymour Place East, Armonk, NY 10504

PHONE: 917-416-3413 MOBILE: _____ EMAIL: _____

PROFESSIONAL.: Ralph Alfonzetti, P.E.

ADDRESS: 14 Smtih Avenue, Mount Kisco, New York 10549

PHONE: 914-666-9800 MOBILE: _____

EMAIL: ralpha@alfonzettieng.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 108.02-1-52



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 10 Seymour Place Date: 04/09/2024

Tax Map Designation or Proposed Lot No.: 108.02-1-52

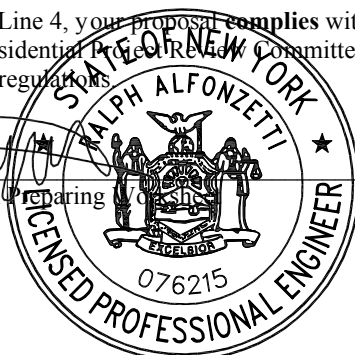
Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 87,120 s.f.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 13,270 s.f.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):

Distance principal home is beyond minimum front yard setback
89.9 x 10 = 899 899 s.f.
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 14,169 s.f.
5. Amount of lot area covered by **principal building**:
2,319 existing + 3,184.1 proposed = 3,184.1 s.f.
 (2,319) To be removed
6. Amount of lot area covered by **accessory buildings**:
123 existing + 123.8 proposed = 123.8 s.f.
7. Amount of lot area covered by **decks**:
534 existing + 0 proposed = 0 s.f.
 (534) To be removed
8. Amount of lot area covered by **porches**:
311 existing + 268.6 proposed = 268.6 s.f.
 (311) To be removed
9. Amount of lot area covered by **driveway, parking areas and walkways**:
3546 existing + 5,677.9 proposed = 5,677.9 s.f.
 (3546) To be removed
10. Amount of lot area covered by **terraces**:
0 existing + 192.0 proposed = 192.0 s.f.
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 800 proposed = 800 s.f.
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0 s.f.
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 10,246.4 s.f.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Ralph Alfonzetti
 Signature and Seal of Professional Preparing



4/16/2024
 Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 10 Seymour Place East Date: 4/11/24

Tax Map Designation or Proposed Lot No.: 108.02-1-52

Floor Area

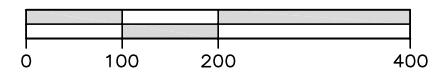
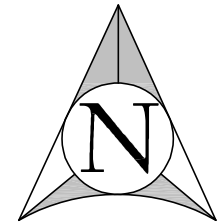
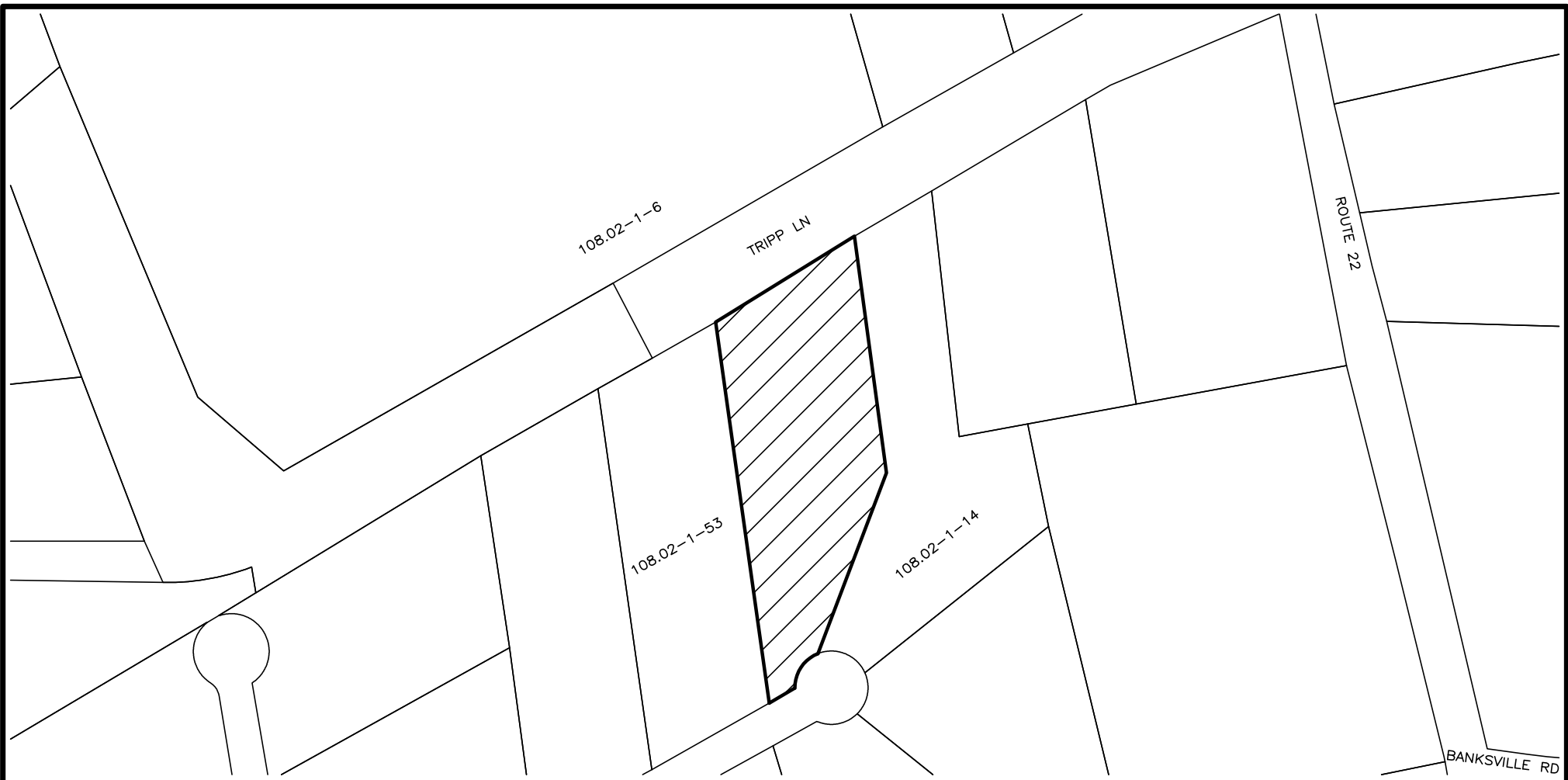
- | | | |
|-----|---|----------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>87,129.366 sf</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>10,122 sf</u> |
| 3. | Amount of floor area contained within first floor:
— <u>0</u> existing + <u>2,404</u> proposed = — | <u>2,397</u> |
| 4. | Amount of floor area contained within second floor:
— <u>0</u> existing + <u>3,040</u> proposed = — | <u>3,040</u> |
| 5. | Amount of floor area contained within garage:
— <u>0</u> existing + <u>878</u> proposed = — | <u>878</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
— <u>0</u> existing + <u>630</u> proposed = — | <u>630</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
— <u>0</u> existing + <u>0</u> proposed = — | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
— <u>0</u> existing + <u>0</u> proposed = — | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
— <u>0</u> existing + <u>0</u> proposed = — | <u>0</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = — | <u>6,945</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

4/11/24

Date



SCALE: 1" = 200'

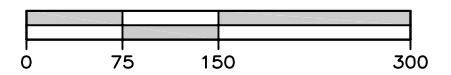
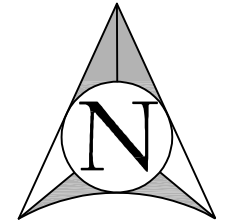
ALFONZETTI ENGINEERING, P.C.
14 SMITH AVE, MT. KISCO, N.Y. 10549
914-666-9800 INFO@ALFONZETTIENG.COM

PROJECT:

10 SEYMOUR PLACE
WESTCHESTER COUNTY
ARMONK, NY 10504

DRAWING:

TAX MAP
APRIL 15, 2024



SCALE: 1" = 150'

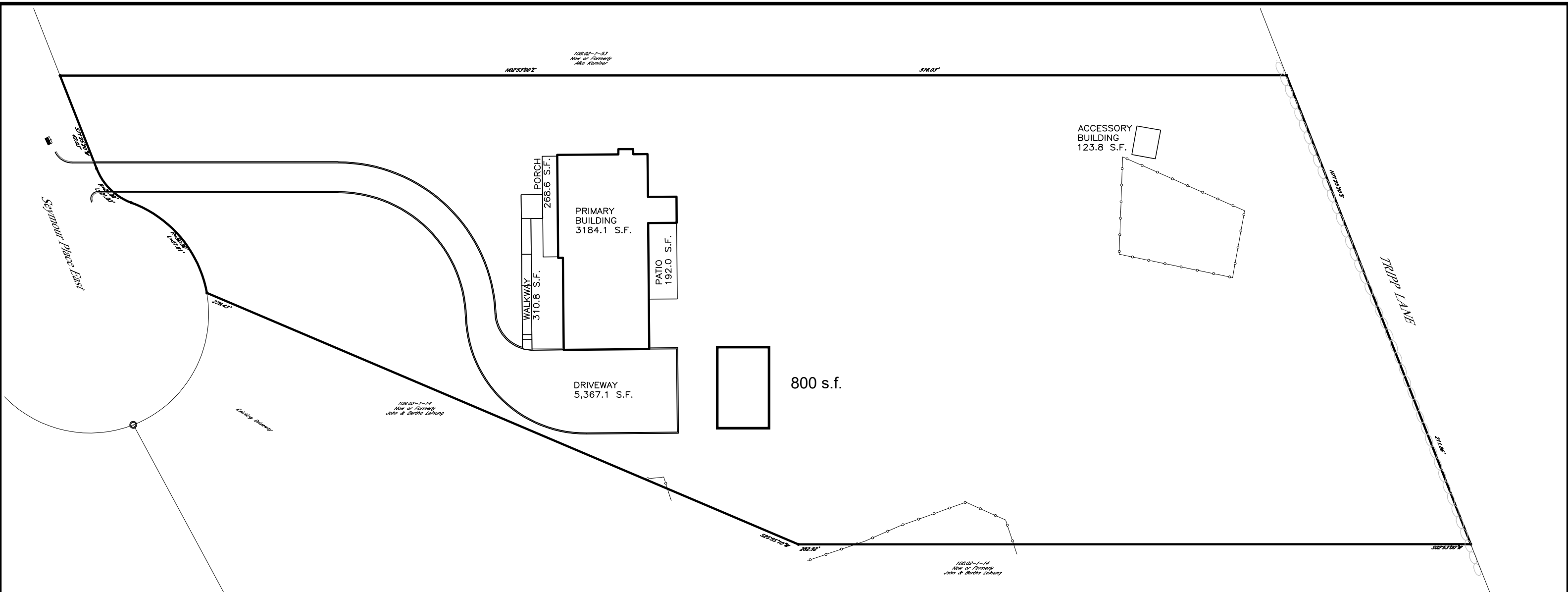
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PROJECT:

10 SEYMOUR PLACE
WESTCHESTER COUNTY
ARMONK, NY 10504

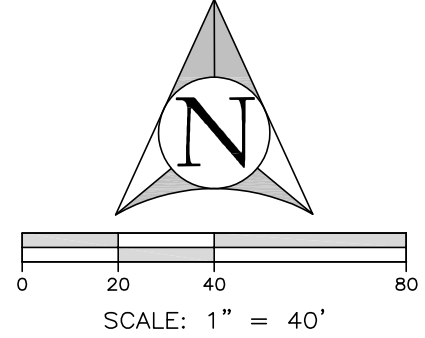
DRAWING:

AERIAL VIEW
APRIL 12, 2024



COVERAGE	
PRINIPLE BUILDING	3184.1 S.F.
ACCESSORY BUILDING	123.8 S.F.
DECKS	0
PORCHES	268.6 S.F.
DRIVEWAY AND WALKWAYS	5677.9 S.F.
TERRACES	192.0 S.F.
POOL AND POOL EQUIPMENT	0 S.F.
ALL OTHER STRUCTURES	0 S.F.

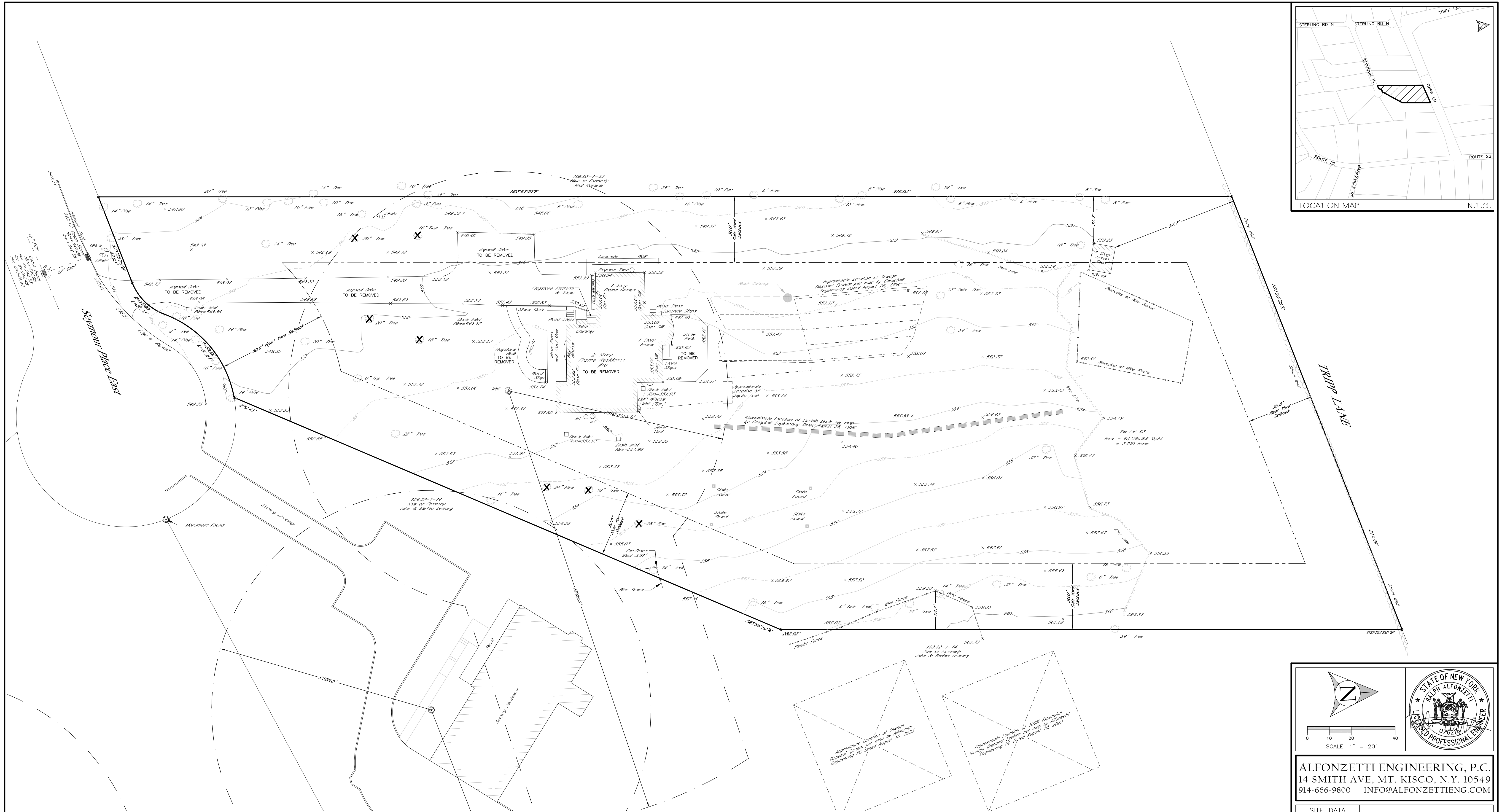
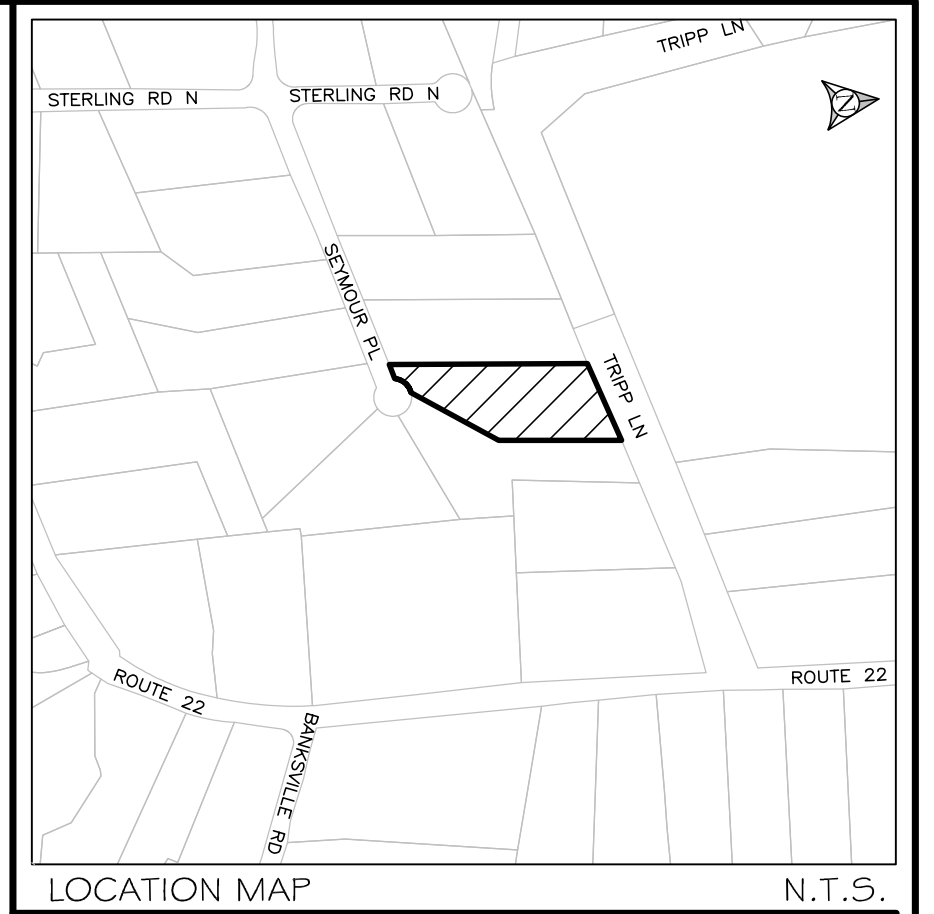
NOTES:
 LINES SHOWN ARE CLOSED
 COMPUTER POLYLINE
 ENTITIES.



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10 SEYMOUR PLACE
 WESTCHESTER COUNTY
 ARMONK, NY 10504

GLC BACKUP
 APRIL 15, 2024



- CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
 2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
 3. EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
 4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
 5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
 7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
 8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
 9. ALL PROPOSED OR DISTURBED SLOPES, 1:1.25 OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
 10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
 11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.
 12. OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.

- CONSTRUCTION SEQUENCE:**
1. SURVEY AND STAKE LIMITS OF DISTURBANCE AND EROSION CONTROL INSTALLATION.
 2. INSTALL EROSION CONTROLS (ANTI-TRACKING PAD, SILT FENCE, TEMPORARY SOIL STOCKPILES) AS SHOWN ON THE EROSION CONTROL PLAN AND PER THE RESPECTIVE EROSION CONTROL DETAILS.
 3. REMOVE TREES PER SITE DEMOLITION PLAN.
 4. STAGING AREA SHALL BE WITHIN THE DISTURBANCE LIMITS.
 5. STRIP TOPSOIL AND ROUGH GRADING. NOTE THAT DISTURBED SOIL THAT WILL NOT BE WORKED FOR A PERIOD GREATER THAN 14 DAYS MUST BE STABILIZED. STABILIZATION MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS.
 6. EXCAVATE FOR PROPOSED FOOTINGS/FOUNDATION. HOUSE FRAMING AND SUPERSTRUCTURE IS CONSTRUCTED.
 7. EXCAVATE AND INSTALL SUBSURFACE UTILITIES; ELECTRIC TELEPHONE/CABLE/DRAINAGE. SEPTIC SYSTEM SHALL BE STAKED. SEPTIC SYSTEM AND WELL SHALL BE INSTALLED.
 8. FINAL GRADING, SEEDING, SODDING, AND OTHER SOIL STABILIZING LANDSCAPING FOR FINAL SITE STABILIZATION.
 9. REMOVE EROSION CONTROL: SILT FENCE AND ANTI-TRACKING PAD. DISCARD EROSION CONTROL DEVICES IN AN LAWFUL MANNER.

- GENERAL NOTES:**
1. EXISTING FEATURES SHOWN HEREON TAKEN FROM SURVEY MAP ENTITLED "TOPOGRAPHY OR PROPERTY PREPARED FOR NICOLE K. ROSEE AND JONATHAN R. ROSEE, SITUATE IN THE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK, PREPARED BY TC MERRIS LAND SURVEYORS, DATED DECEMBER 7, 2016.
 2. VERTICAL DATUM 88.

TREE LEGEND

	TREE TO BE REMOVED
	TREE TO BE SAVED

TREE REMOVAL LIST

SIZE (IN.)	KIND
16	TWIN TREE
18	TREE
18	TREE
20	TREE
20	TREE
24	PINE
28	PINE

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

STATE OF NEW YORK
RALPH ALFONZETTI
LICENSED PROFESSIONAL ENGINEER

SCALE: 1" = 20'

ALFONZETTI ENGINEERING, P.C.
14 SMITH AVE, MT. KISCO, N.Y. 10549
914-666-9800 INFO@ALFONZETTIENG.COM

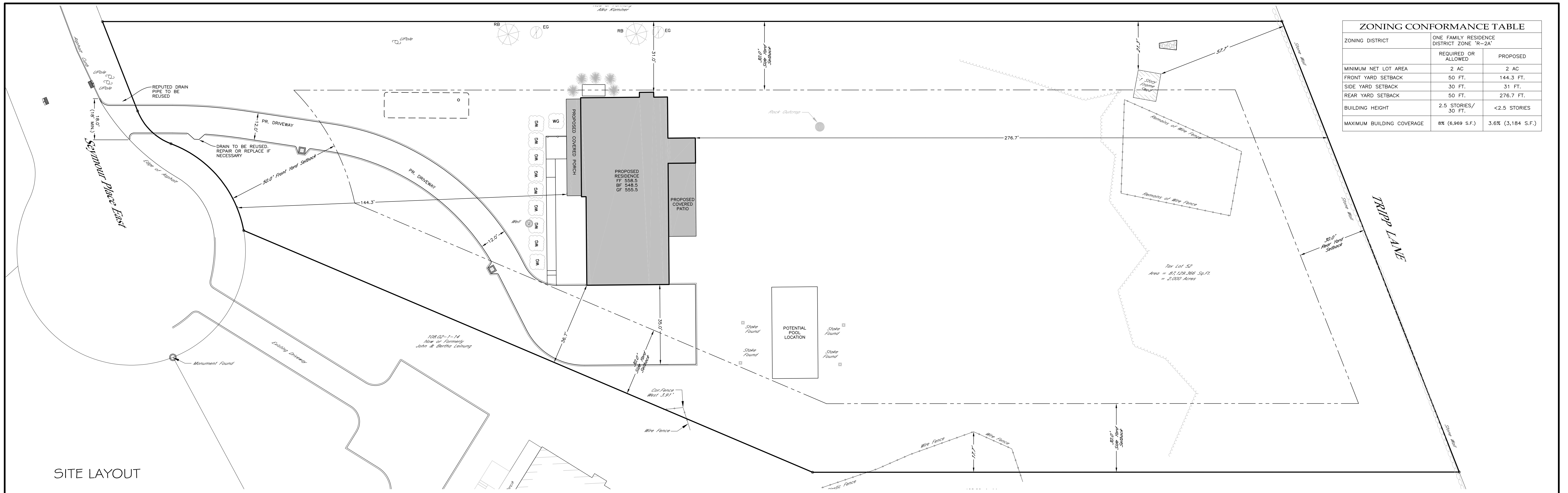
SITE DATA

OWNER/APPLICANT: AMERICAN BUILDING TECHNOLOGIES
 SITE ADDRESS: 10 SEYMOUR PLACE EAST, ARMONK, NY 10504
 TAX MAP #: 108.02-1-52
 LOT AREA: 2.0 ACRES
 ZONING: R-2A

EXISTING CONDITIONS
APRIL 16, 2024

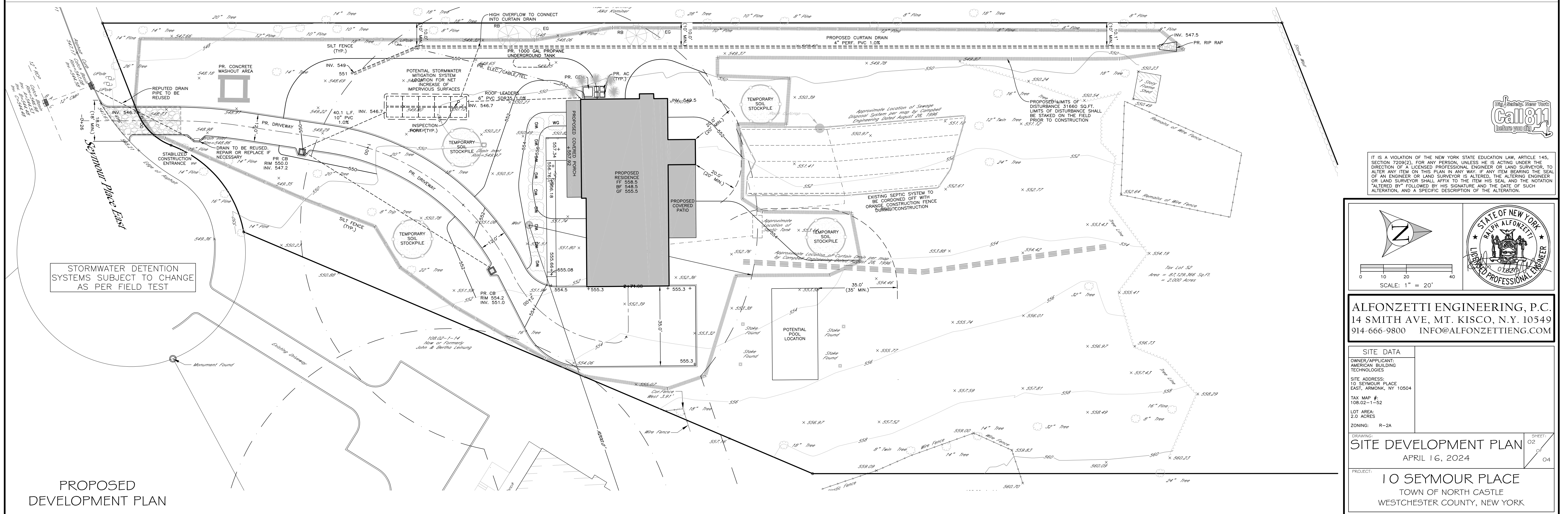
PROJECT: 10 SEYMOUR PLACE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

SHEET 01 OF 04



SITE LAYOUT

ZONING CONFORMANCE TABLE			
ZONING DISTRICT	ONE FAMILY RESIDENCE DISTRICT ZONE "R-2A"	REQUIRED OR ALLOWED	PROPOSED
MINIMUM NET LOT AREA	2 AC	2 AC	2 AC
FRONT YARD SETBACK	50 FT.	144.3 FT.	144.3 FT.
SIDE YARD SETBACK	30 FT.	31 FT.	31 FT.
REAR YARD SETBACK	50 FT.	276.7 FT.	276.7 FT.
BUILDING HEIGHT	2.5 STORIES/30 FT.	<2.5 STORIES	<2.5 STORIES
MAXIMUM BUILDING COVERAGE	8% (6,969 S.F.)	3.6% (3,184 S.F.)	3.6% (3,184 S.F.)



PROPOSED DEVELOPMENT PLAN

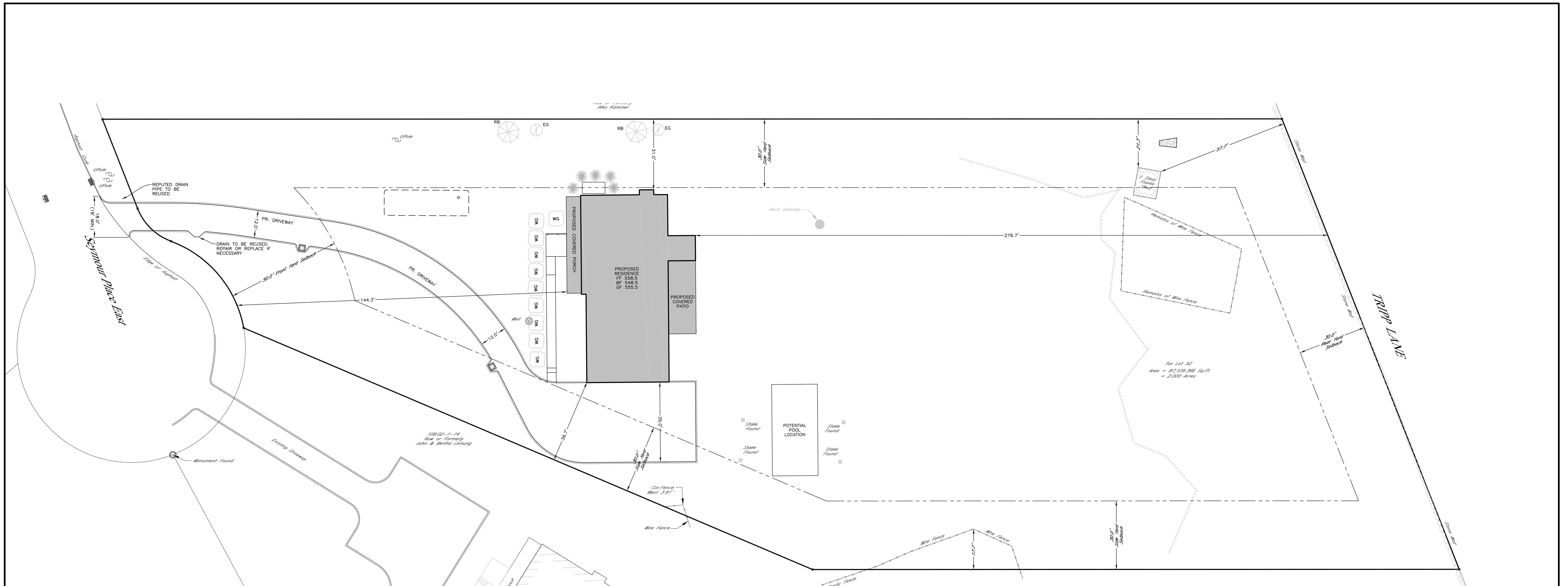


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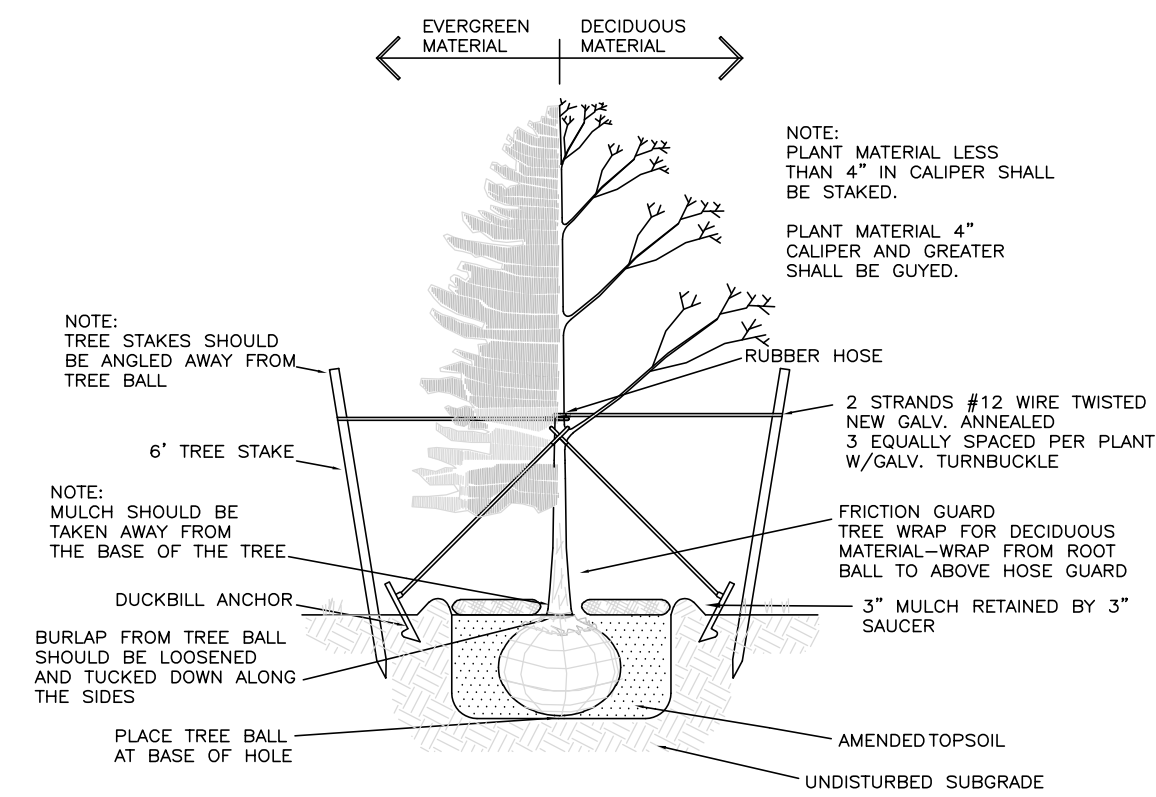
ALFONZETTI ENGINEERING, P.C.
 14 SMITH AVE, MT. KISCO, N.Y. 10549
 914-666-9800 INFO@ALFONZETTIENG.COM

SITE DATA
 OWNER/APPLICANT: AMERICAN BUILDING TECHNOLOGIES
 SITE ADDRESS: 10 SEYMOUR PLACE, EAST ANTONY, NY 10504
 TAX MAP #: 108.02-1-52
 LOT AREA: 2.0 ACRES
 ZONING: R-2A

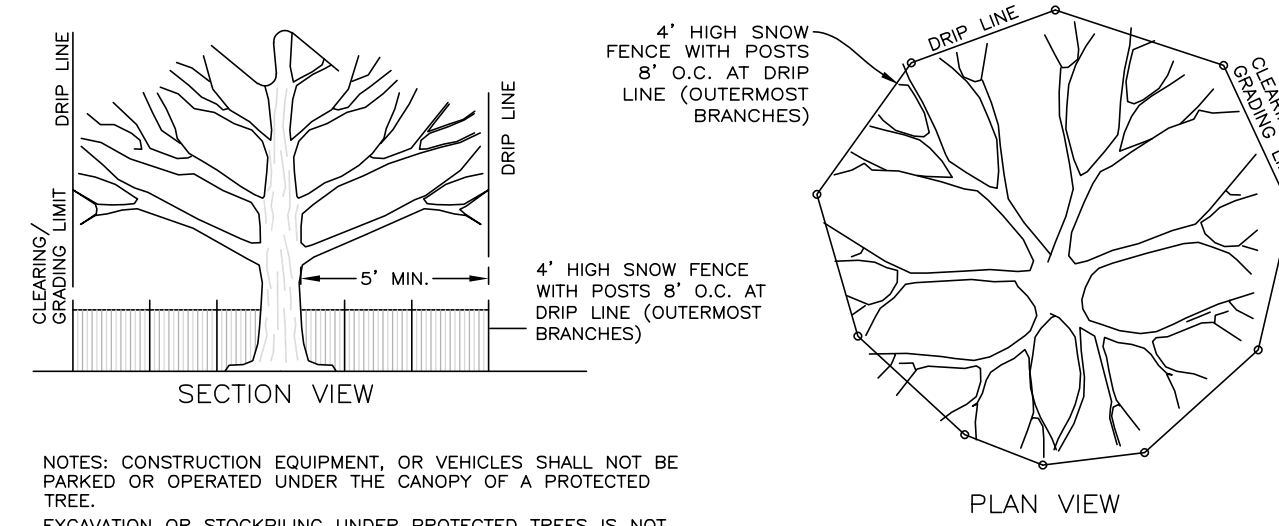
DRAWING: SITE DEVELOPMENT PLAN SHEETS: 02 OF 04
 APRIL 16, 2024
 PROJECT: 10 SEYMOUR PLACE
 TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY, NEW YORK



PLANT LIST					
SYMBOLS	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	RB	2	BETULACEAE	RIVER BIRCH	7'-8' HT
	WG		BUXUS 'WINTER GEM'	WINTER GEM BOXWOOD	24-30"
	EG	2		EVERGREENS	8'-10' HT
		5		TALL GRASS	2'-4' HT



TREE PLANTING DETAIL
N.T.S.



TREE PROTECTION DETAIL
N.T.S.



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SCALE: 1" = 20'

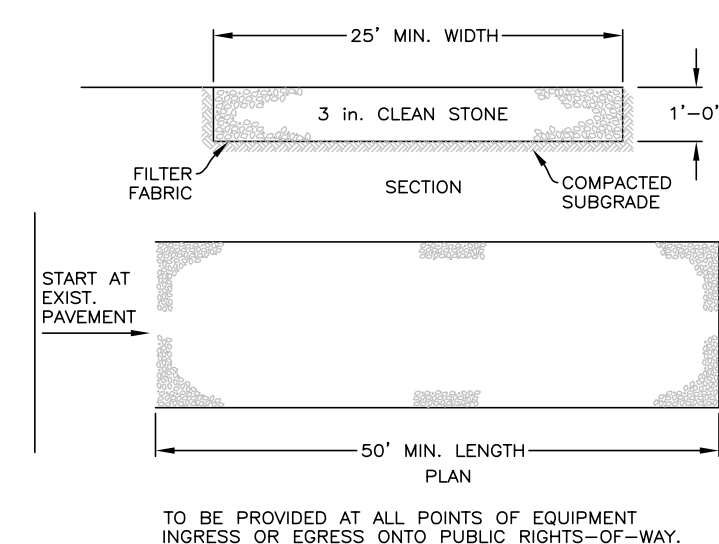
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914-666-9800 INFO@ALFONZETTIENG.COM

SITE DATA	
OWNER/APPLICANT:	AMERICAN BUILDING TECHNOLOGIES
SITE ADDRESS:	10 SEYMOUR PLACE EAST, ARMONK, NY 10504
TAX MAP #:	108.02-1-52
LOT AREA:	2.0 ACRES
ZONING:	R-2A
DRAWING:	LANDSCAPING PLAN
PROJECT:	10 SEYMOUR PLACE TOWN OF NORTH CASTLE WESTCHESTER COUNTY, NEW YORK

SHEET
03
OF
04

EROSION CONTROL NOTES:

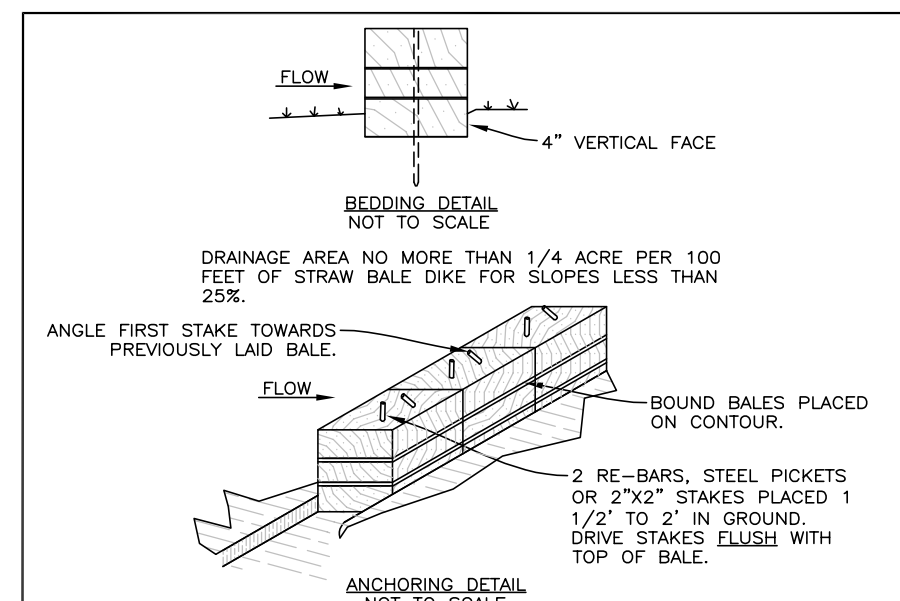
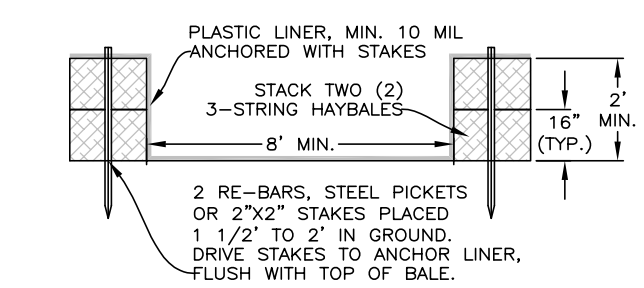
- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
3. INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2'-3" DIAMETER CRUSHED STONE 6" DEEP.
4. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
5. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
6. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
7. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
8. ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
9. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
10. ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
11. UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILING, AREA IS TO BE TOPSOILED, SEEDING AND MULCHED.
12. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
13. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
14. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).



INSTALLATION NOTES

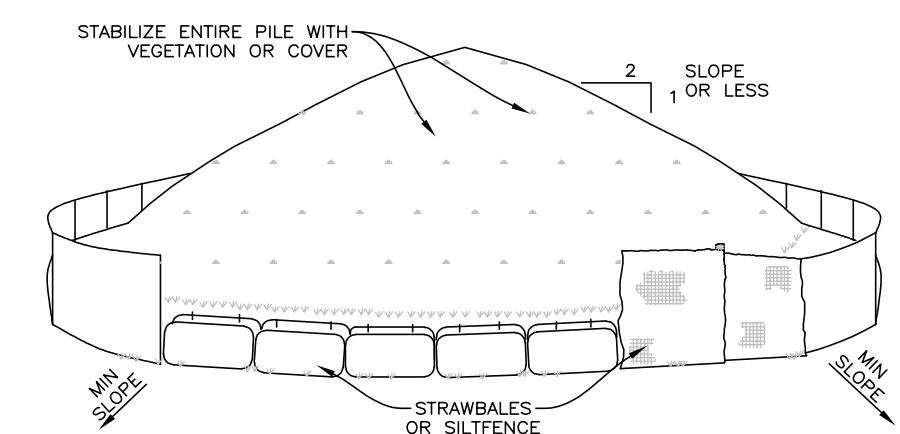
- 1. STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIRED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SHALL BE DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD) N.T.S.



- 1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4" INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

HAYBALE SEDIMENT BARRIERS N.T.S.



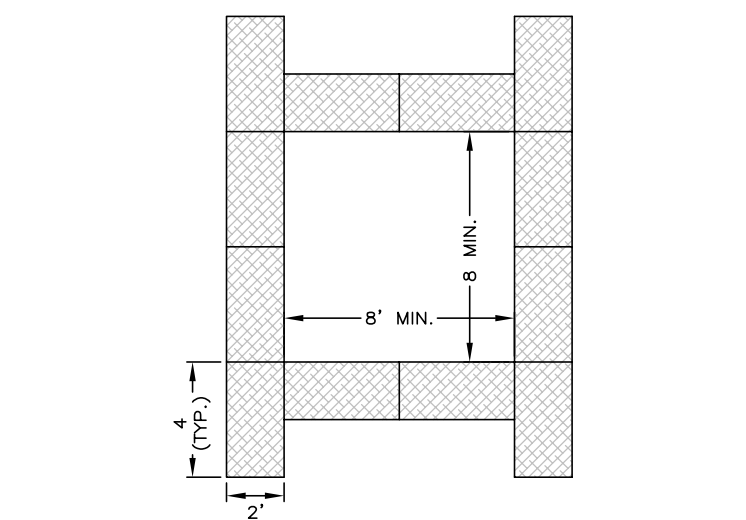
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUBS AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

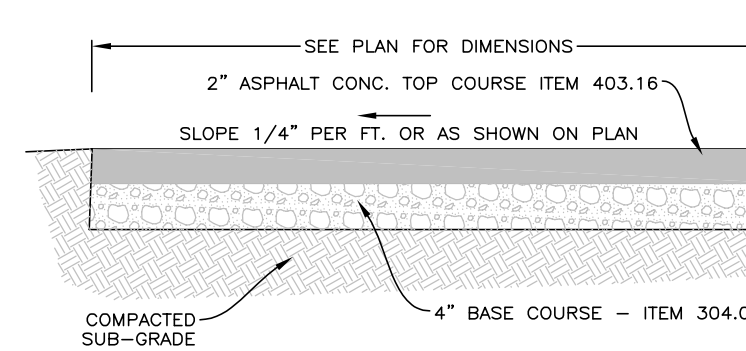
INSTALLATION NOTES

- 1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

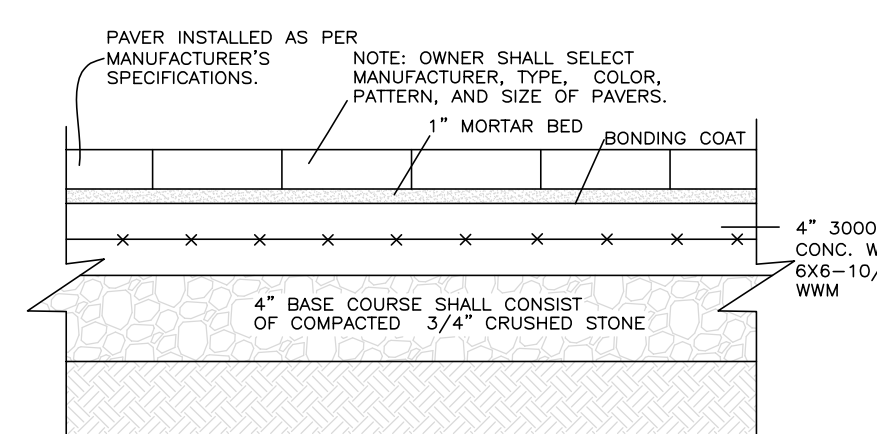
TEMPORARY MATERIAL STOCKPILE N.T.S.



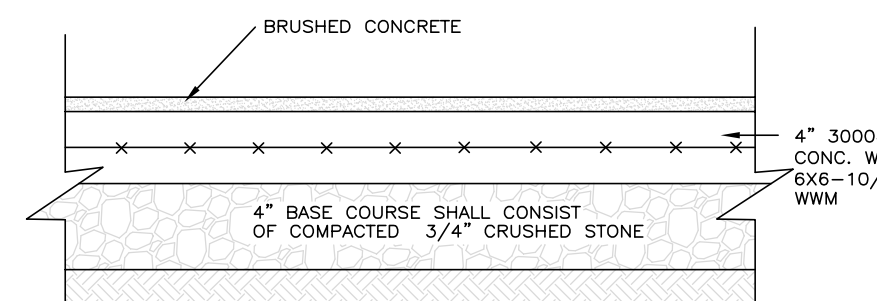
CONCRETE WASHOUT DETAIL N.T.S.



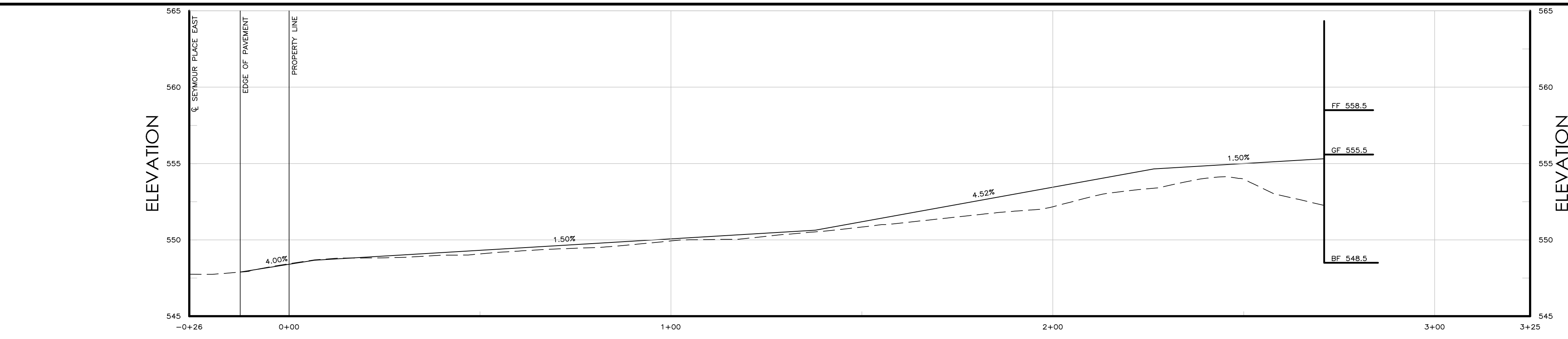
DRIVEWAY SECTION N.T.S.



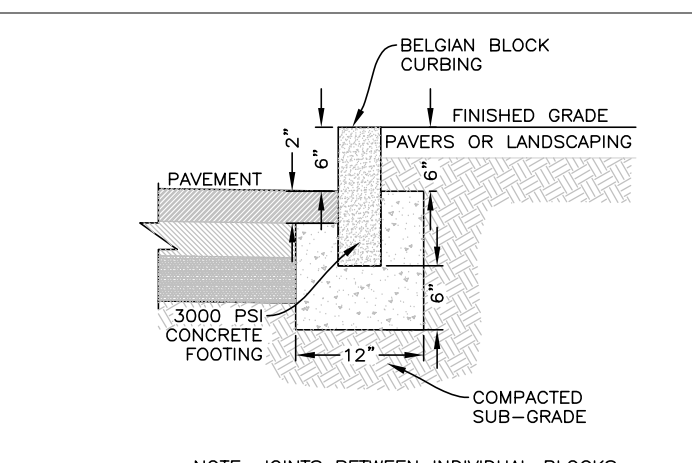
WALKWAY DETAIL N.T.S.



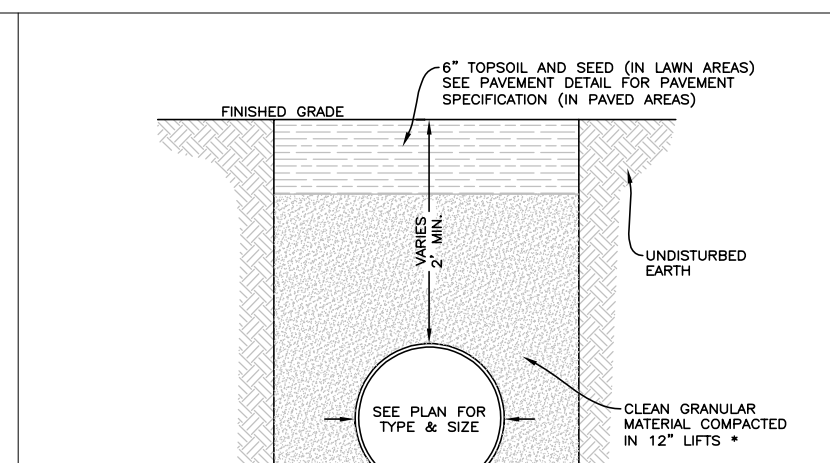
PATIO DETAIL N.T.S.



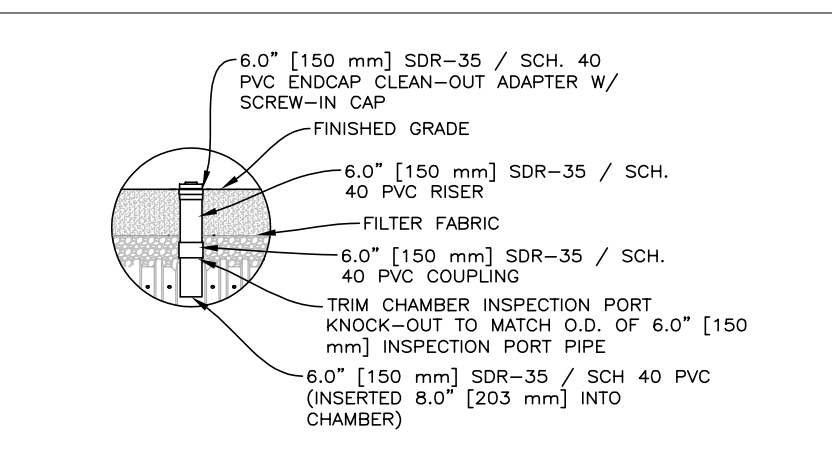
PROPOSED DRIVEWAY PROFILE HORIZONTAL SCALE: 1" = 20' VERTICAL SCALE: 1" = 5'



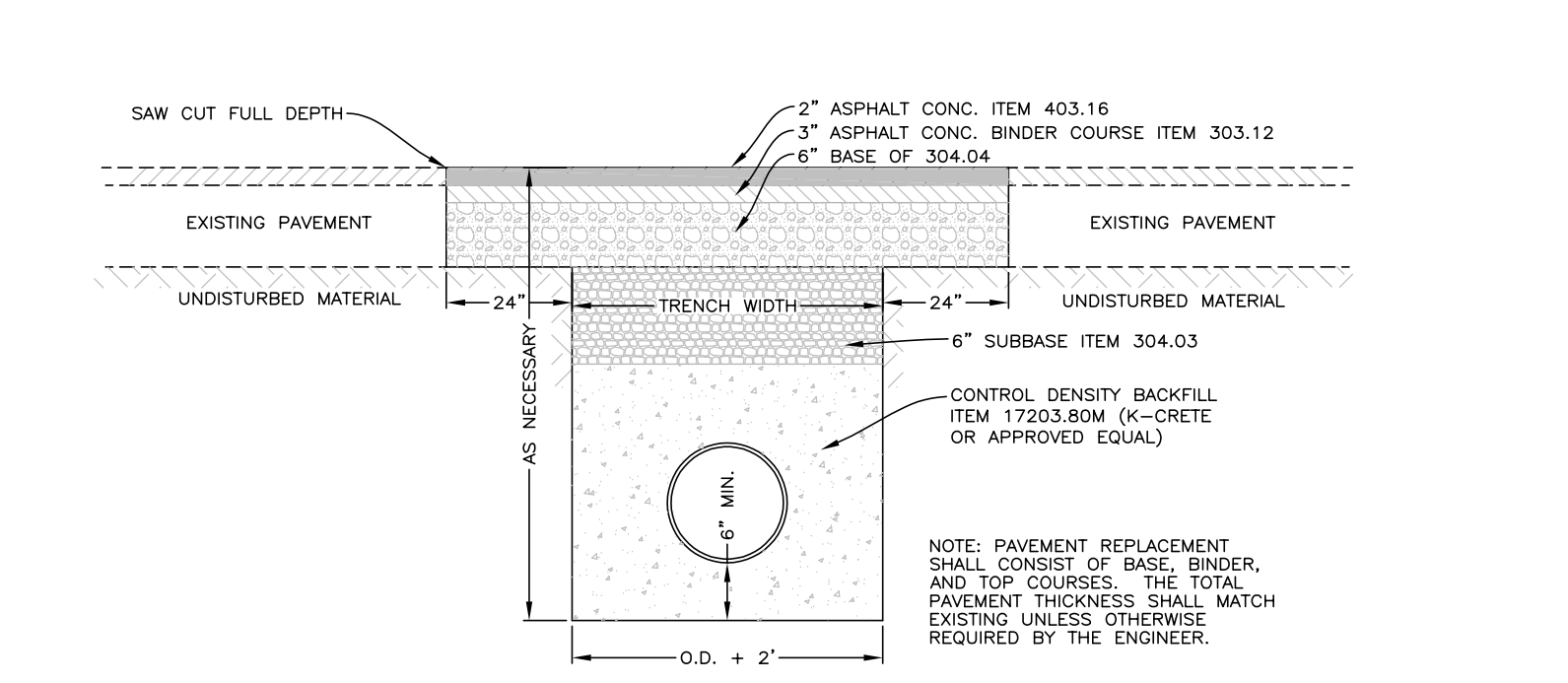
BELGIAN BLOCK CURB N.T.S.



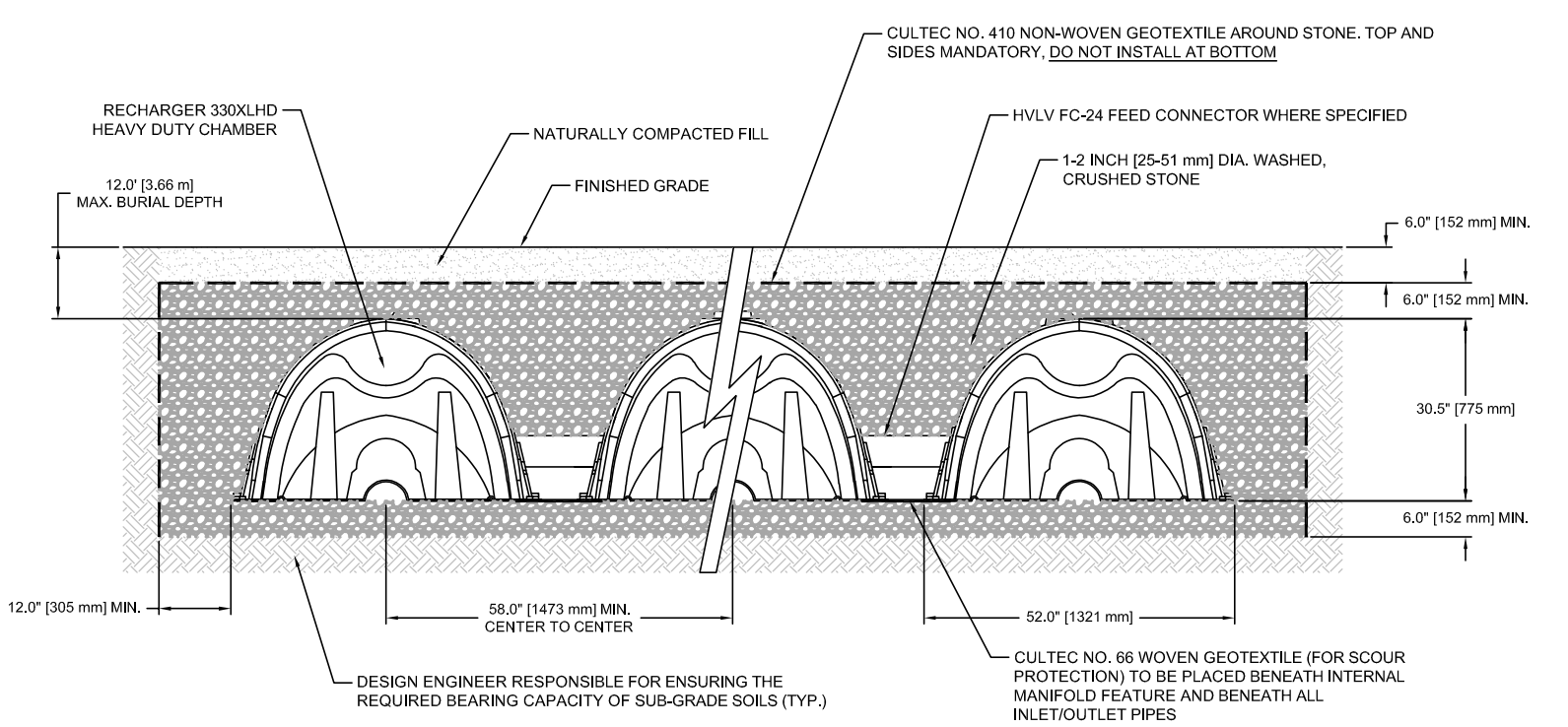
DRAIN PIPE TRENCH DETAIL N.T.S.



'CULTEC' CHAMBERS INSPECTION PORT NON-TRAFFIC APPLICATION N.T.S.



PAVEMENT REPLACEMENT DETAILS FOR UTILITIES WITHIN R.O.W. N.T.S.



330XLHD CULTEC DETAIL N.T.S.

GENERAL NOTES: RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED +11.32' (FT) (1.06 m) PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS. ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7309(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C. 14 SMITH AVE, MT. KISCO, N.Y. 10549 914-666-9800 INFO@ALFONZETTIENG.COM

Table with site data including owner/appl./applicant: AMERICAN BUILDING TECHNOLOGIES, site address: 10 SEYMOUR PLACE EAST, ARMONK, NY 10504, tax map #: 108.02-1-52, lot area: 2.0 ACRES, zoning: R-2A. Drawing title: SITE DETAILS PLAN, APRIL 16, 2024. Project: 10 SEYMOUR PLACE TOWN OF NORTH CASTLE WESTCHESTER COUNTY, NEW YORK. Sheet: 04 of 04.

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Construction Type Note:
As Per Title 19 NYCRR Part 1265
Provide Label As Shown Below

V FR V = Construction Type As Per Section 602 of BCNYS
FR = Floor And Roof Framing As Per Designation For Structural Components That Are Of Truss/Engineered Type Construction

Size:
6" Diameter Circle

Color:
Circle To Be 1/2" Stroke - Reflective Red Pantone #187
Inner Circle - Reflective White
Text - Reflective Red Pantone #187

Sign Location:
The Sign Or Symbol Required Shall Be Affixed To The Electric Box Attached To The Exterior Of The Residential Structure.
See Section 1265.5 For Further Notes On Sign Location.
See Title 19 NYCRR Part 1265 For Other Specs

Design Loads:		Required Live Loads:		Provided Design Loads:	
First Floor Loads	Live Load 40 #/sf	First Floor Loads	Live Load 40 #/sf	First Floor Loads	Live Load 40 #/sf
Second Floor Loads	Live Load 30 #/sf	Second Floor Loads	Live Load 30 #/sf	Second Floor Loads	Live Load 30 #/sf
Attic Load (w/o Storage)	Live Load 20 #/sf	Attic Load (w/o Storage)	Live Load 20 #/sf	Attic Load (w/o Storage)	Live Load 20 #/sf
Attic Load (w/ Storage)	Live Load 30 #/sf	Attic Load (w/ Storage)	Live Load 30 #/sf	Attic Load (w/ Storage)	Live Load 30 #/sf
Exterior Balconies	Live Load 60 #/sf	Exterior Balconies	Live Load 60 #/sf	Exterior Balconies	Live Load 60 #/sf
Decks	Live Load 40 #/sf	Decks	Live Load 40 #/sf	Decks	Live Load 40 #/sf
Garage/Drivals	Live Load 200 #/sf	Garage/Drivals	Live Load 200 #/sf	Garage/Drivals	Live Load 200 #/sf
Stairs	Live Load 40 #/sf	Stairs	Live Load 40 #/sf	Stairs	Live Load 40 #/sf

Ground Snow Load
30 lbf/ft

Wind Design
Speed (mph) 15 - 120 mph
Topographic Effects No
Special Wind Region Yes
Wind-Borne Debris Zone Zone I
Seismic Design Category B
Subject To Damage From Weathering Yes
Flood Hazard No
Air Freezing Index 9° F
Mean Annual Temperature 52.2 F

Manual J Design Criteria

Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference
436	41	7	87	1	68	75	61

Schedule For Proposed Building Material and Color Scheme

Name:	Type:	Color:
Siding:	Hard-plank Hard-plank	Bevel Board And Batten White White
Windows:	Andersen	Double Hung Black
Trim:		Azek/Typon White
Front Door:		Composite Black
Garage Door:		Composite Black
Roofing:	Asphalt Shingle Roof	Black
Roofing:	Metal Roofing	Escape Gray
Stacked Stone:	n/a	Ledge Stone Natural (Gray / Black)
Gutter/Leaders:	n/a	Aluminum White

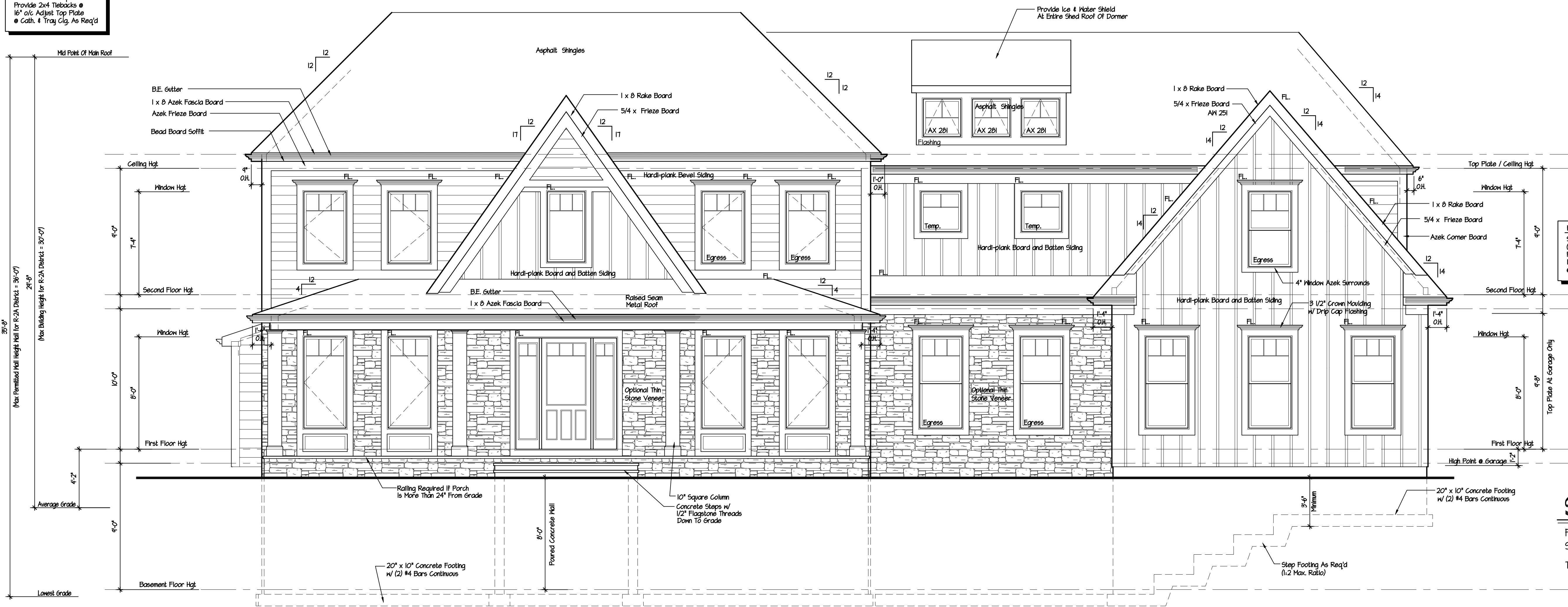
Refer to section RR301.4 of the Residential code of New York State for any additional information.

Pitch	Roof Snow Load
4-4	28.35
10-11	27
12	22.7
13	20
14	18.5
15-16	17

LUMBER: All framing lumber to be stress grade Douglas-Fir Larch No. 2 or better.

Framing Note:
Set Rafter At Main Roof on 2 x 4 Plate On Top Of Joist Provide 2x4 Tiebacks @ 16" o/c Adjust Top Plate @ Gable & Tray Clg. As Req'd

Framing Note:
Set Rafter At Garage Roof on (3) 2 x 4 Plate On Top Of Joist Provide 2x4 Tiebacks @ 16" o/c Adjust Top Plate @ Gable & Tray Clg. As Req'd



Square Footage

First Floor	2,404 Sf
Second Floor	2,418 Sf
Total	5,322 Sf

Front Elevation
Scale: 1/4" = 1'-0"

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EMAIL: Low@DemasiArchitects.com WEBSITE: DemasiArchitects.com



Residence For
10 Seymour Place E
Armonk, NY

Revision _____ Date _____
Date April 11, 2024
Job No 224-050
Drawing 1 OF 2

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Notes:

- All Footings To Bear 12" Below Solid Undisturbed Earth
- All Framing Members To Be # 2 Douglas Fir - Larch Or Better
- Double Frame Under All Partitions Parallel To Framing
- Double All Box Jost At Ceiling Type Windows
- If Tile Floor Is To Be MID Job Consult Architect For Additional Framing Required

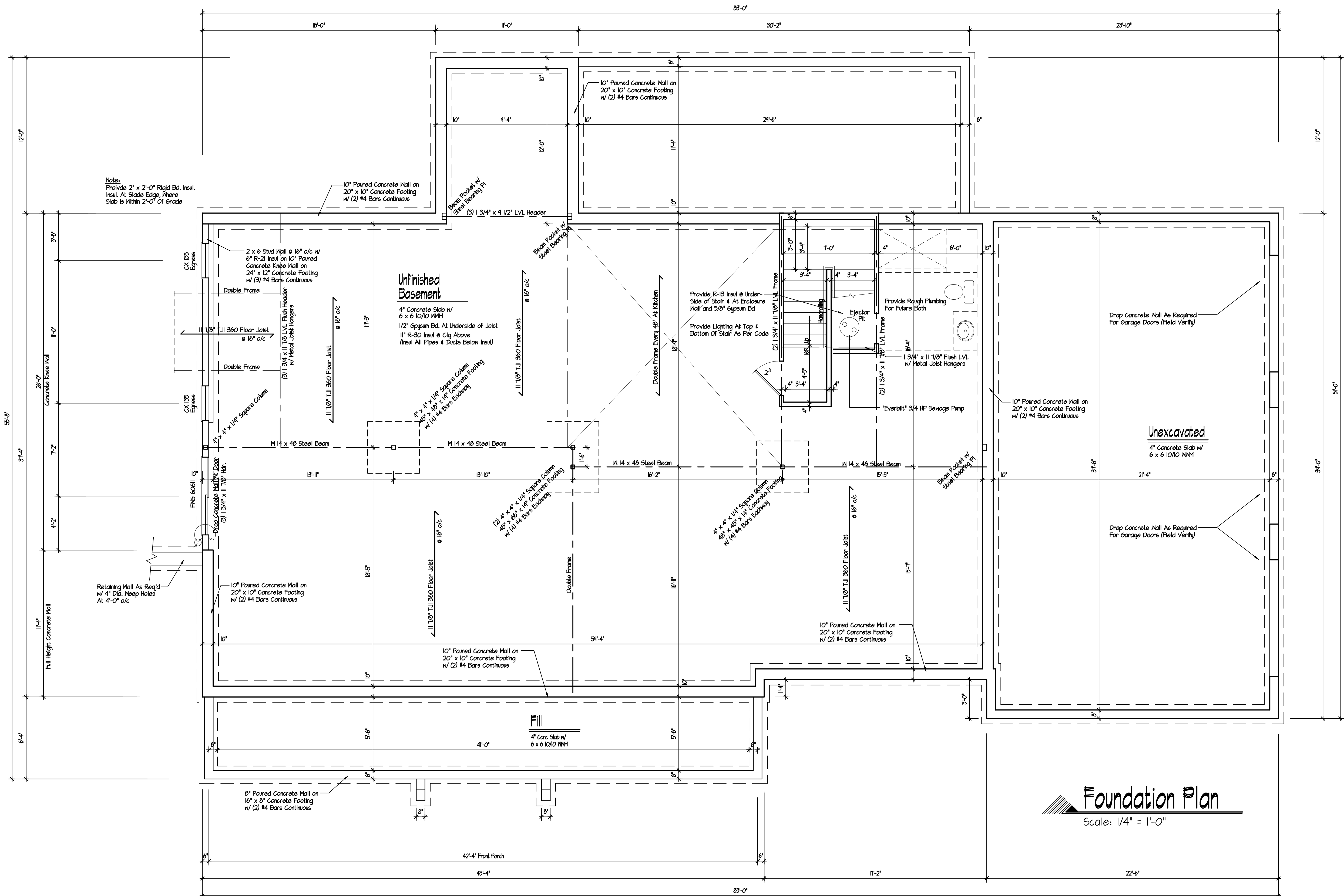
Legend:

- 2 x Wood Post (Match Beam Width or As Noted)
- Smoke Detector w/ Battery Back-Up
- Heat Detector w/ Battery Back-Up
- Carbon Monoxide Det w/ Battery Back-Up
- Surface Mounted Light Fixture

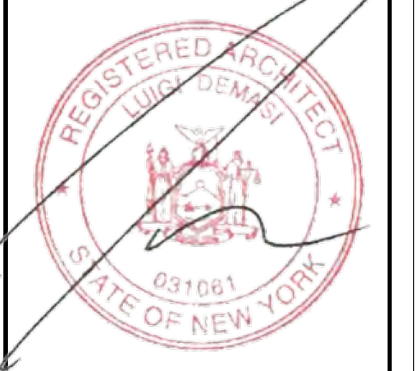
Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 6 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

Note:
Unless Otherwise Noted On Plans



Foundation Plan
Scale: 1/4" = 1'-0"

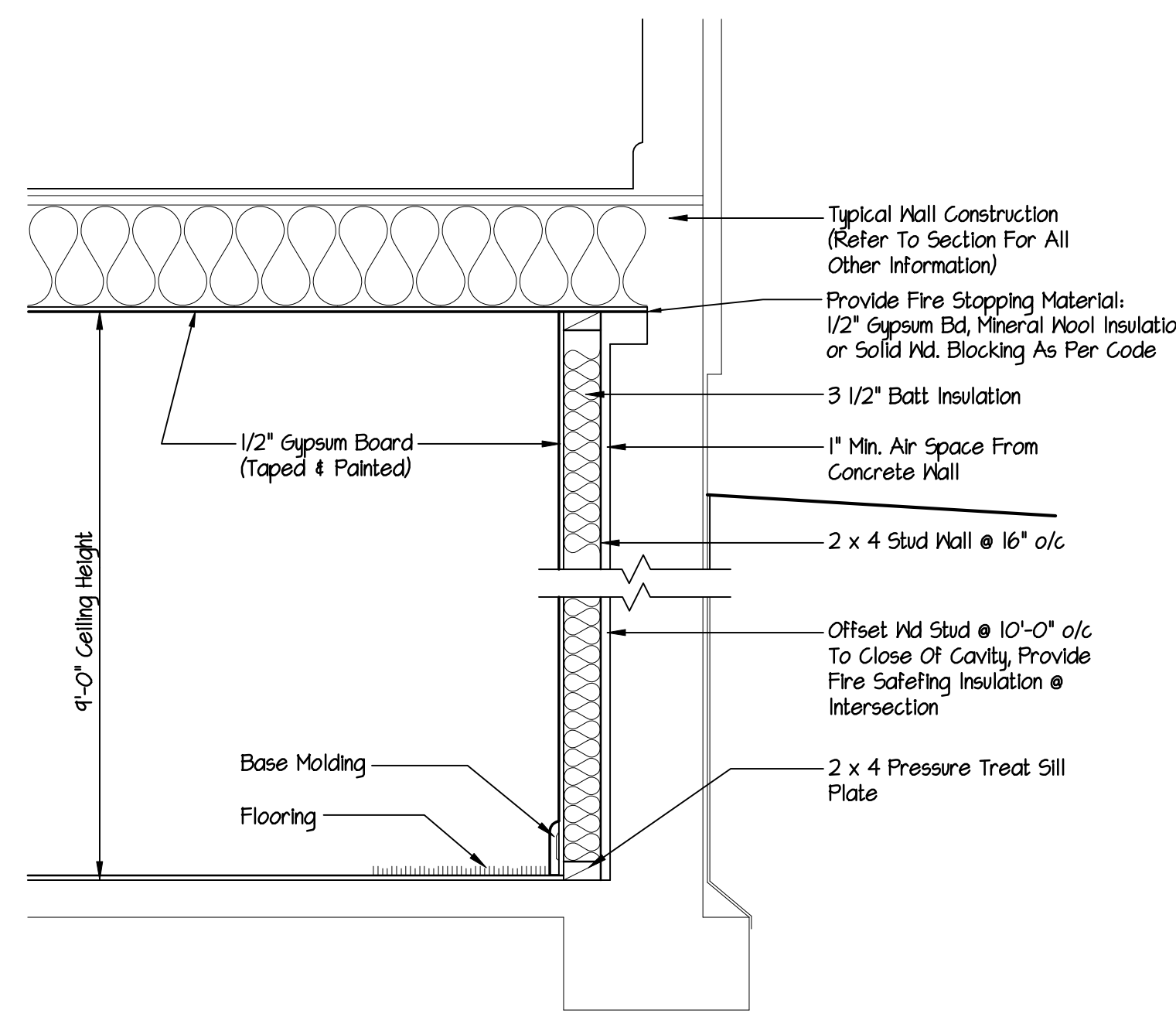


Residence For
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Revision	Date
Date	April 11, 2024
Job No	224-050
Drawing	2 OF 2

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Finished Basement Detail
Scale: 3/4" = 1'-0"

- Legend:**
- ⊗ Surface Mounted Light Fixture
 - ⊗ Recessed Light Fixture
 - ⊕ Duplex Outlet
 - ⊕ Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
 - ⊕ Exhaust Fan

Basement Playroom Calculations:

Calculation For Light

Room Area... 1,170 sf
 Lumens required... 65 lux
 $1,170 \times 65 = 11,505$
 11,505 lumens required
 $18-25 \text{ watt CFL} = 110 \text{ lumens per lamp}$
 $11,505 / 110 = 103 \text{ or } 11 \text{ lamps Required}$
12 Lamps Provided

Calculation For Ventilation

Room Area... 1,170 sf
 Ceiling Hgt... 9'-0"
 Cubic Vol... 10,530 cf
 Divide by 60 min per hour
 Multiply by .35 air change per hour
 49 cfm (min. Airflow required)
 See HVAC Design Plans For Whole House System

General Notes:

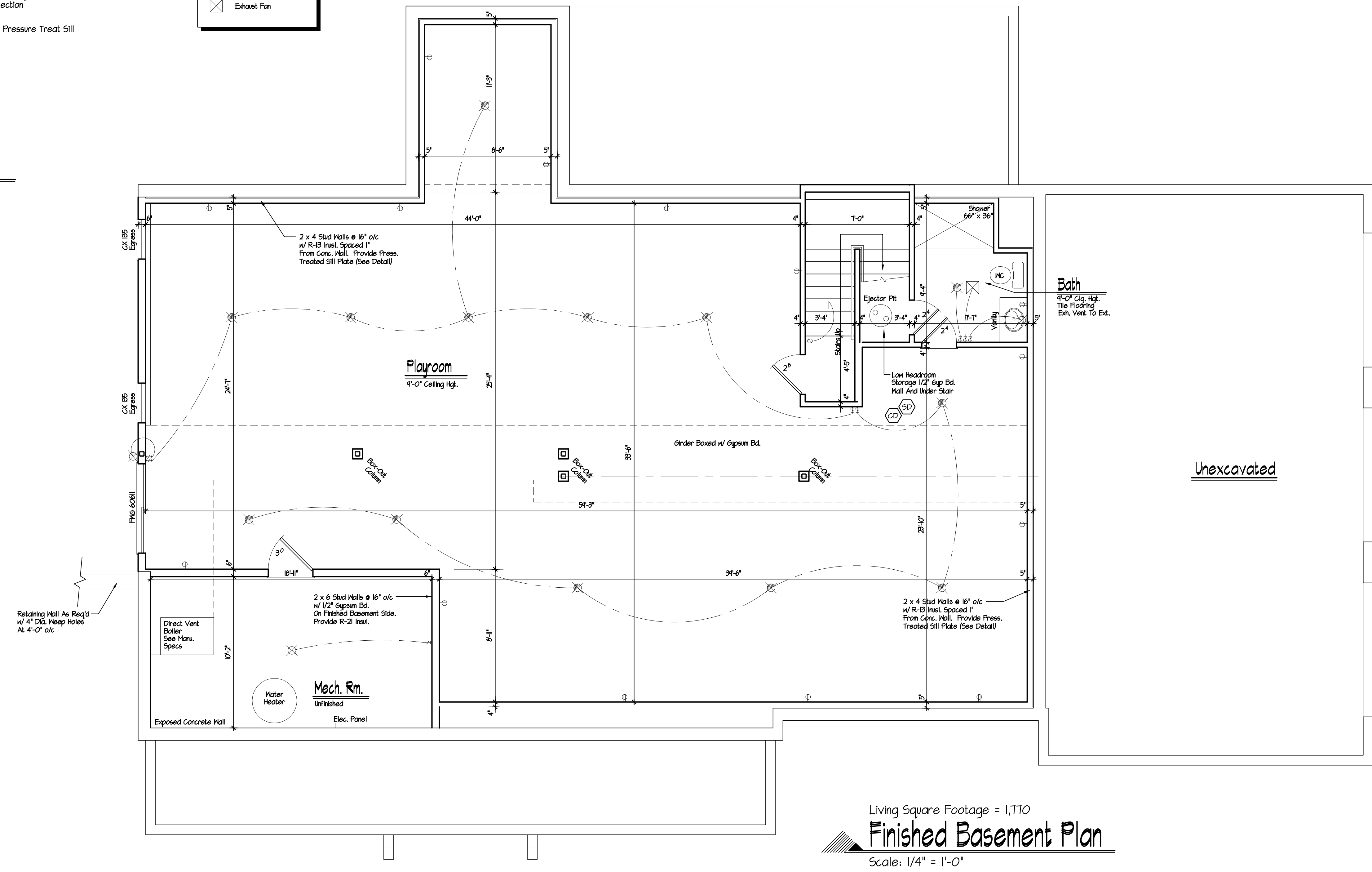
ALL WORK AND MATERIALS SHALL CONFORM TO THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ALL LOCAL, COUNTY AND STATE CODES.

ALL FRAMING LUMBER TO BE # 2 DOUGLAS FIR - LARCH OR BETTER.

ALL NEW WORK AND MATERIALS, UNLESS OTHERWISE SPECIFIED, SHALL MATCH EXISTING CONSTRUCTION.

ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

PROVIDE ONE SMOKE DETECTOR IN EACH BEDROOM, IF NOT EXISTING ALREADY PLUS ONE SMOKE & CO DETECTOR WITH HALLWAY ADJACENT TO BEDROOM AS PER 2020 RESIDENTIAL CODE OF NEW YORK STATE



Living Square Footage = 1,170
Finished Basement Plan
Scale: 1/4" = 1'-0"

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Residence For
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Job No	224-050
Drawing	2a of 2

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Notes:

- All Framing Members To Be # 2 Douglas Fir-Larch Or Better
- Double Frame Under All Partitions Parallel To Framing
- If The Floor Is To Be MID Job Consult Architect For Additional Framing Required

Legend:

- 2 x Wood Post (Match Beam Width or As Noted)
- Smoke Detector w/ Battery Back-Up
- Carbon Monoxide Det w/ Battery Back-Up
- Heat Detector w/ Battery Back-Up
- Surface Mounted Light Fixture
- Recessed Light Fixture
- Duplex Outlet
- Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
- Exhaust Fan

Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

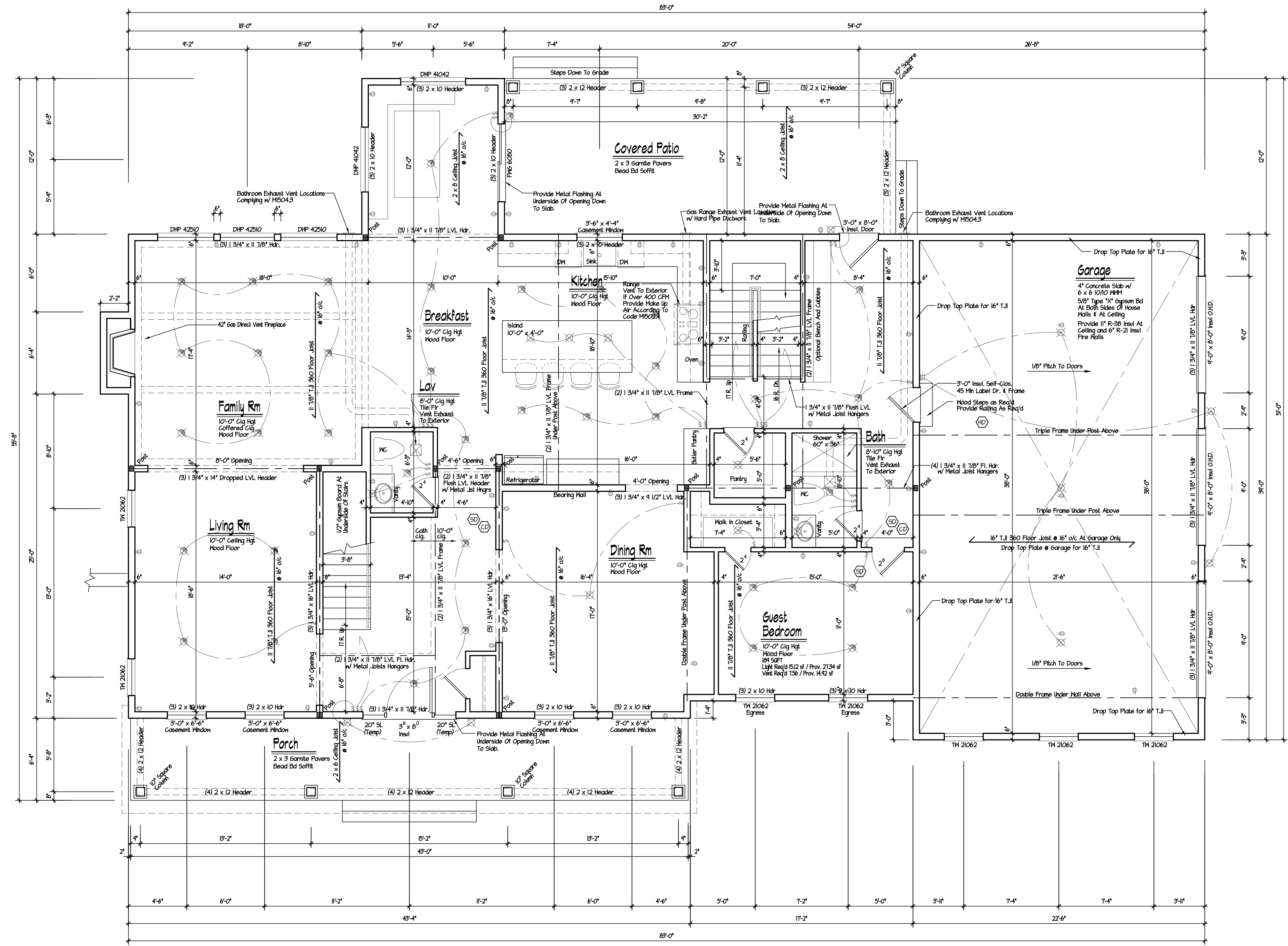
Note: Unless Otherwise Noted On Plans

Andersen Egress Window Sizes:

Size	Opening	Width	Height
TN 21062	7.56 sq ft	31 7/8"	34 1/4"

Window Note:

- All Glazing To Be Low "E" Insulated Glass w/ Minimum R-31 (I-0.322).
- All Windows Within 18" Of Floor To Have Tempered Glass (Double Hungs-Bottom Sash Only, All Others Full Unit).
- All Glazing In Doors & Windows Enclosing Hot Tubs, Hot/Pool Tubs, Saunas, Steam Rooms, Bathrooms and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
- All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 sq Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
- All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.
- All Windows Sills Within 24" Above The Finished Floor & Greater Than 12" Above Finished Grade Or Other Surface. Requires Fall Protection. See Section R312.2 For More Info.



First Floor Plan
 Scale: 1/4" = 1'-0"
 All Headers To Be At 8'-0" Height

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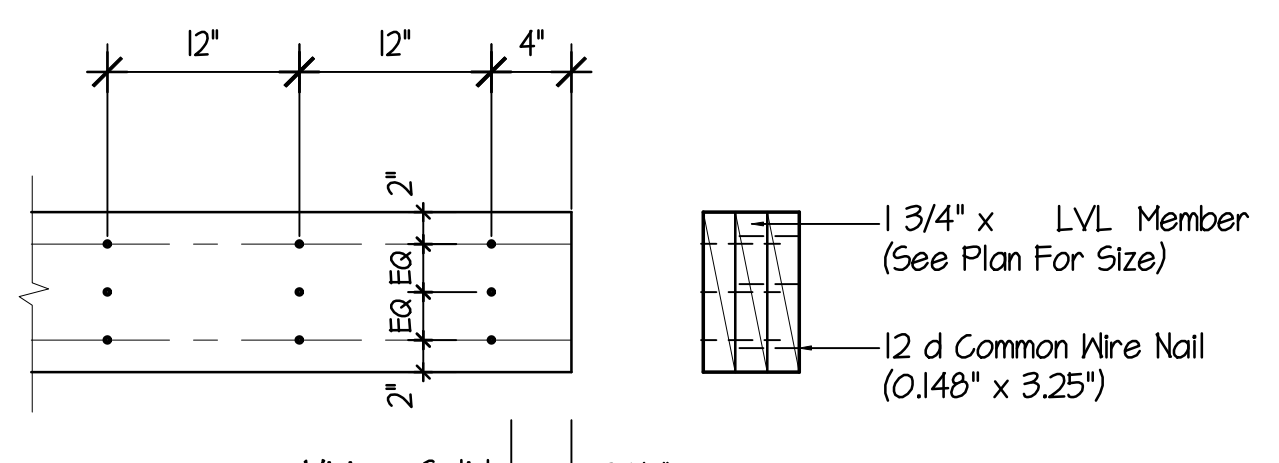


Residence For
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Revision	Date
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Job No	224-050
Drawing	3 OF 12

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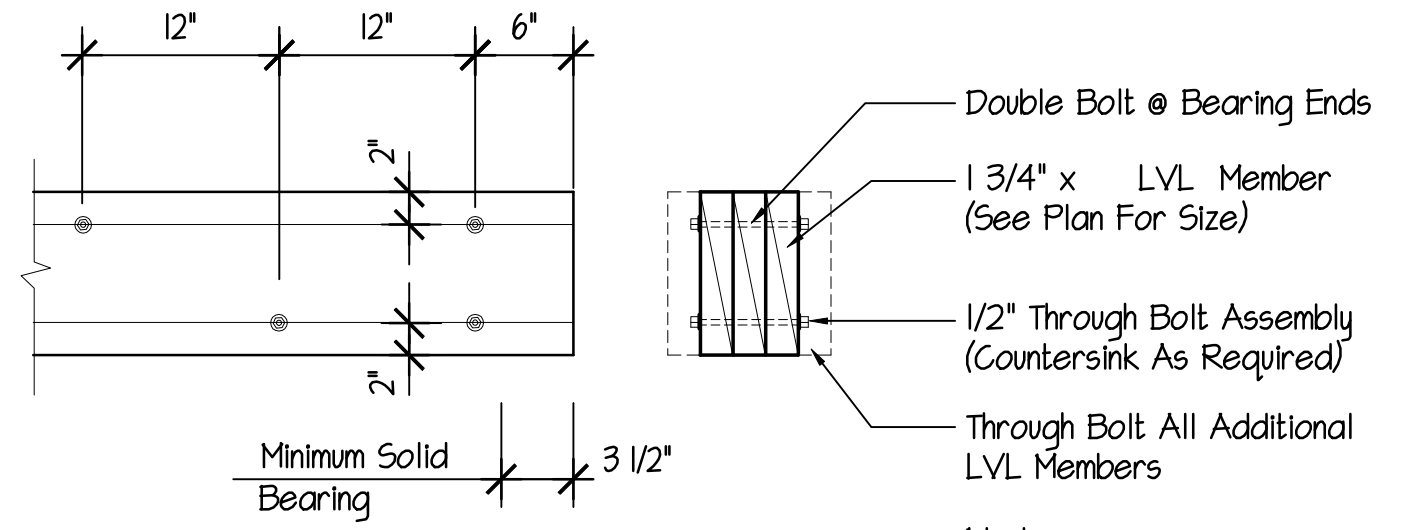
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Elevation
Note:
 LVL = Laminated Veneer Lumber
 By Trus-Joist Weyerhaeuser (1.9 E)
 Minimum or Equal

Section
Note:
 See Plans For Size & Location
 Of All LVL Members

LVL Beam Detail (Nailed)
 Scale: 1" = 1'-0"

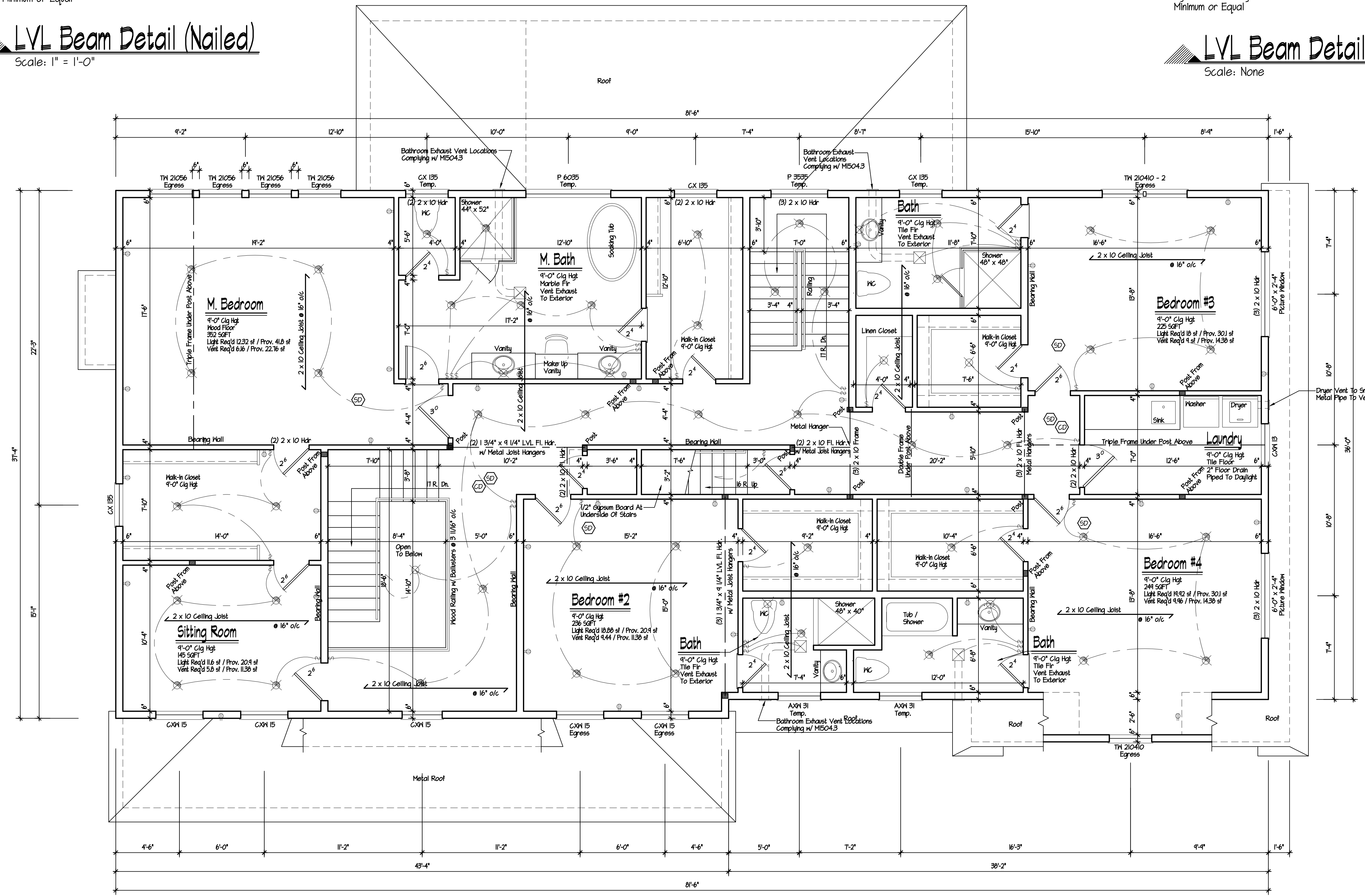


Elevation
Note:
 LVL = Laminated Veneer Lumber
 By Trus-Joist Weyerhaeuser (1.9 E)
 Minimum or Equal

Section
Note:
 Bolting As Required, Refer
 To Manufactured Specifications
 For All Information & Specifics

Note:
 See Plans For Size & Location
 Of All LVL Members

LVL Beam Detail (Bolted)
 Scale: None



Notes:

- All Framing Members To Be # 2 Douglas Fir - Larch Or Better
- Double Frame Under All Partitions Parallel To Framing
- If The Floor Is To Be Mud Job Consult Architect For Additional Framing Required

Legend:

- 2 x Wood Post (Match Beam Width or As Noted)
- Smoke Detector w/ Battery Back-up
- Carbon Monoxide Det w/ Battery Back-up
- Surface Mounted Light Fixture
- Recessed Light Fixture
- Duplex Outlet
- Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
- Exhaust Fan

Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

Note:
 Unless Otherwise Noted On Plans

Window Note:

- All Glazing To Be Low E⁺ Insulated Glass w/ Minimum R-31 (U=0.32).
- All Windows Within 10' of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
- All Glazing In Doors & Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathtubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
- All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 sq Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
- All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.
- All Windows Sills Within 24" Above The Finished Floor & Greater Than T2" Above Finished Grade Or Other Surface. Requires Fall Protection. See Section R312.2 For More Info.

Andersen Egress Window Sizes:

Size	Opening	Width	Height
TN 210410	5.12 sq	31 7/8"	25 3/4"

Second Floor Plan
 Scale: 1/4" = 1'-0"

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REGISTERED ARCHITECT
 STATE OF NEW YORK
 031061

Residence For
**10 Seymour Place E
 Armonk, NY**

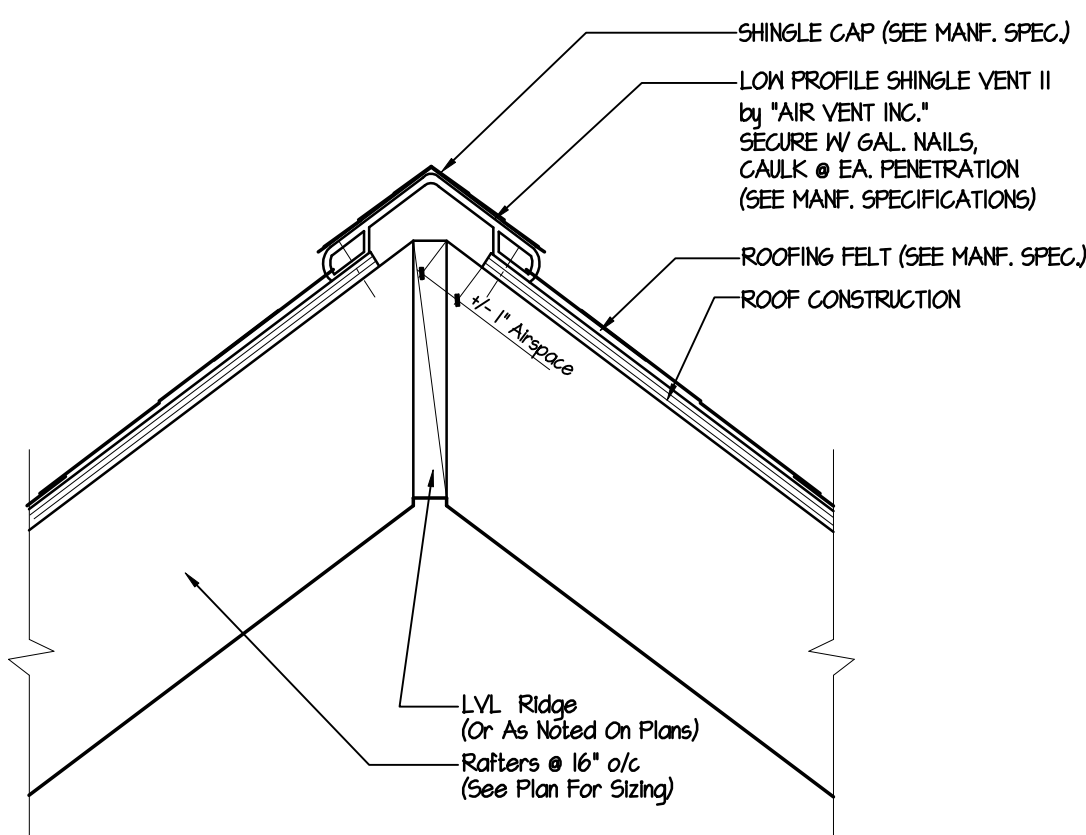
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Date	April 11, 2024
Job No	224-050
Drawing	4 OF 12

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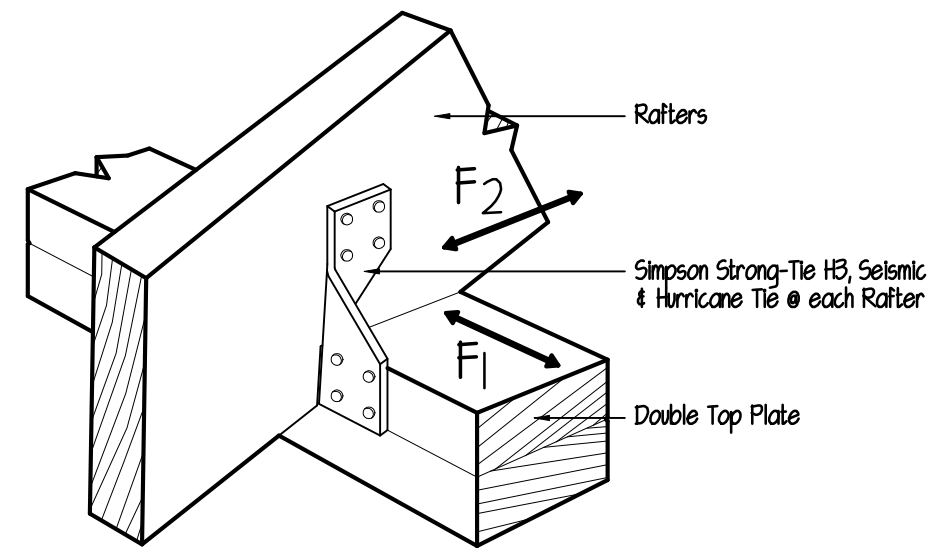
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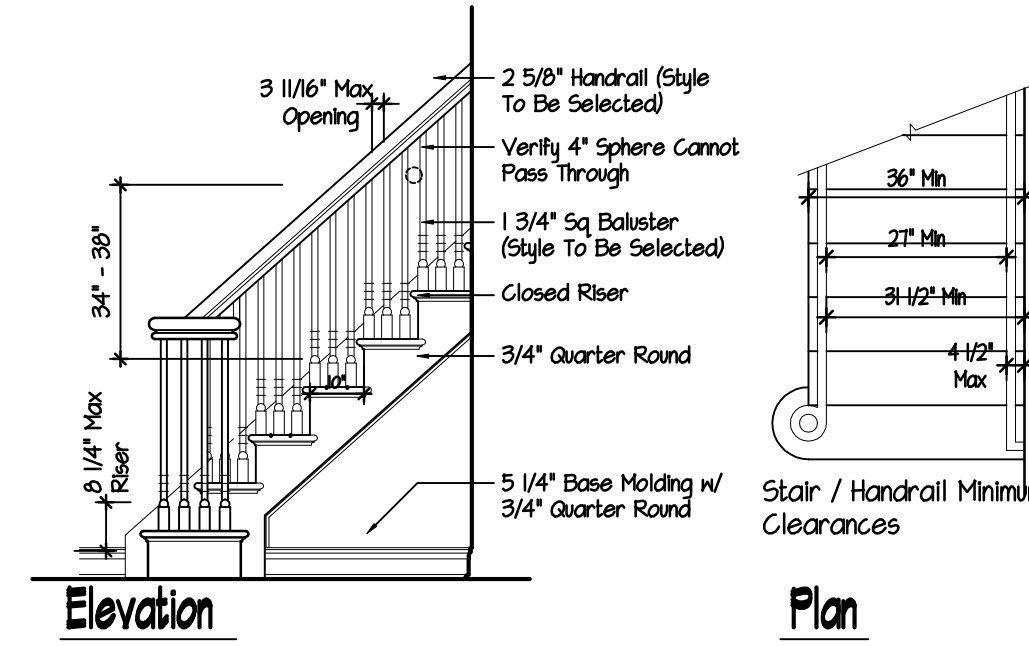
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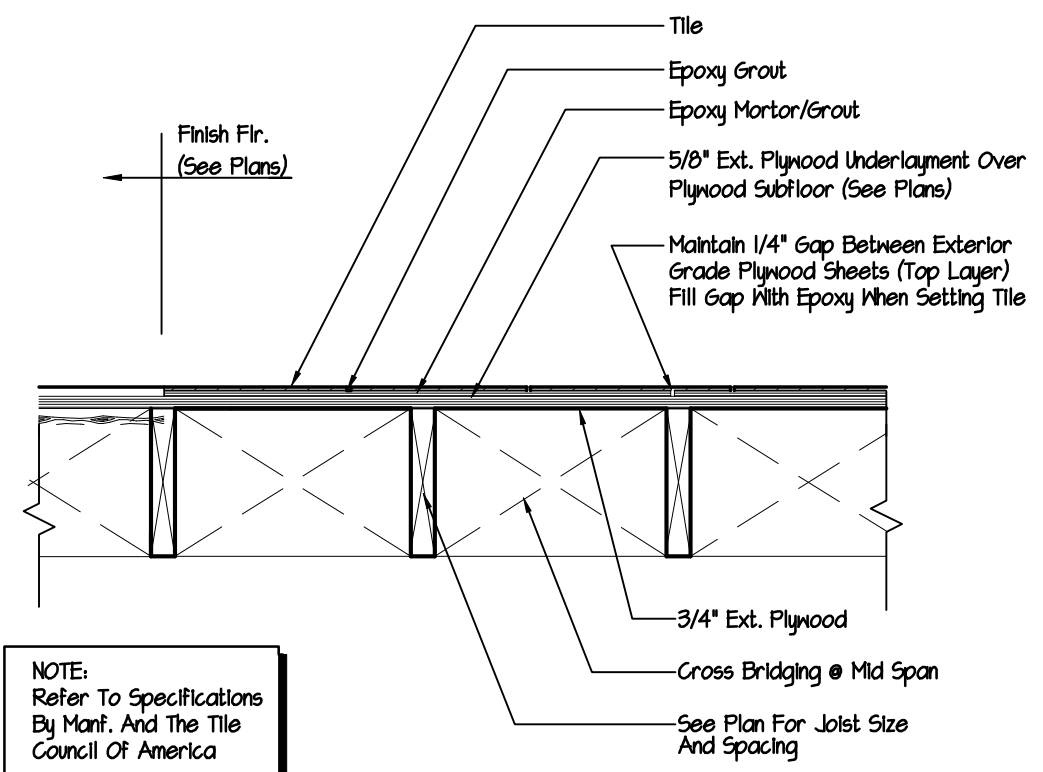
Ridge Vent Detail
Scale: None



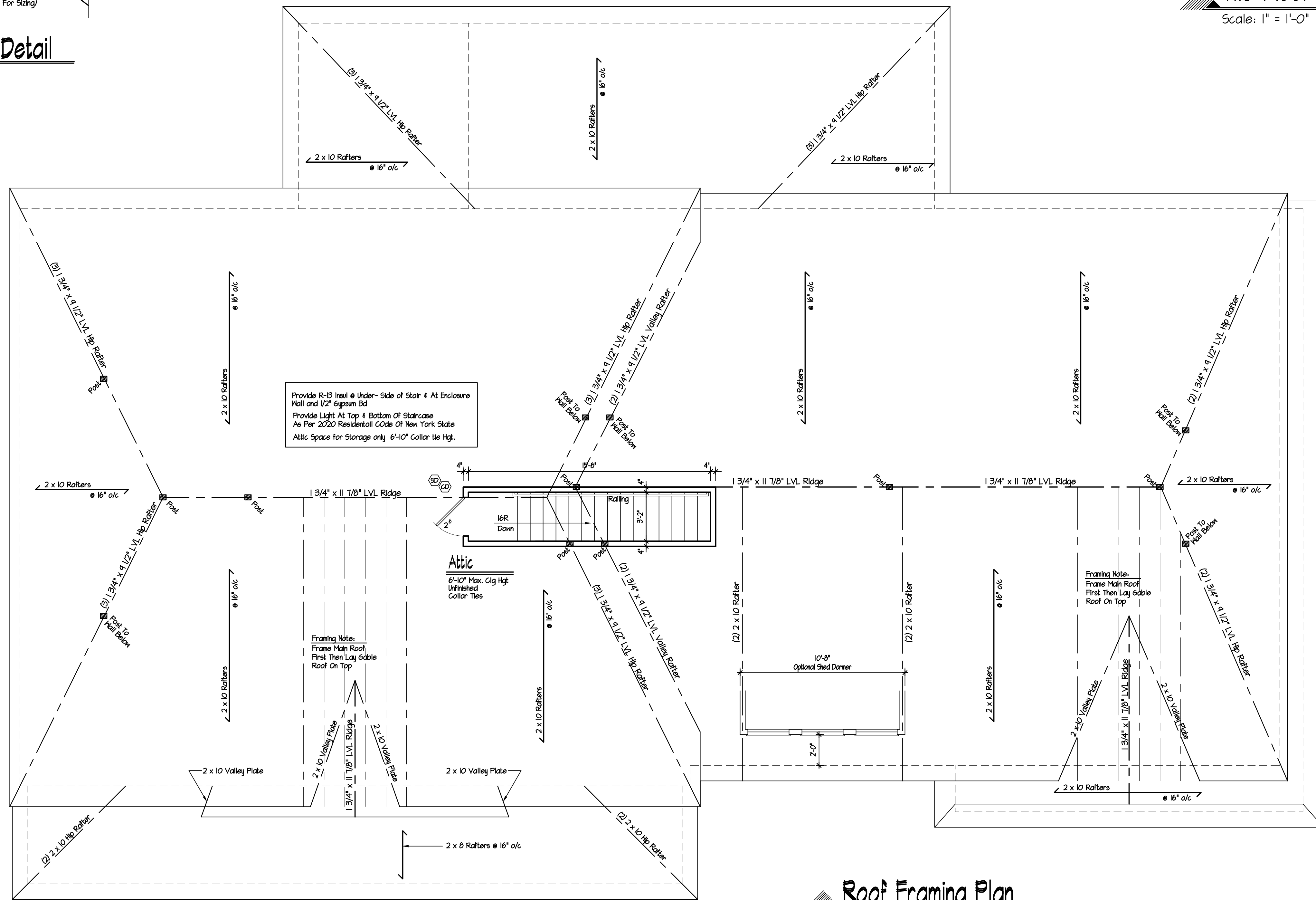
Rafter Tie Down Detail
Scale: None



Stair Clearance Detail
Scale: None

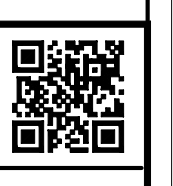


Tile Floor Detail (Thin Set)
Scale: 1" = 1'-0"



Roof Framing Plan
Scale: 1/4" = 1'-0"

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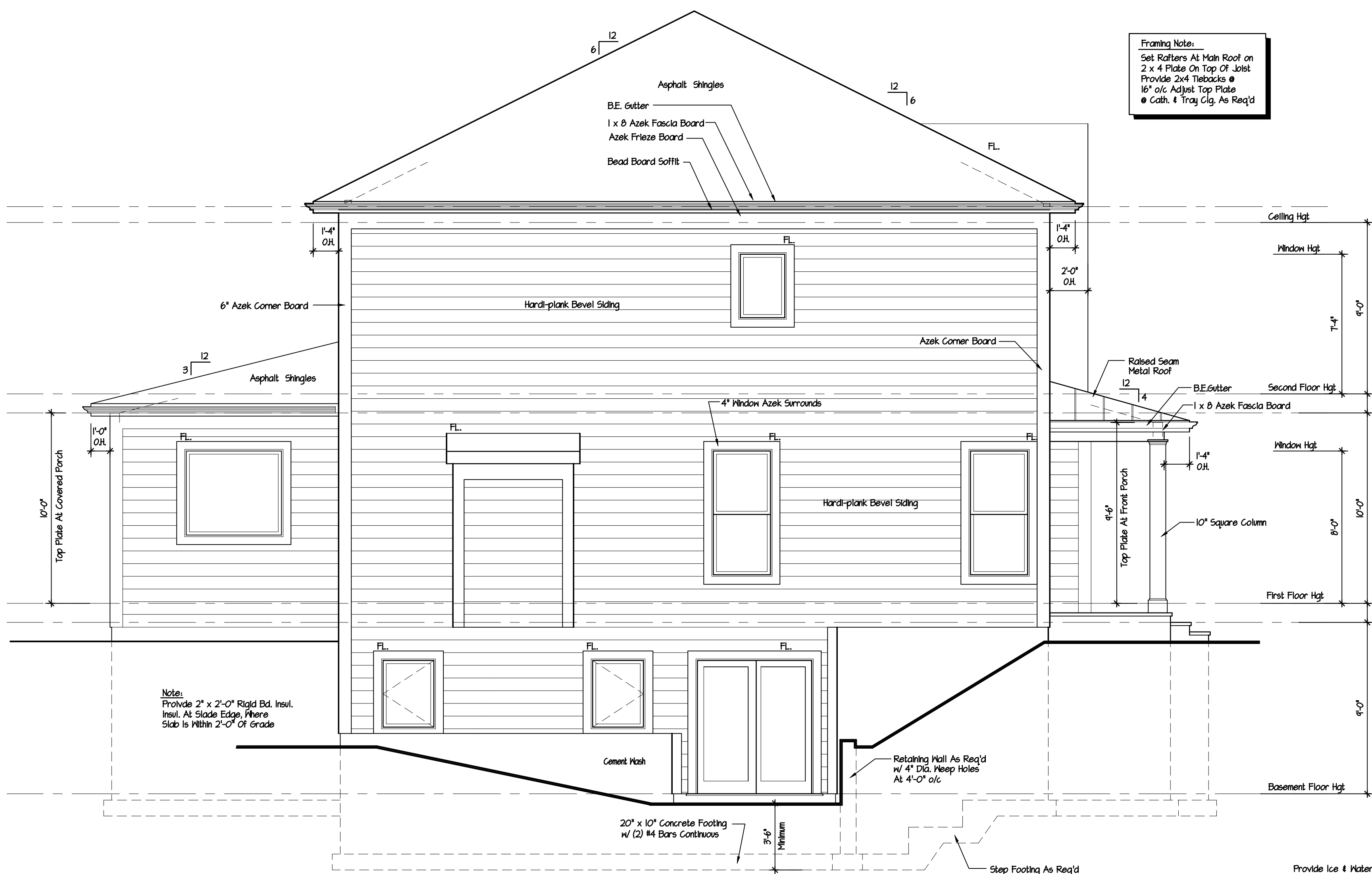
Revision	Date
Date	April 11, 2024
Job No	224-050
Drawing	OF 2

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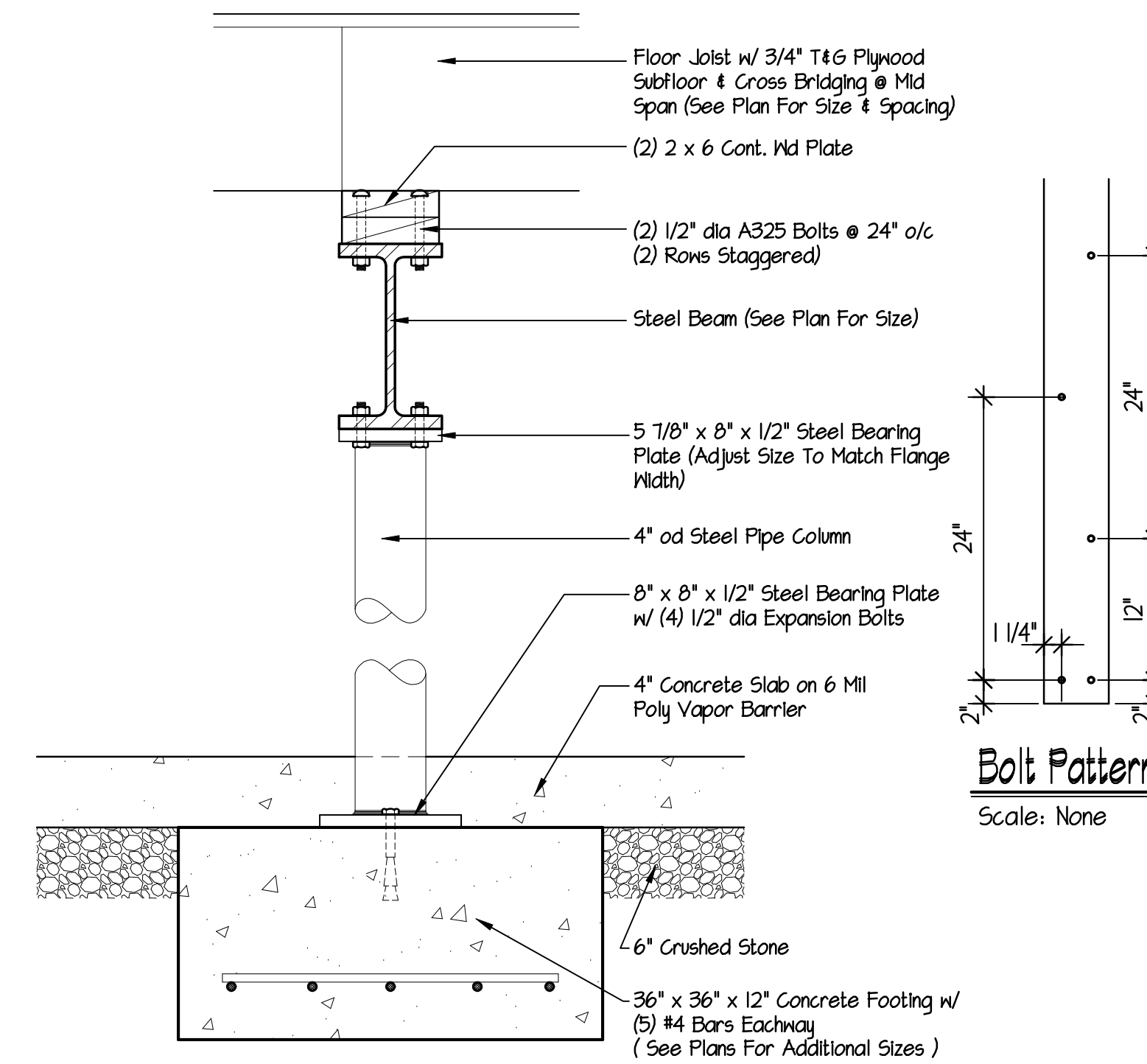


Left Side Elevation
Scale: 1/4" = 1'-0"

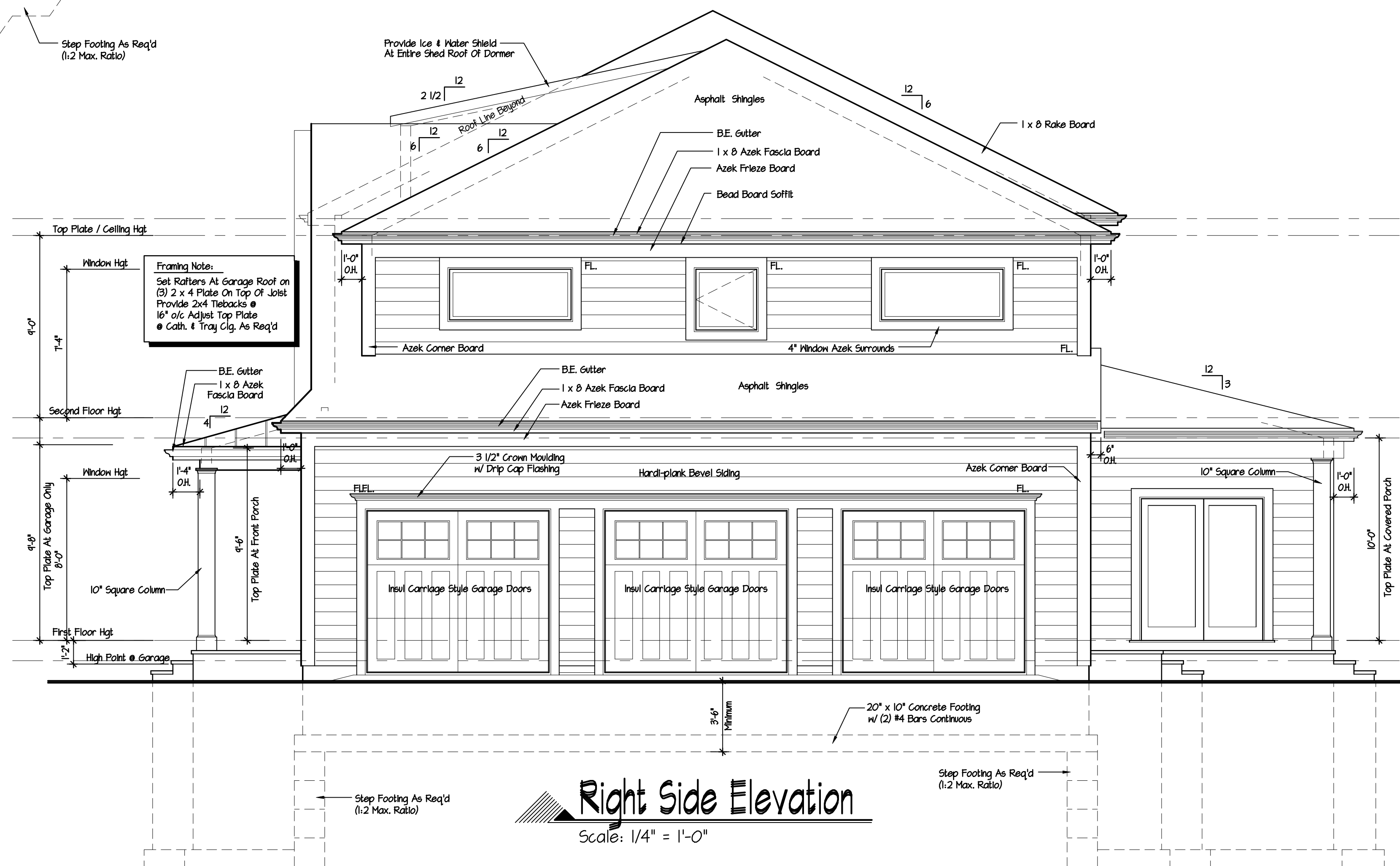
Schedule For Proposed Building Material and Color Scheme

	Name:	Type:	Color:
Sliding:	Hardi-plank	Bevel Board And Batten	White
Windows:	Andersen	Double Hung	Black
Trim:		Azek/Fupon	White
Front Door:		Composite	Black
Garage Door:		Composite	Black
Roofing:	Asphalt Shingle Roof		Black
Roofing:	Metal Roofing		Escape Gray
Stacked Stone:	n/a	Ledge Stone	Natural (Gray / Black)
Gutter/ Leaders:	n/a	Aluminum	White

Framing Note:
Set Rafter At Main Roof on 2 x 4 Plate On Top Of Joist Provide 2x4 Tiebacks @ 16' o/c Adjust Top Plate @ Coll. & Tray Clg. As Req'd



Steel Beam Girdler Detail
Scale: 1 1/2" = 1'-0"



Right Side Elevation
Scale: 1/4" = 1'-0"

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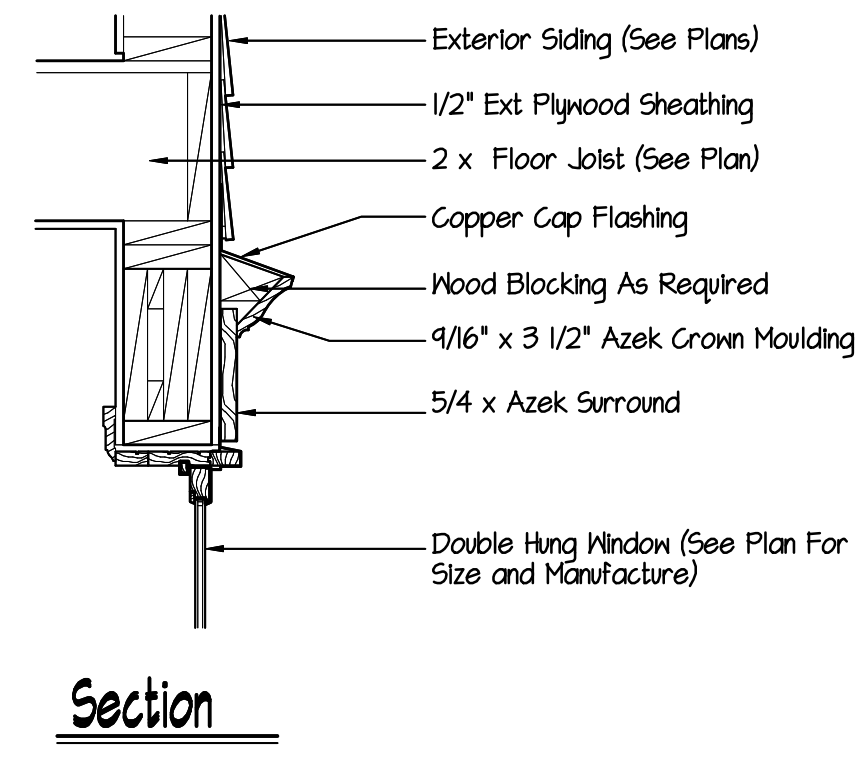
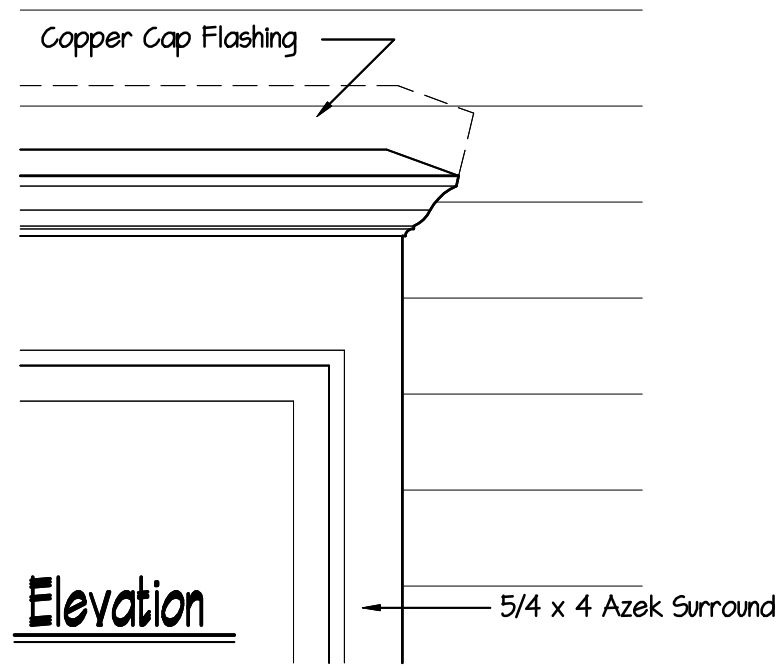
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Date: April 11, 2024
Job No: 224-050
Drawing: **6** OF **12**

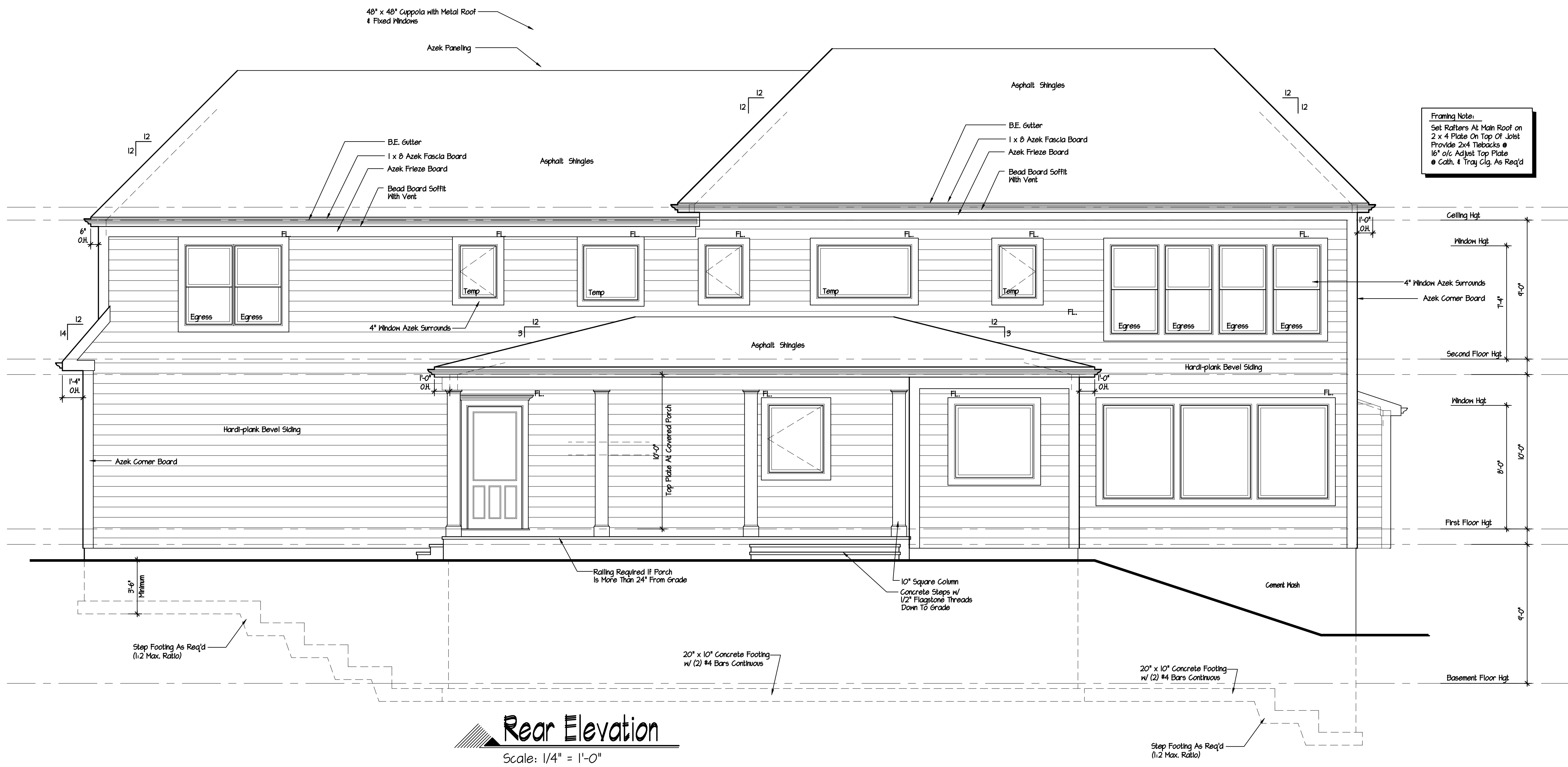
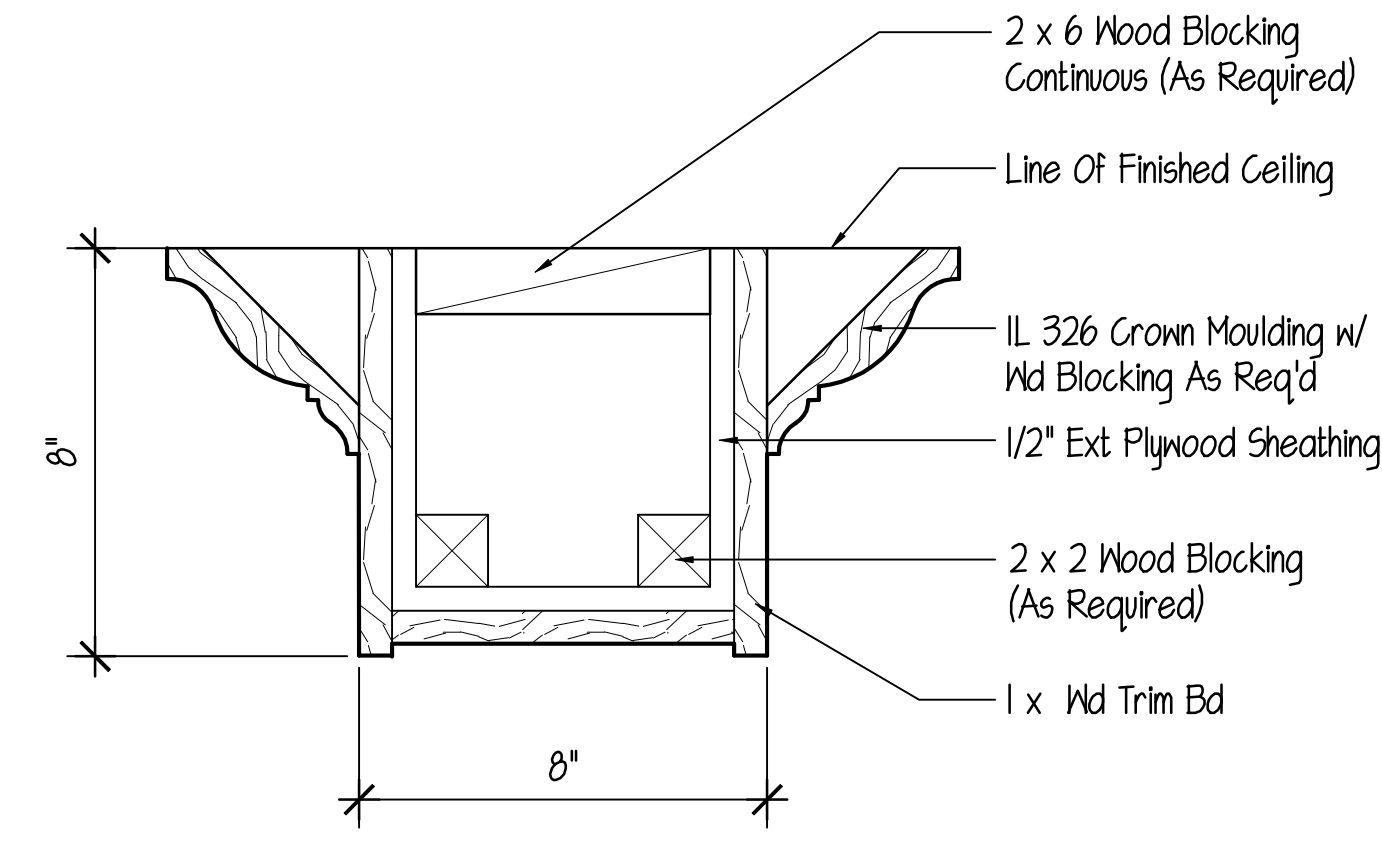
Do Not Scale Prints

Schedule For Proposed Building Material and Color Scheme

	Name:	Type:	Color:
Siding:	Hardi-plank Hardi-plank	Bevel Board And Batten	White White
Windows:	Andersen	Double Hung	Black
Trim:		Azek/Fypon	White
Front Door:		Composite	Black
Garage Door:		Composite	Black
Roofing:	Asphalt Shingle Roof		Black
Roofing:	Metal Roofing		Escape Gray
Stacked Stone:	n/a	Ledge Stone	Natural (Gray / Black)
Gutter/ Leaders:	n/a	Aluminum	White



Window Head Detail
Scale: 1" = 1'-0"



Framing Note:
Set Rafter At Main Roof on 2 x 4 Plate On Top Of Joist. Provide 2x4 Tiebacks @ 16' o/c. Adjust Top Plate @ eath. & Traj Ctg. As Req'd

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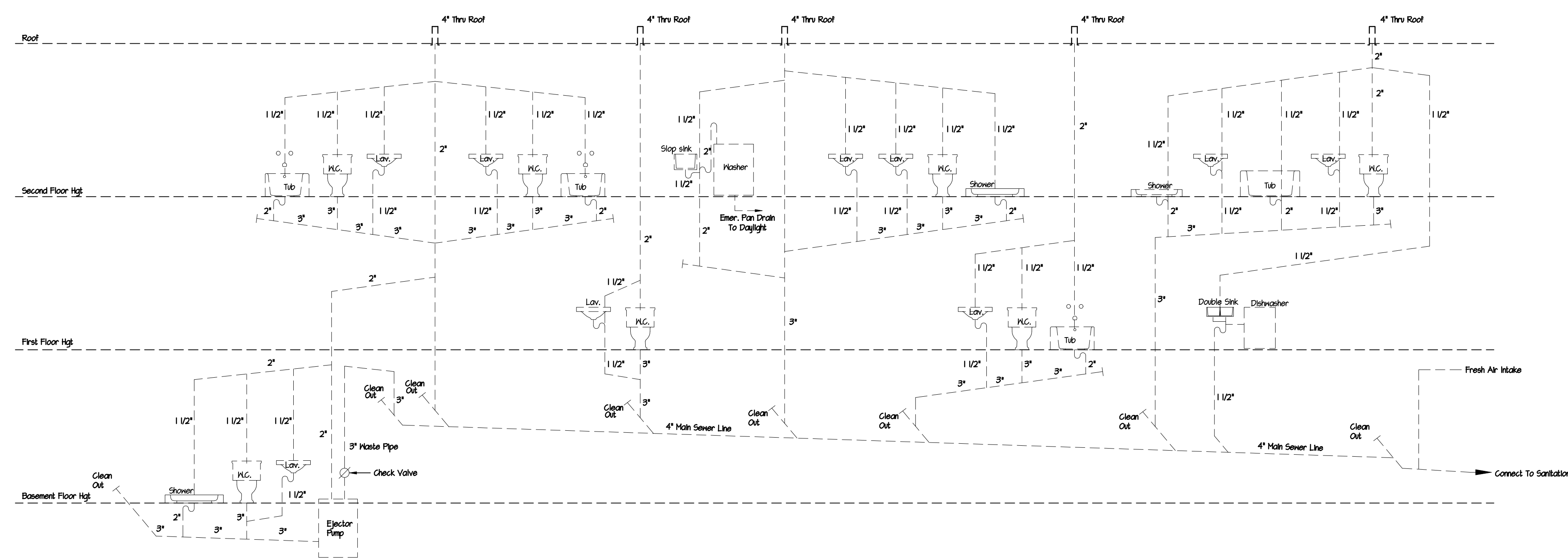


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Revision	Date
Date	April 11, 2024
Job No	224-050
Drawing	7 OF 12

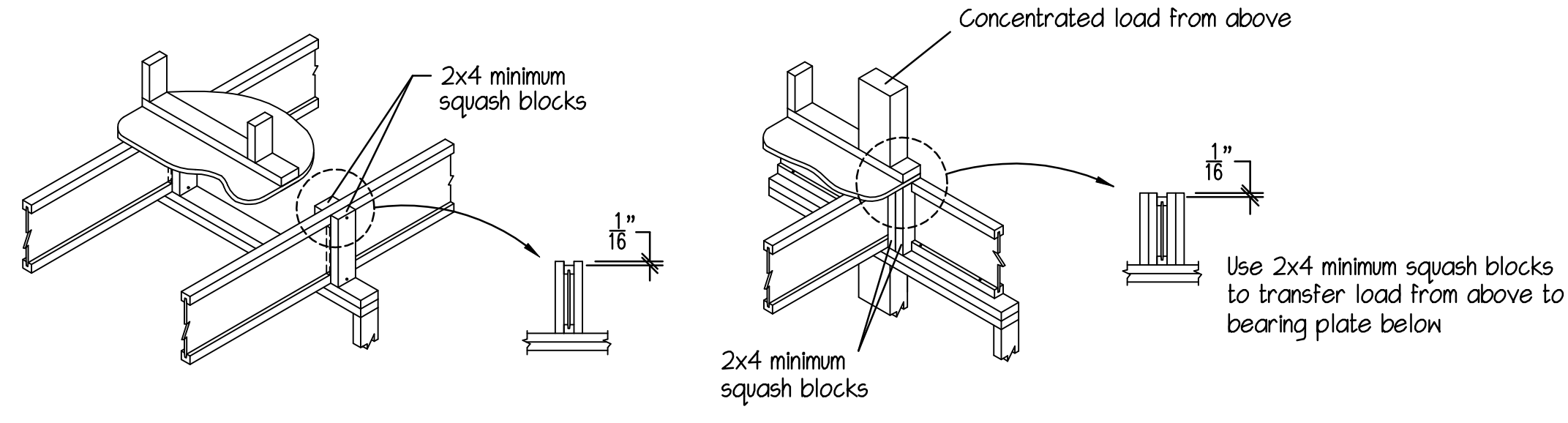
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Plumbing Riser Diagram

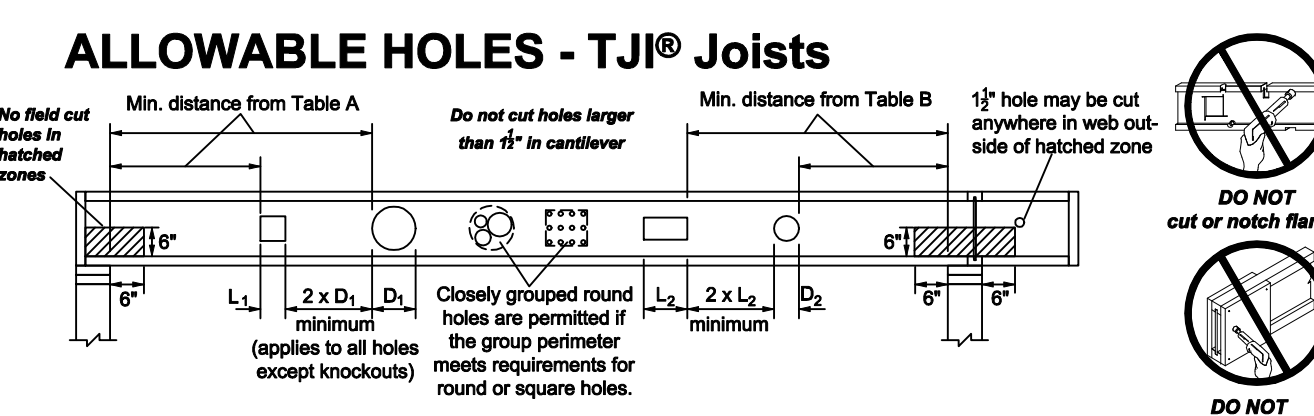
Scale: None
 Riser diagram taken from "2020 Residential Code Of New York State" Figure 16, Refer to diagram for all other information
 Note: Plumbing riser diagram shown is generic, and should be used only for informational purposes. Plumbing contractor to install plumbing system as per state & local building codes.
 See Section P2403 For Sizing Of Supply Pipes & Additional Info.



Intermediate Bearing Concentrated Load From Above Bearing

Squash Blocking Details

No Scale



ALLOWABLE HOLES - TJI Joists

Table A - End Support
 Minimum distance from edge of hole to inside face of nearest end support

JOIST DEPTH	ROUND HOLE SIZE										SQUARE OR RECTANGULAR HOLE SIZE									
	2"	3"	4"	5"	6"	7"	8"	10"	12"	15"	2"	3"	4"	5"	6"	7"	8"	10"	12"	15"
8"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
10"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
14"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
16"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
18"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
20"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110

Table B - Intermediate or Cantilever Support
 Minimum distance from edge of hole to inside face of nearest intermediate or cantilever support

JOIST DEPTH	ROUND HOLE SIZE										SQUARE OR RECTANGULAR HOLE SIZE									
	2"	3"	4"	5"	6"	7"	8"	10"	12"	15"	2"	3"	4"	5"	6"	7"	8"	10"	12"	15"
8"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
10"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
14"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
16"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
18"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
20"	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110

- Rectangular holes based on measurement of longest side.
- Holes may be located vertically anywhere within the web. Leave 1/2" of web (minimum) at top and bottom of hole.
- Knockouts are located in web at approximately 12" on-center; they do not affect hole placement.
- For simple spans (8' minimum), uniformly loaded joists used in residential applications, one maximum size round hole may be located at the center of the joist span provided that no other holes occur in the joist.
- Distances are based on the maximum uniform loads from current I-Level specifier's guides. For other load conditions or hole configurations use I-Level T-Beam software or contact your I-Level representative.

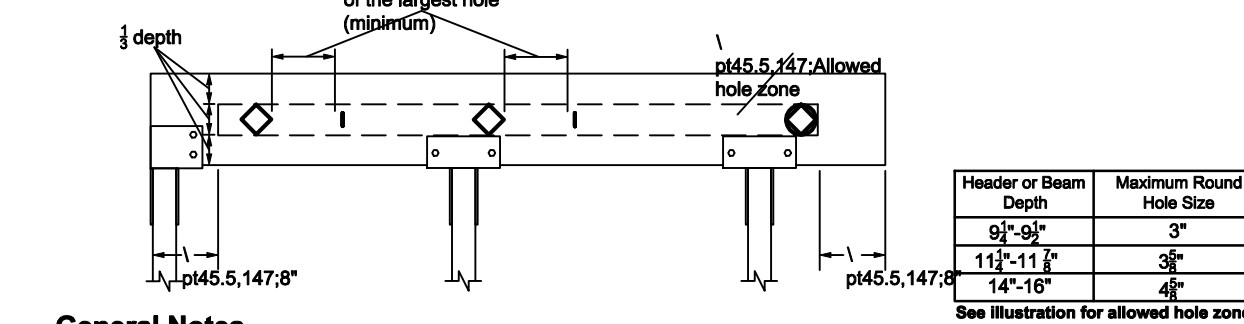
See Weyerhaeuser For Other Specifications

ALLOWABLE HOLES - TJI Joists

NO SCALE

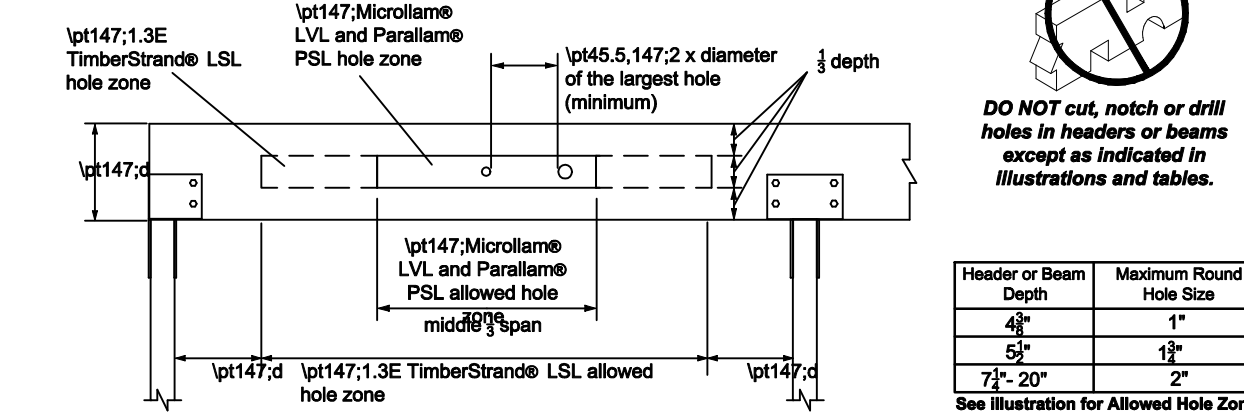
ALLOWABLE HOLES - Headers and Beams

1.55E TimberStrand® LSL Headers and Beams



- General Notes**
- Allowed hole zone suitable for headers and beams with uniform and/or concentrated loads.
 - Round holes only.
 - No holes in headers or beams in plank orientation.

Other I-Level® Trus Joist® Headers and Beams

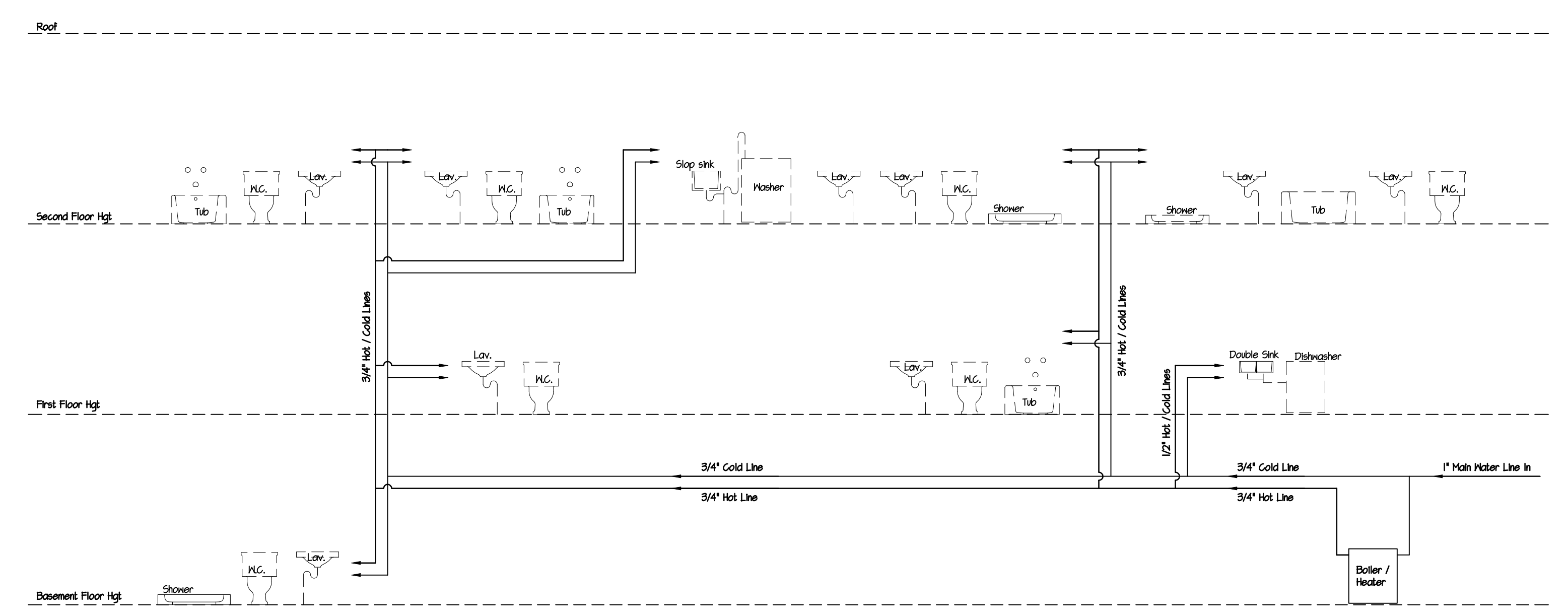


- General Notes**
- Allowed hole zone suitable for headers and beams with uniform loads only.
 - Round holes only.
 - No holes in cantilevers.
 - No holes in headers or beams in plank orientation.

See Weyerhaeuser For Other Specifications

ALLOWABLE HOLES - Headers & Beams

NO SCALE



Plumbing Supply Line Diagram

Scale: None

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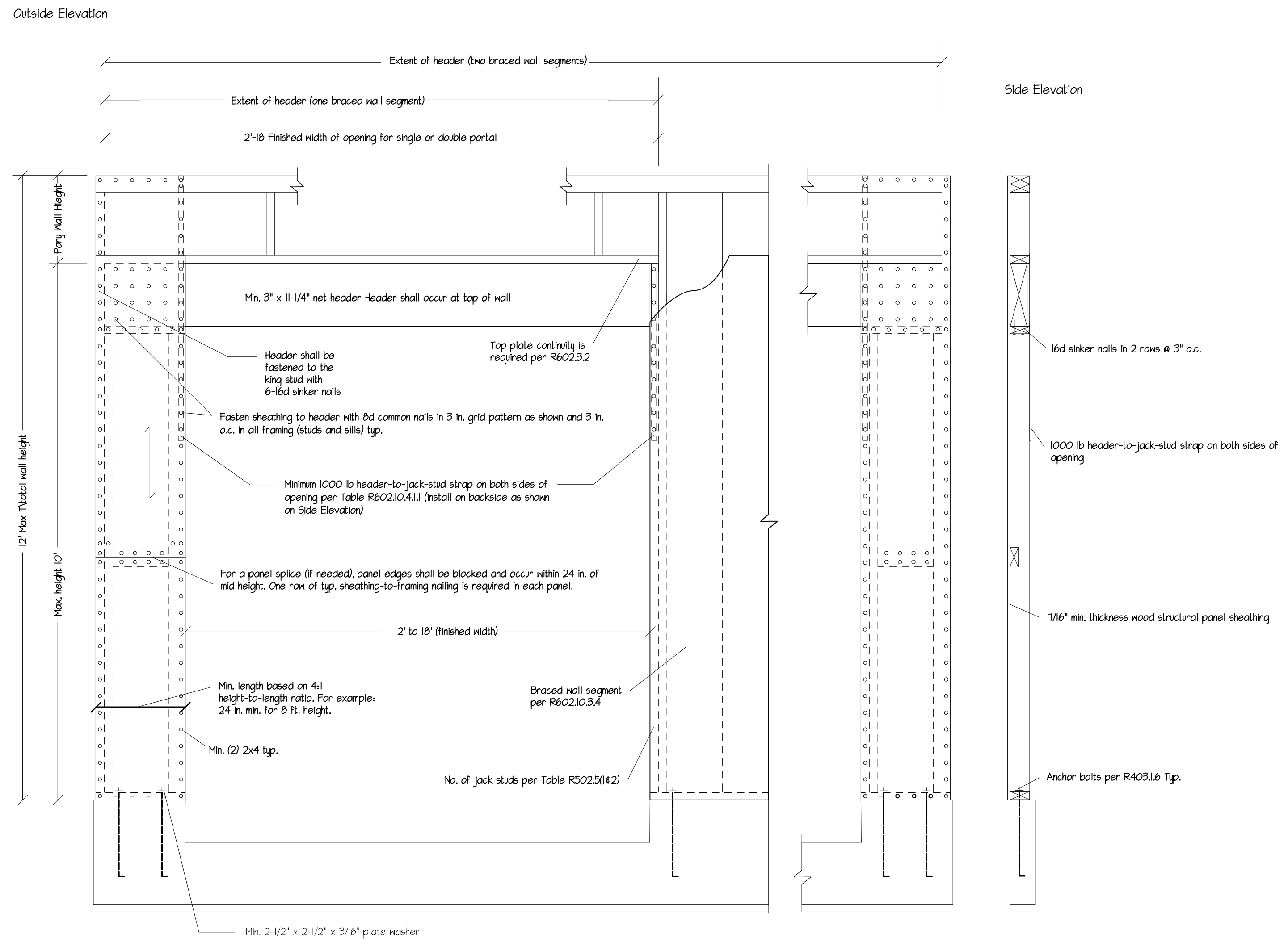
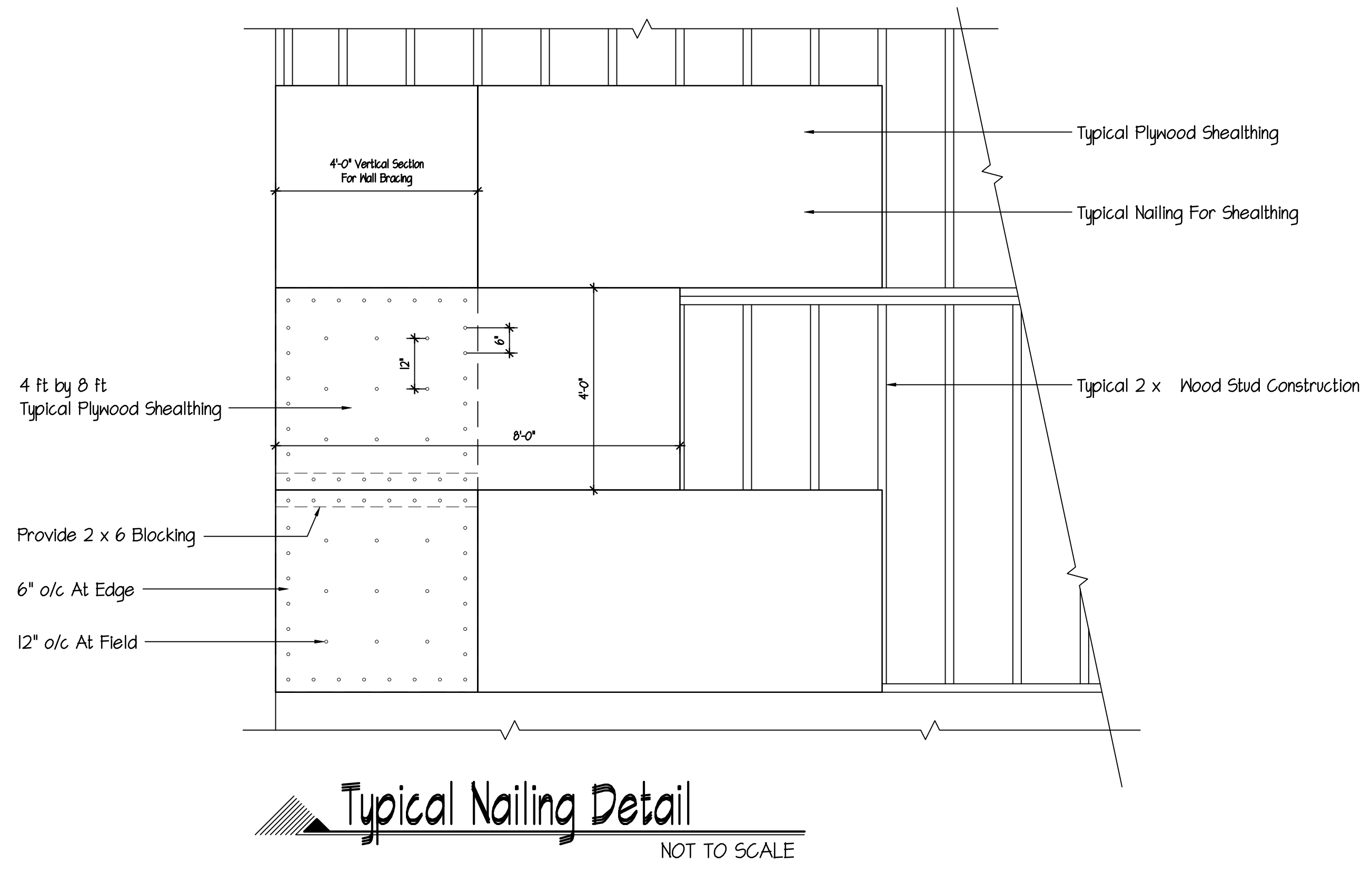


Residence For
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Revision	Date
Date	April 11, 2024
Job No	224-050
Drawing	8 OF 12

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Wall Bracing Designed Following 2020 Residential Code Of New York State Section R602.12 Simplified Wall Bracing.

Notes:

Bracing Unit:

A bracing unit shall be a full-height sheathed segment of the exterior wall without openings or vertical or horizontal offsets and a minimum length as specified herein. Interior walls shall not contribute toward the amount of required bracing. Mixing of Items 1 and 2 is prohibited on the same story.

1. Where all framed portions of all exterior walls are sheathed in accordance with Section R602.12.2, including wall areas between bracing units, above and below openings and on gable end walls, the minimum length of a bracing unit shall be 3 feet (914 mm).

2. Where the exterior walls are braced with sheathing panels in accordance with Section R602.12.2 and areas between bracing units are covered with other materials, the minimum length of a bracing unit shall be 4 feet (1219 mm).

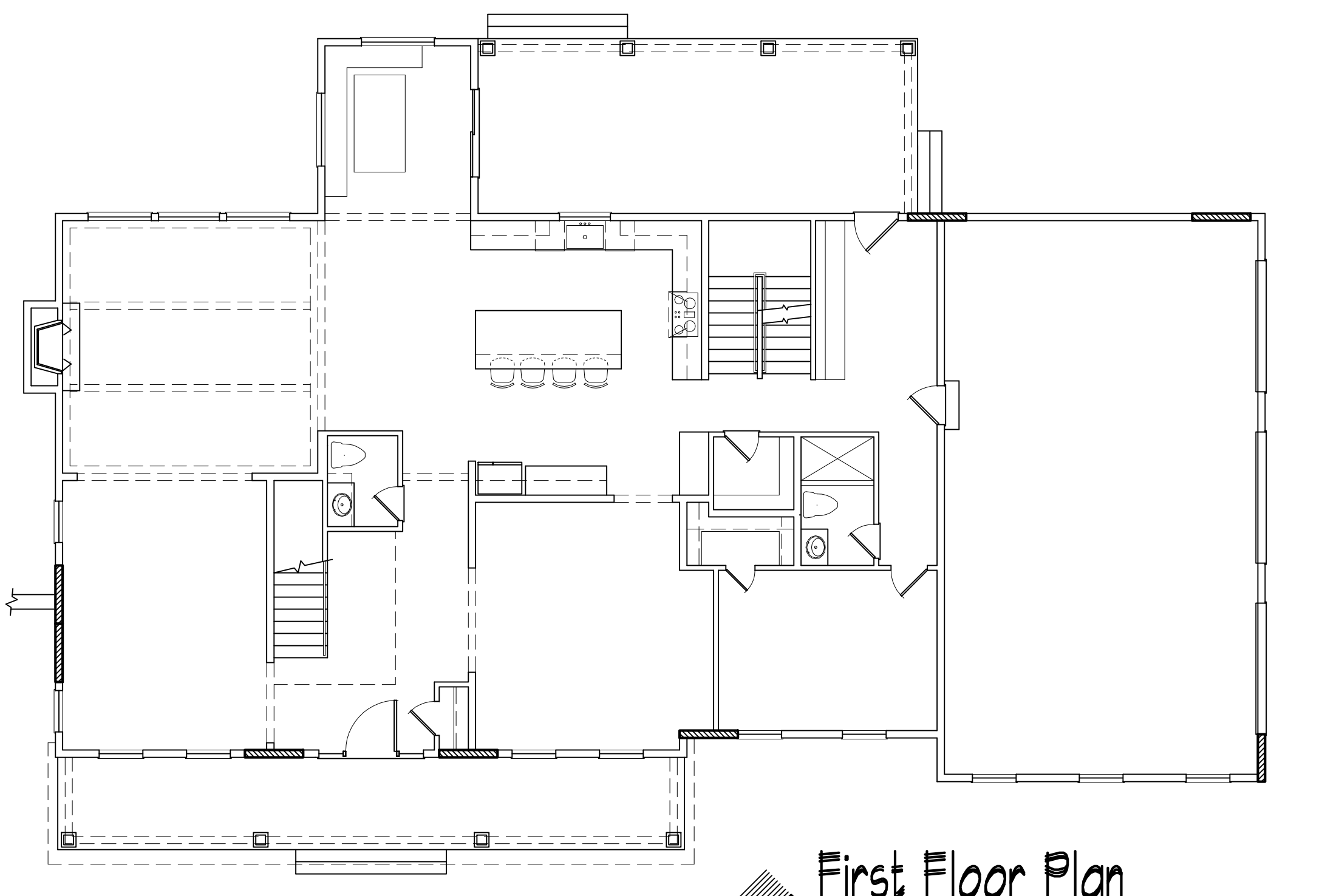
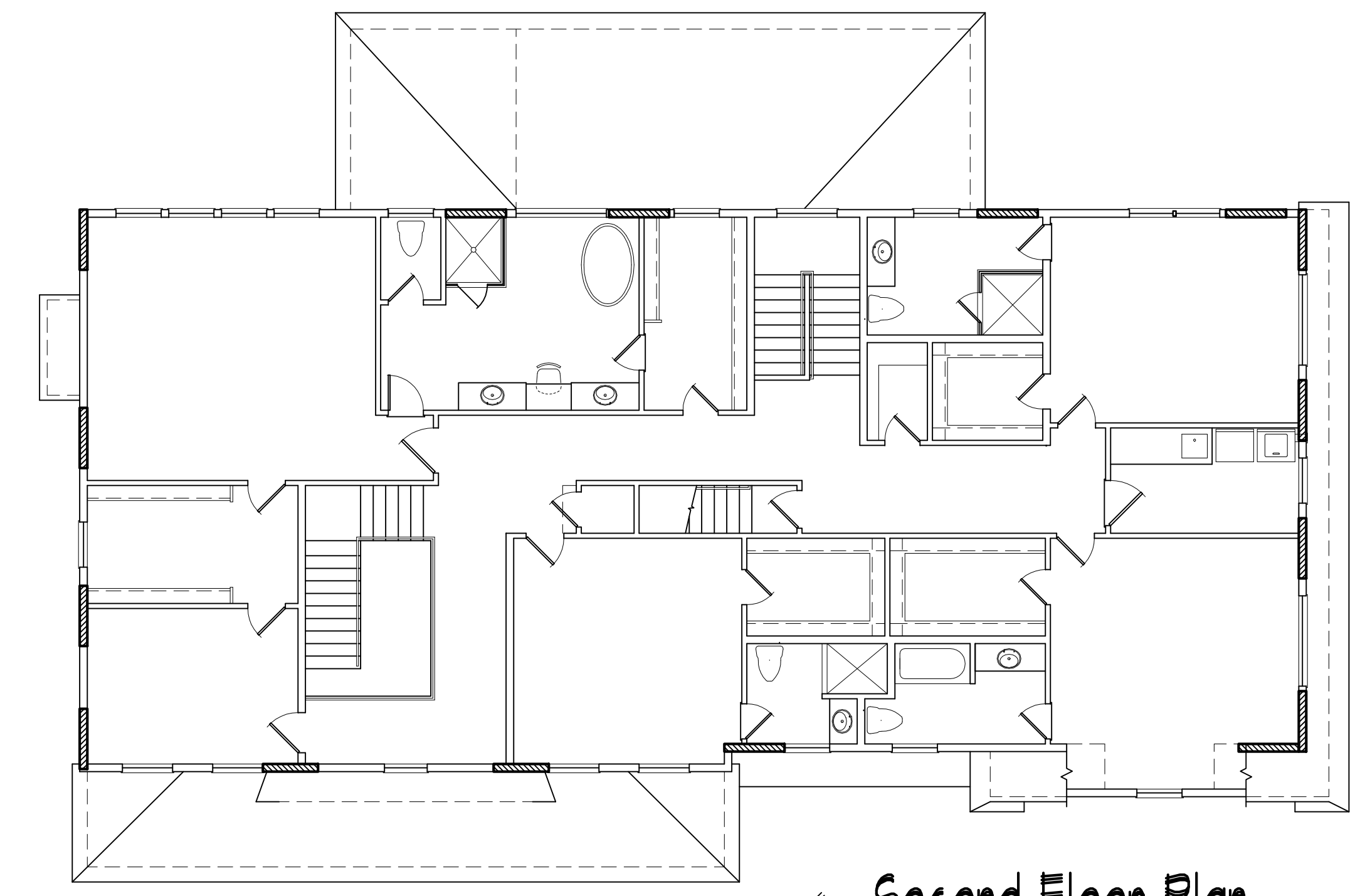
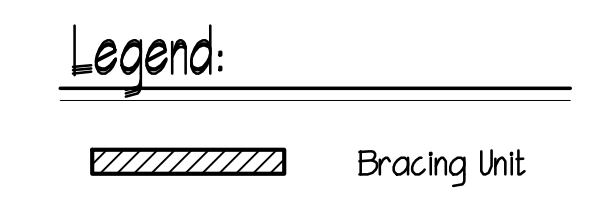
See 2020 Residential Code Of New York State Section R602.12 For Additional Information.

Minimum Number of Braced Wall Panels:

Braced wall lines with a length of 16 feet (4877 mm) or less shall have not less than two braced wall panels of any length or one braced wall panel equal to 48 inches (1219 mm) or more. Braced wall lines greater than 16 feet (4877 mm) shall have not less than two braced wall panels.

Method CS-PF: Continuously Sheathed Portal Frame At Garage Doors:

Continuously sheathed portal frame braced wall panels shall be constructed in accordance with Figure R602.10.6.4 and Table R602.10.6.4. The number of continuously sheathed portal frame panels in a single braced wall line shall not exceed four.



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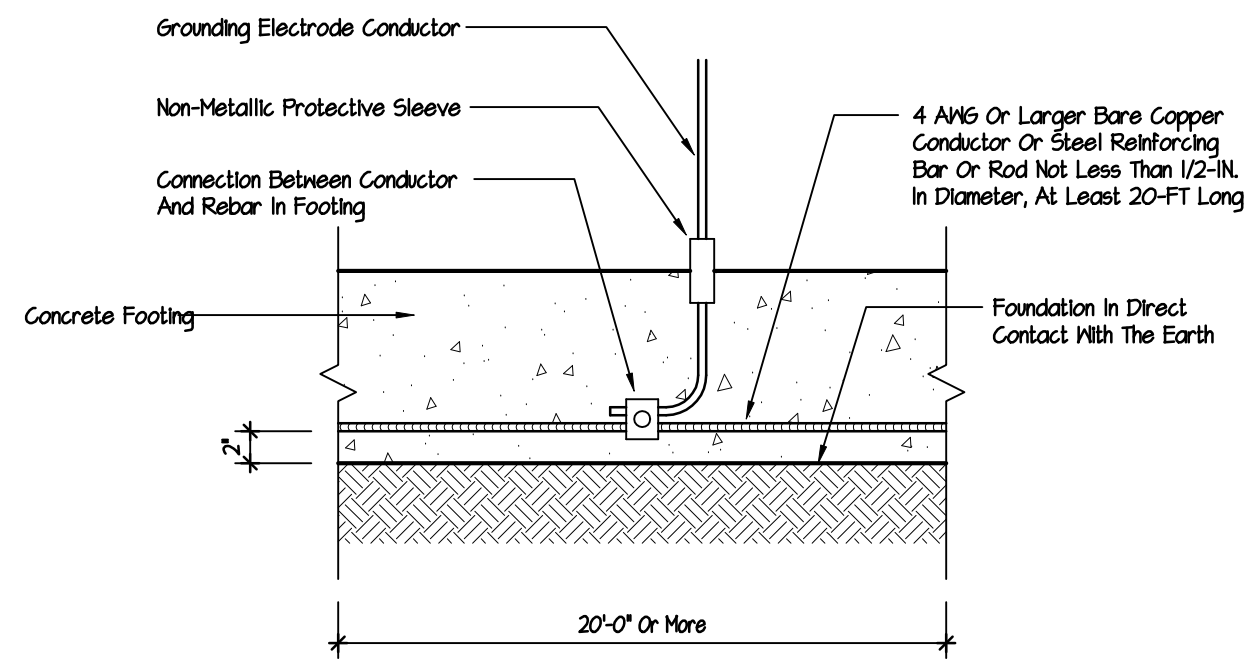


Residence For
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Armonk, NY

Revision	Date
Date	April 11, 2024
Job No	224-050
Drawing	9 OF 12

Do Not Scale Prints

Climate Zone	Fenestration U-Factor	Skylight U-Factor	Glazed Fenestration SHGC	Ceiling R-Value	Wood Frame Wall R-Value	Mass Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value And Depth	Crawl Space Wall R-Value
4	0.32	0.55	0.4	49	20 Int. Or 13-5	8/3	19	10/3	10, 2 Ft.	10/3



Provide Concrete-Encased Electrode. As Per E3508.1.2 code.

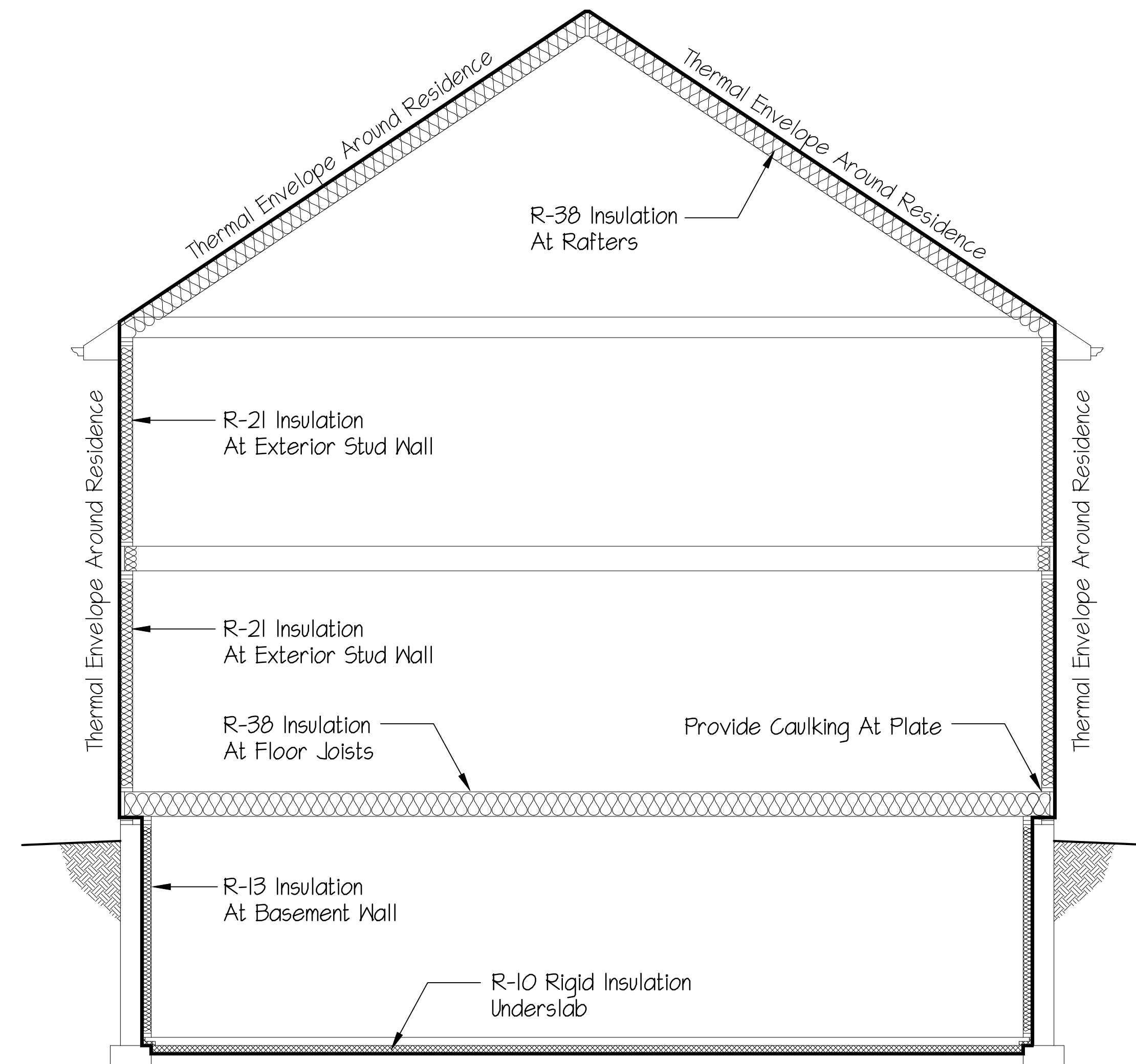
E3508.1.2 Concrete-encased electrode. An electrode encased by at least 2 inches (51 mm) of concrete, located horizontally near the bottom or vertically and within that portion of a concrete foundation or footing that is in direct contact with the earth, consisting of at least 20 feet (6096 mm) of one or more bare or zinc-galvanized or other electrically conductive coated steel reinforcing bars or rods of not less than 1/2 inch (12.7 mm) diameter, or consisting of at least 20 feet (6096 mm) of bare copper conductor not smaller than 4 AWG shall be considered as a grounding electrode. Reinforcing bars shall be permitted to be bonded together by the usual steel tie wires or other effective means. Where multiple concrete-encased electrodes are present at a building or structure, only one shall be required to be bonded into the grounding electrode system.

Wood Header Schedule		Jack Stud Schedule	
Span	Header Size	Span	Jack Studs
Up To 3'-0"	(2) 2 x 8 Hdr	Up To 3'-0"	1 Jack Stud Per Side
Up To 4'-0"	(2) 2 x 10 Hdr	Up To 4'-0"	2 Jack Stud Per Side
Up To 6'-0"	(3) 2 x 10 Hdr	Up To 6'-0"	2 Jack Stud Per Side

Note: Unless Otherwise Noted On Plans

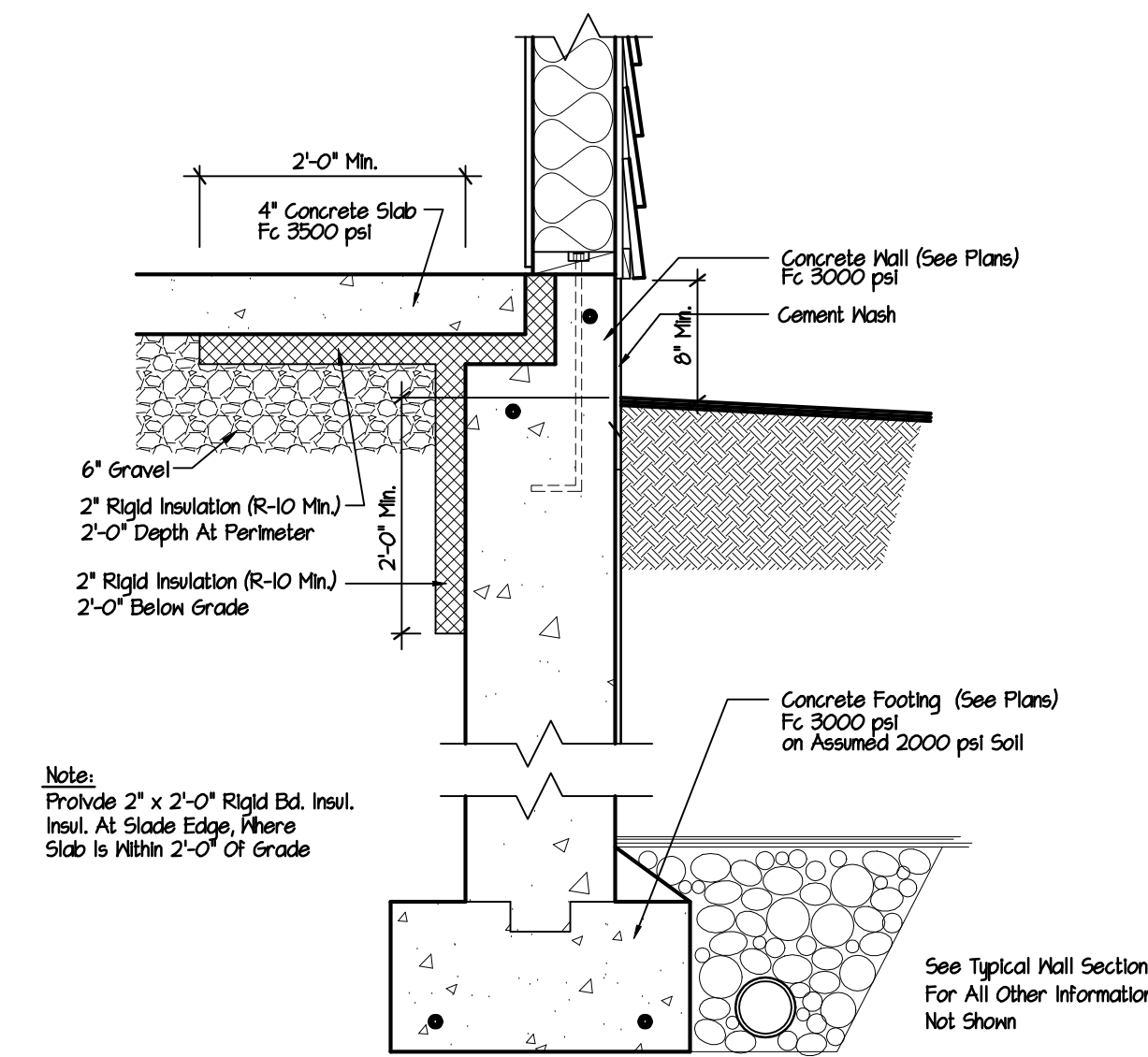
Concrete-Encased Electrode

Scale: 1" = 1'-0"



Thermal Envelope

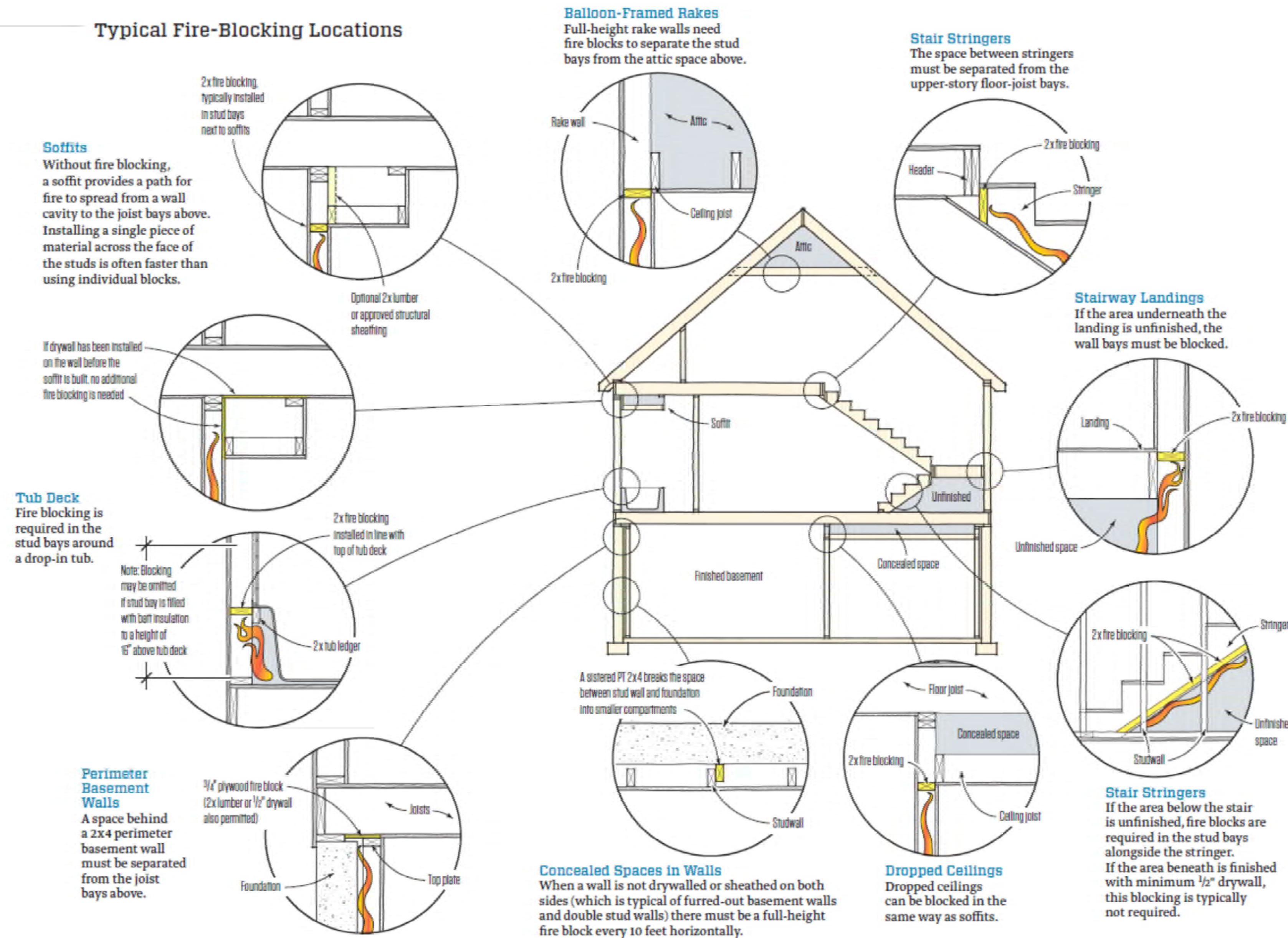
Scale: 1/4" = 1'-0"



Slab Edge/ Rigid Insul. Detail

Scale: 1" = 1'-0"

Typical Fire-Blocking Locations



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Details For
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Armonk, NY

Revision	Date
	April 11, 2024
Job No	224-050
Drawing	10 OF 12

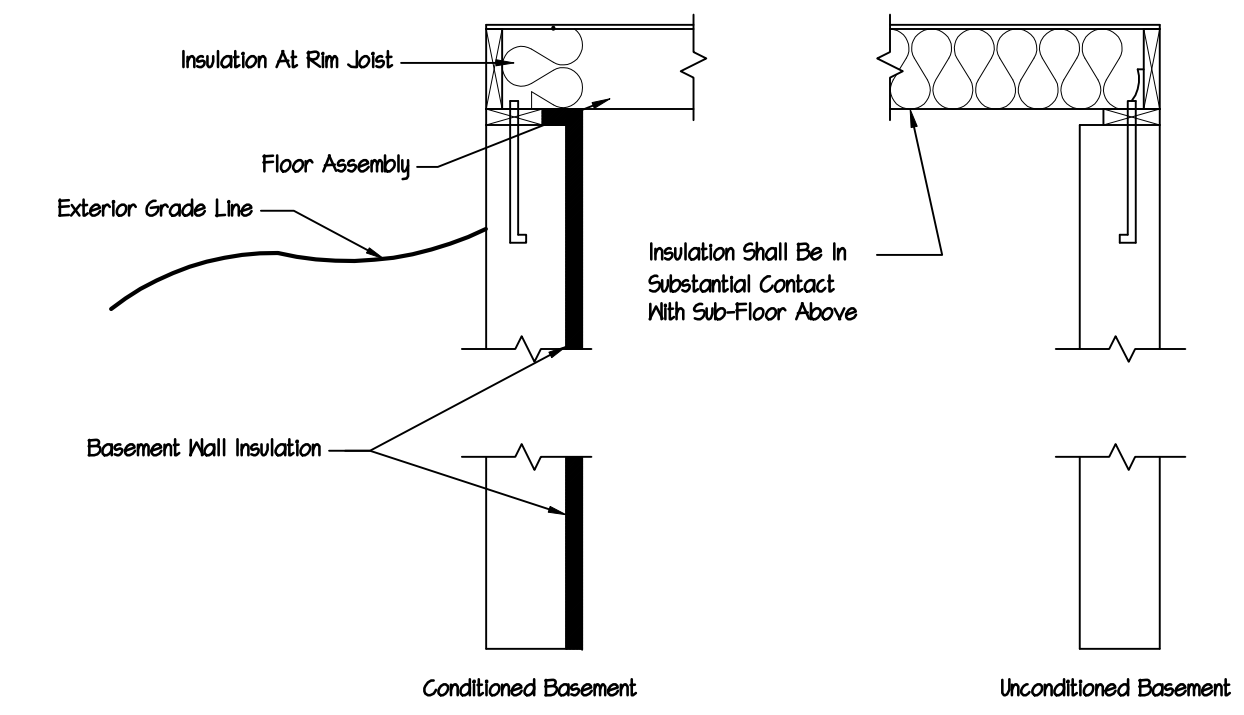
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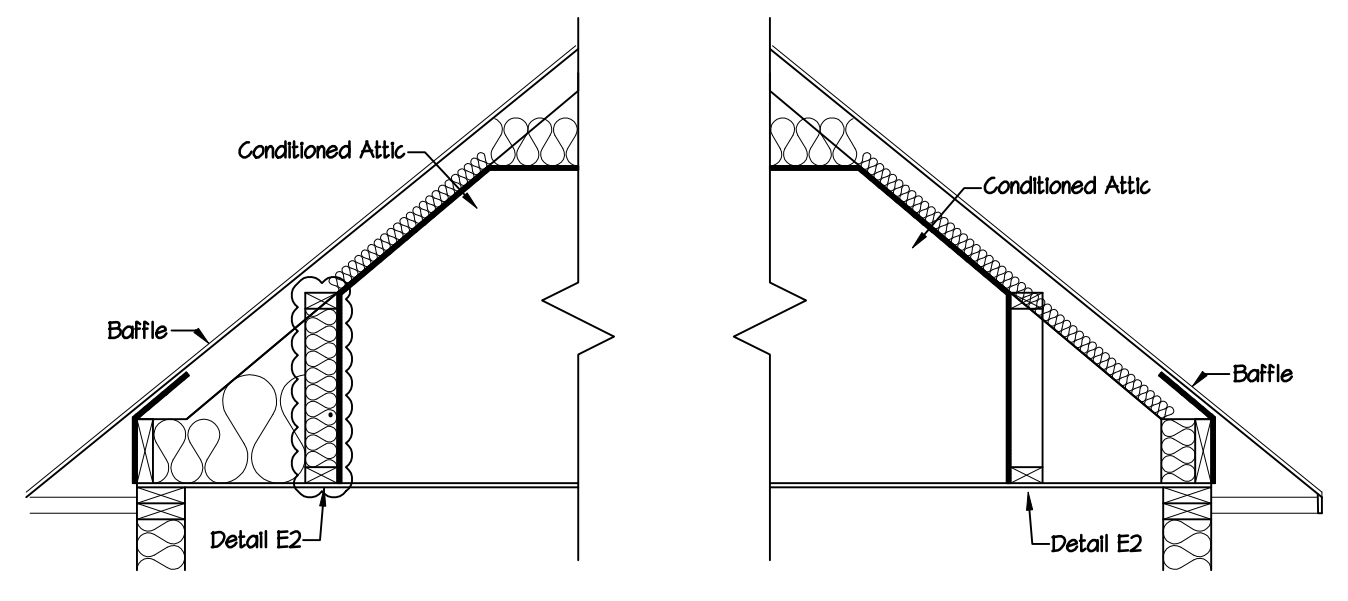
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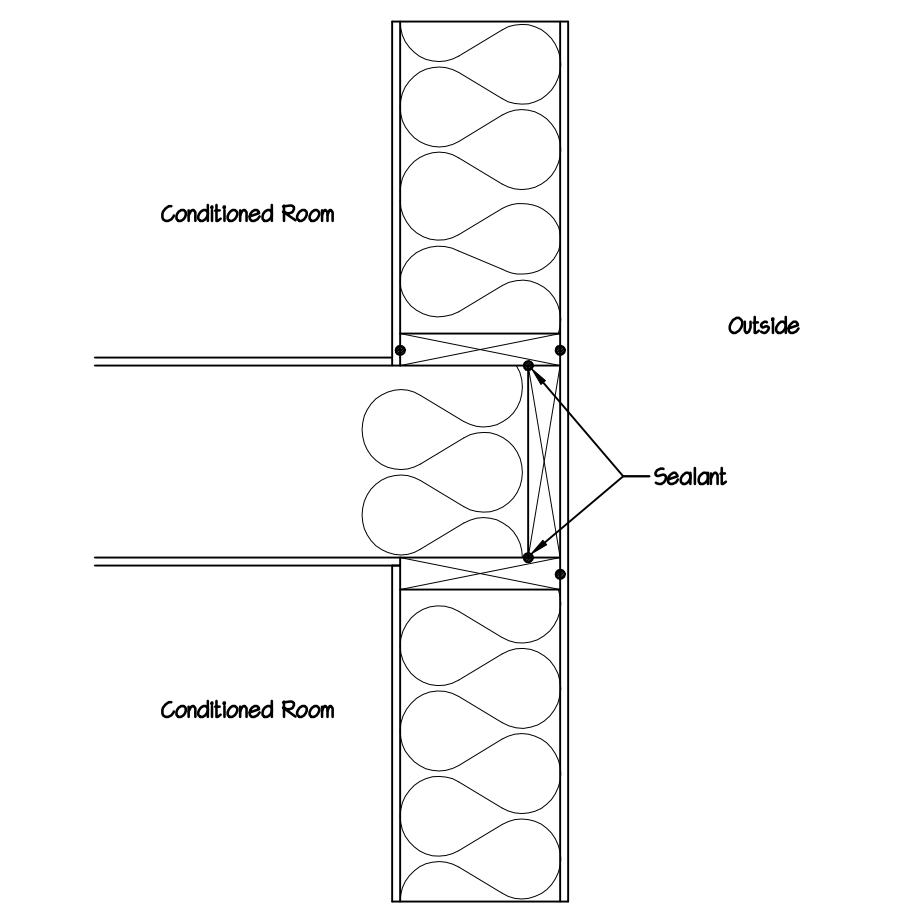
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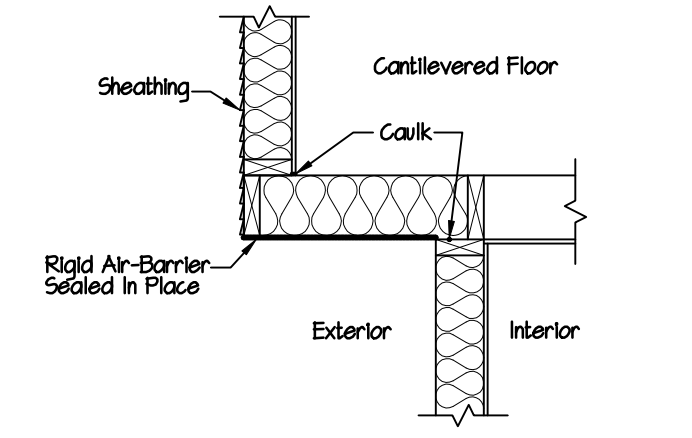
Insulation Detail A
Scale: 1/2" = 1'-0"



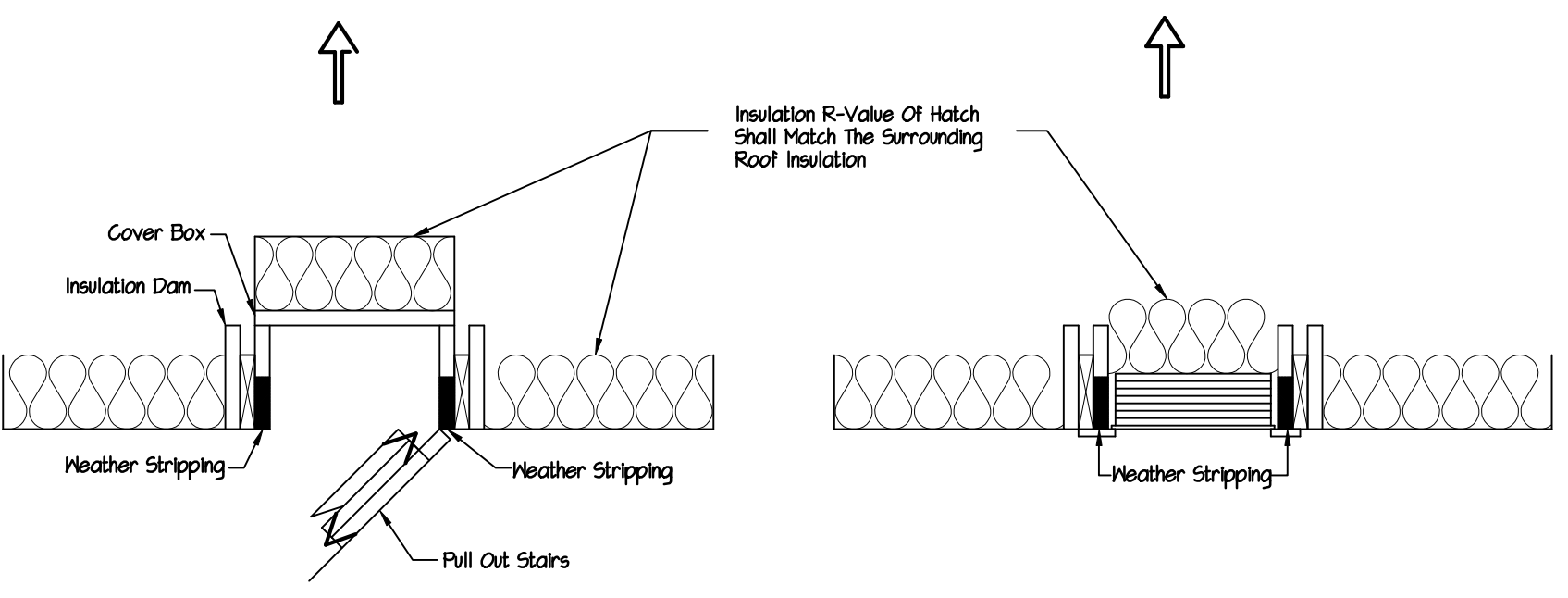
Conditioned Attics
Scale: 1/2" = 1'-0"



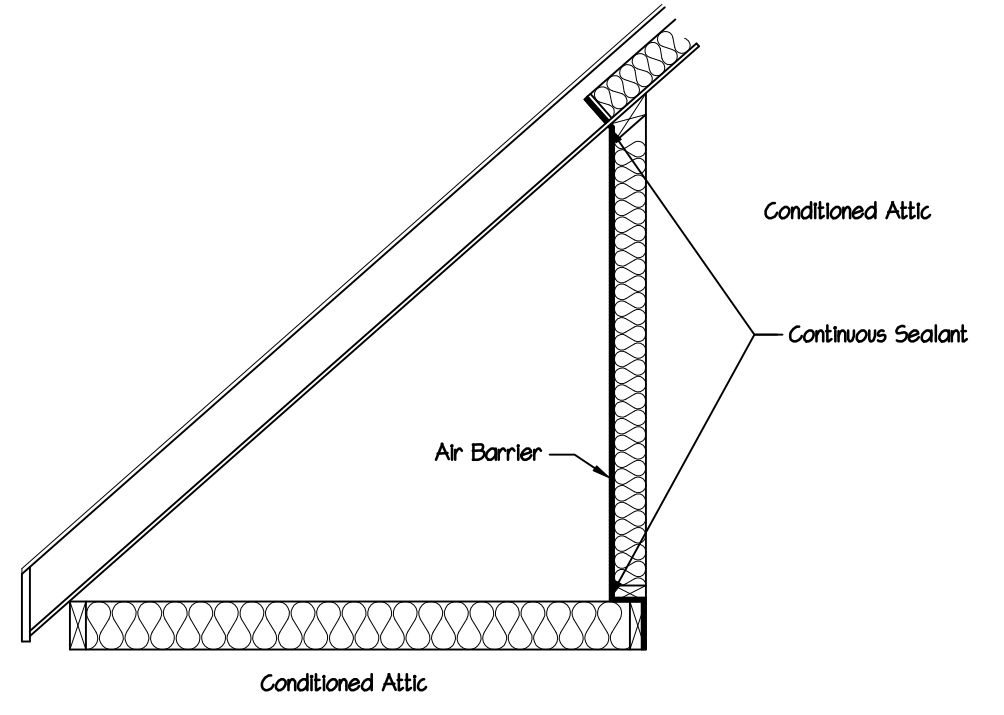
Insulation At Rim Joists
Scale: 1" = 1'-0"



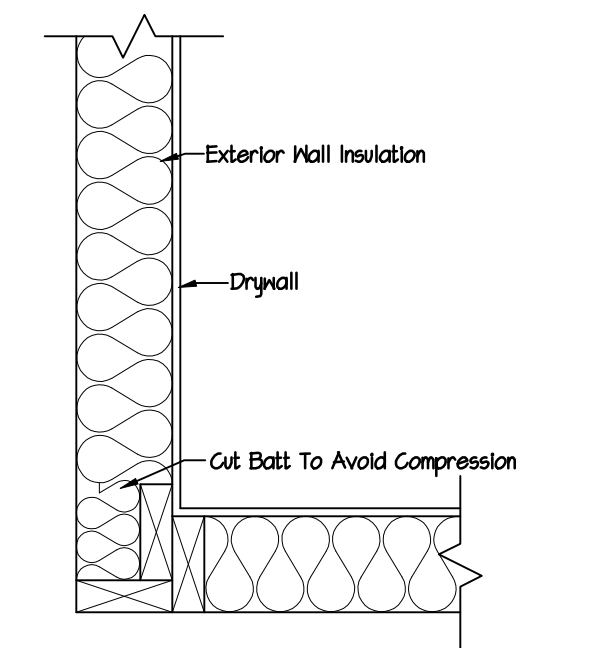
Cantilever Floor
Scale: 1/2" = 1'-0"



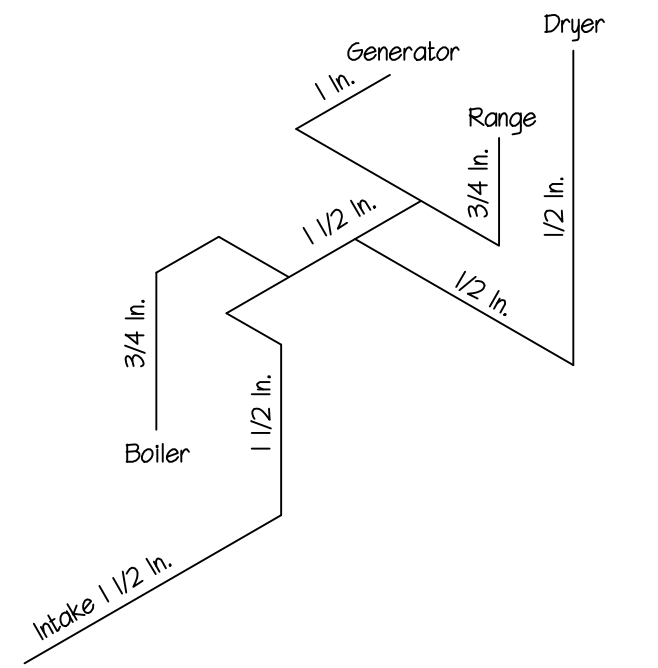
Insulation Detail B
Scale: 1/2" = 1'-0"



Air Barrier In Conditioned Attics
Scale: 1/2" = 1'-0"

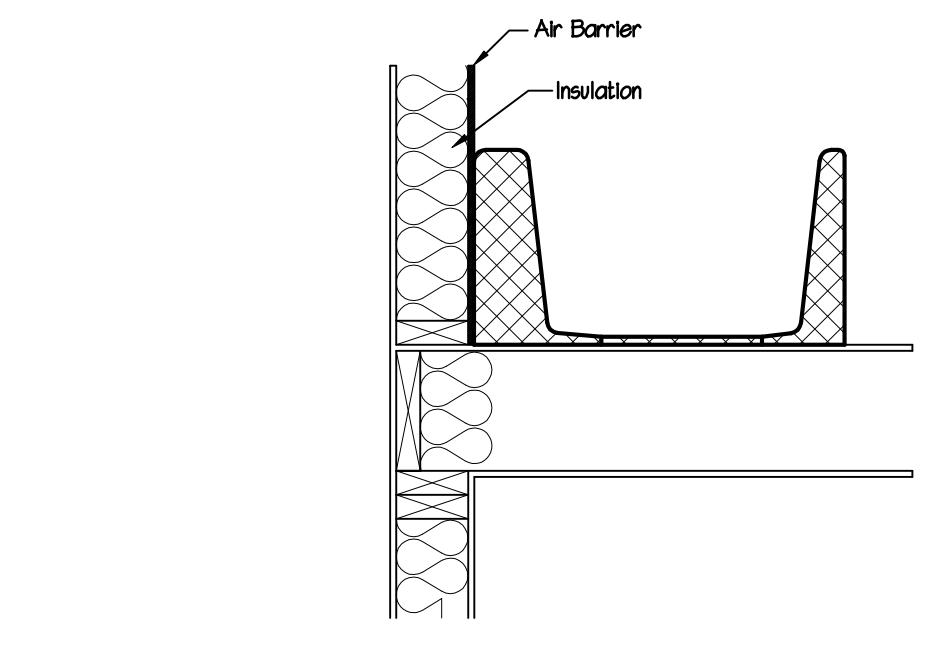


Insulated Corner
Scale: 1" = 1'-0"

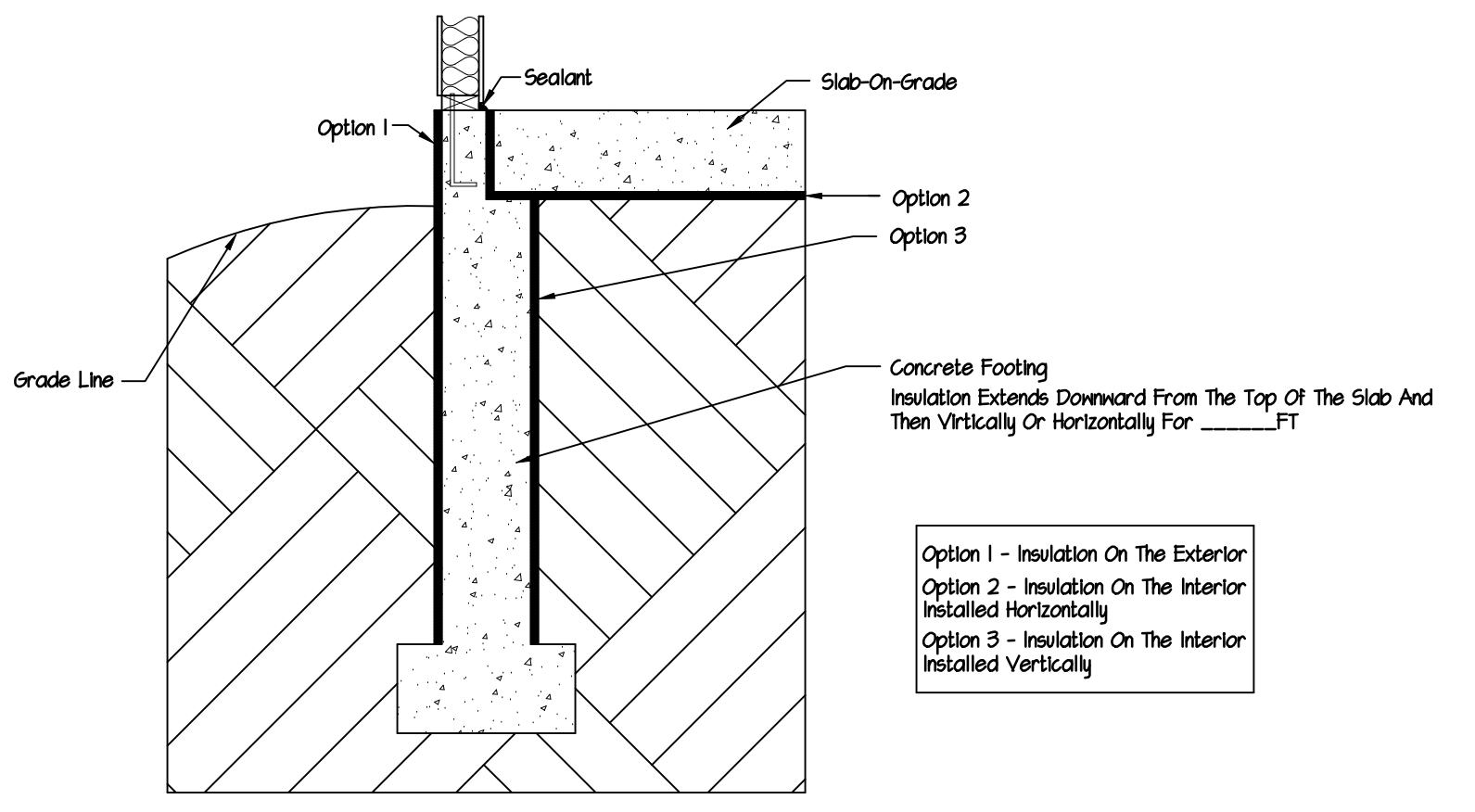


Gas Riser Diagram
Scale: None

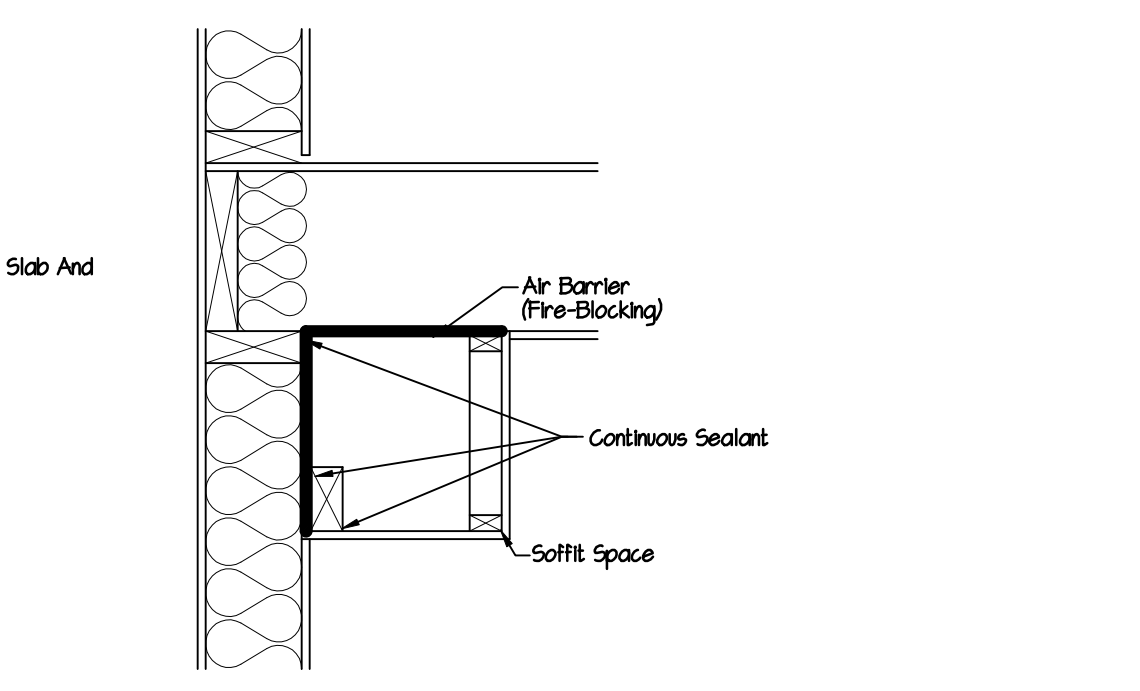
Refer To 2020 Residential Code Of New York State Chapter 24 Fuel Gas For Additional Information.
See Section G2413 For Sizing Of Pipes & Additional Info.
See Section G2411 For Electrical Bonding code.



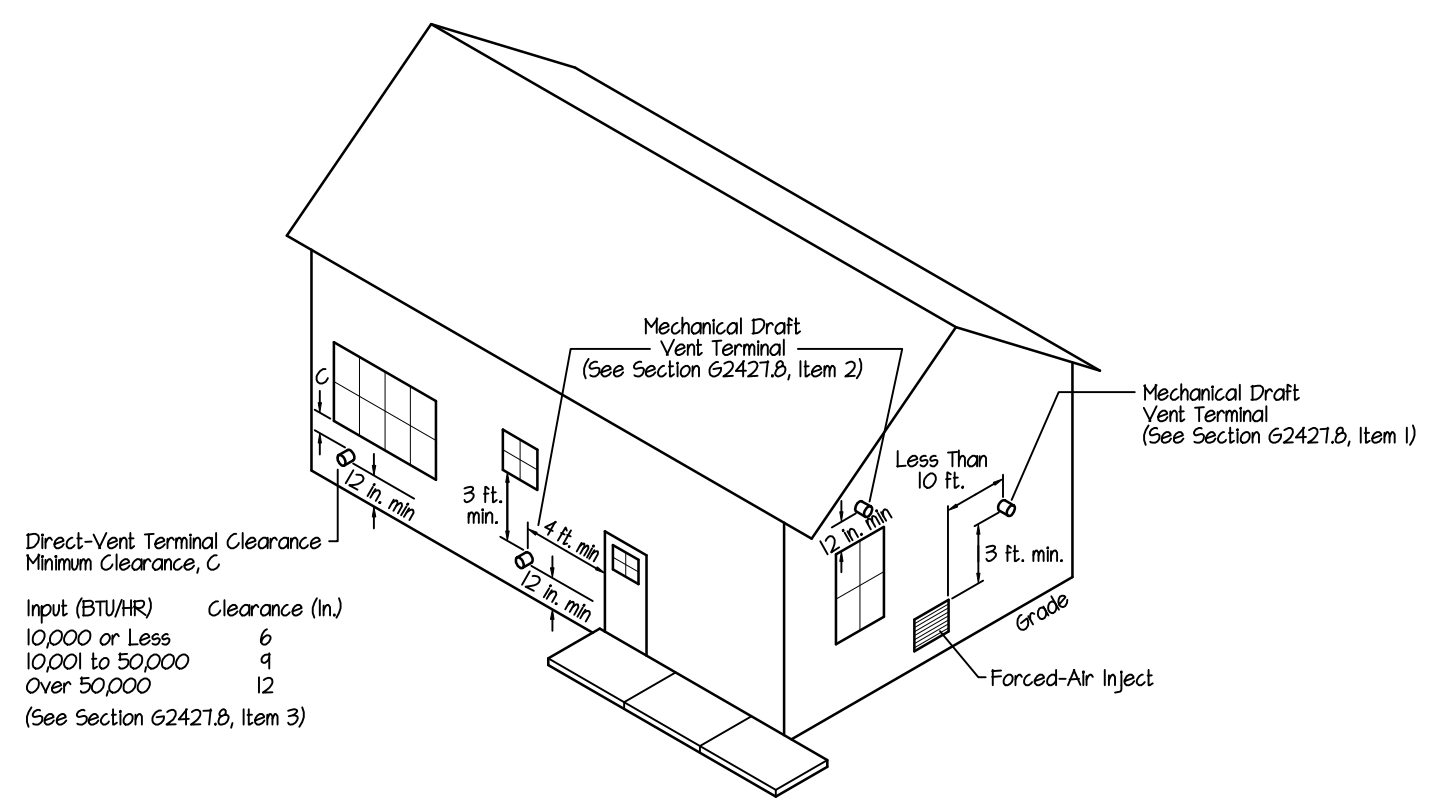
Air Barrier- Bathtub On Exterior Wall
Scale: 3/4" = 1'-0"



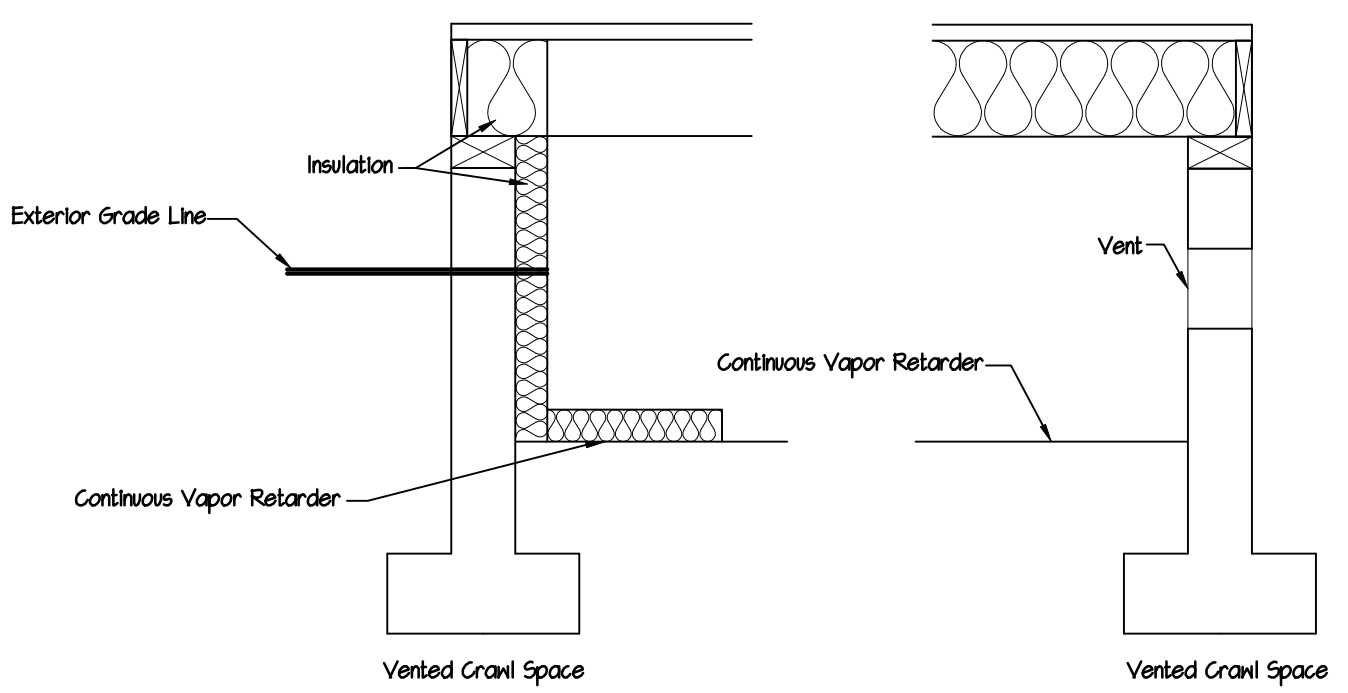
Slab-On-Grade Insulation
Scale: 1/2" = 1'-0"



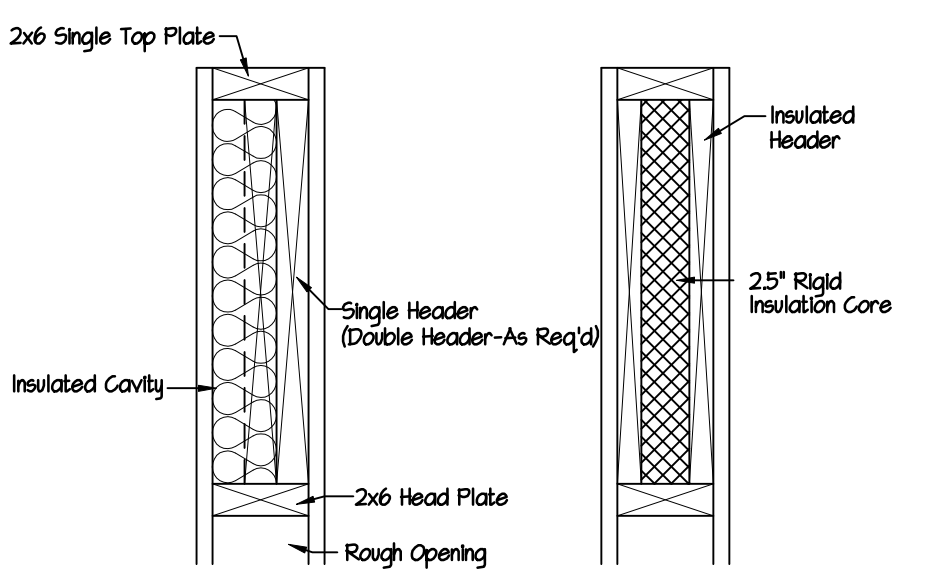
Air Barrier At Soffit Spaces
Scale: 1" = 1'-0"



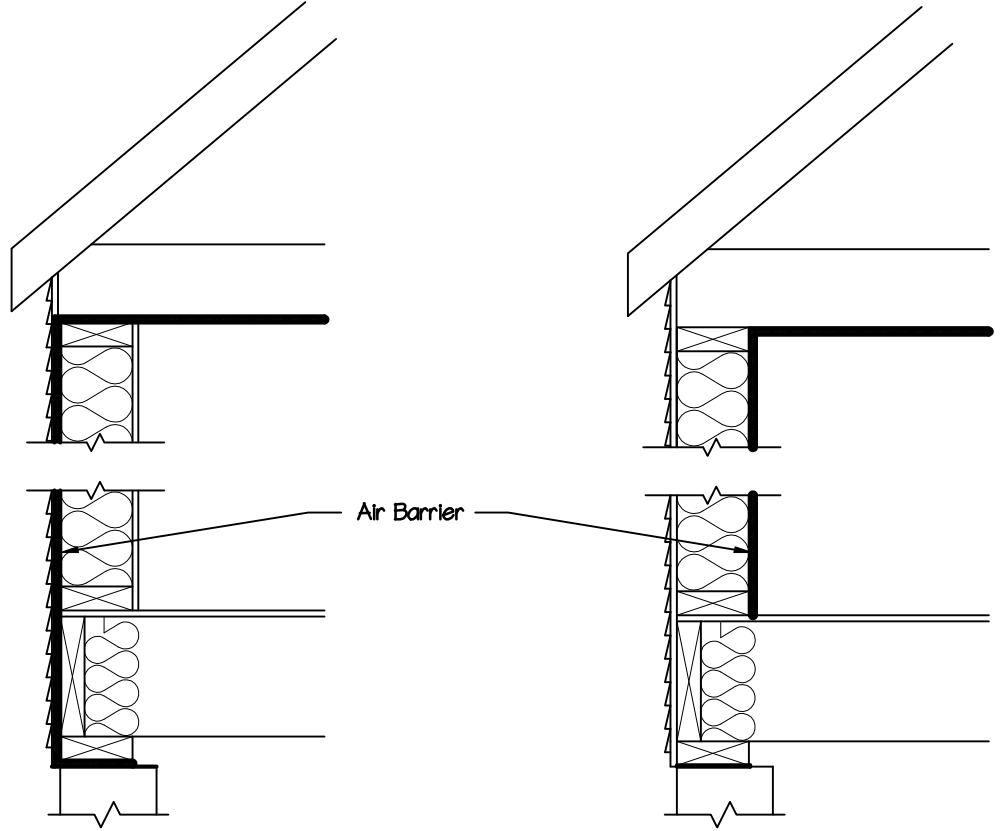
Exit Terminals Of Mechanical Draft & Direct-Vent Venting Systems
See 2020 New York State Residential Code Appendix C For More Detail



Crawl Space Insulation
Scale: 1/2" = 1'-0"



Insulated Headers
Scale: 1" = 1'-0"



Air Barrier Options
Scale: 1/4" = 1'-0"

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Details For
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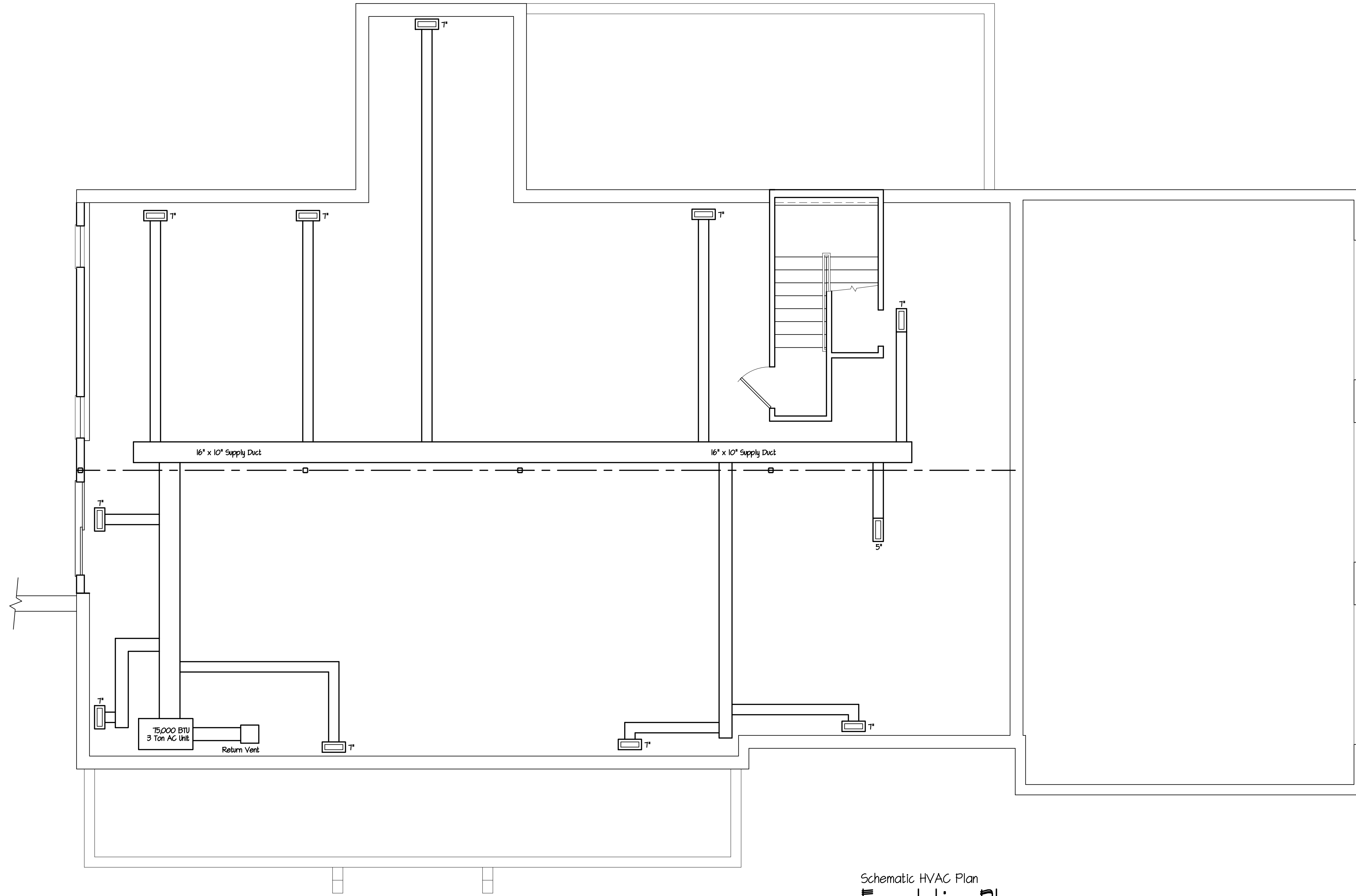
Revision	Date
Date	April 11, 2024
Job No	224-050
Drawing	11 OF 12

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Schematic HVAC Plan
Foundation Plan
 Scale: 1/4" = 1'-0"

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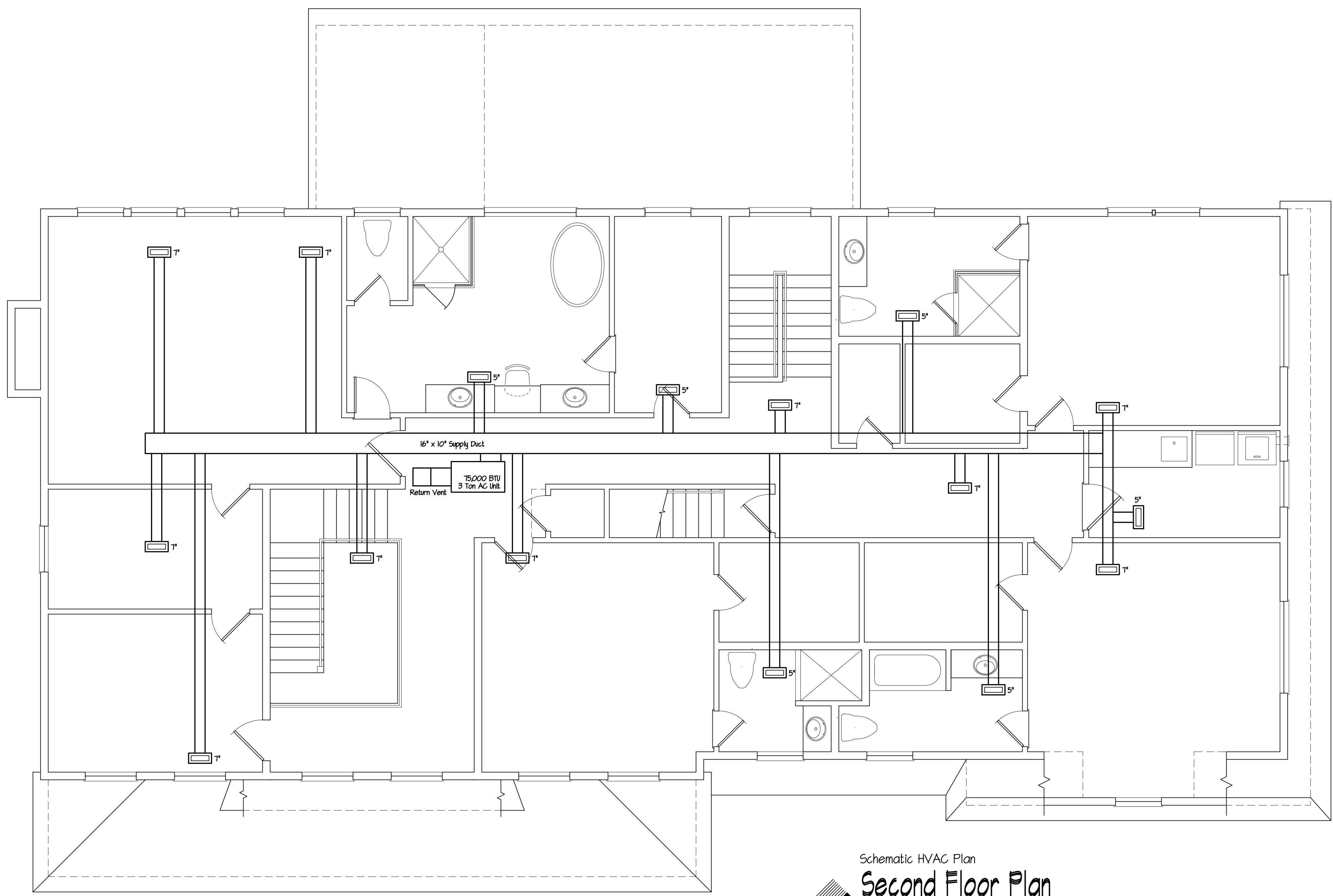
Revision	Date
	April 11, 2024
Job No	224-050
HVAC Drawing	
1	OF 2

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Schematic HVAC Plan
Second Floor Plan
 Scale: 1/4" = 1'-0"

Residence For

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HVAC Drawing
2 OF 2

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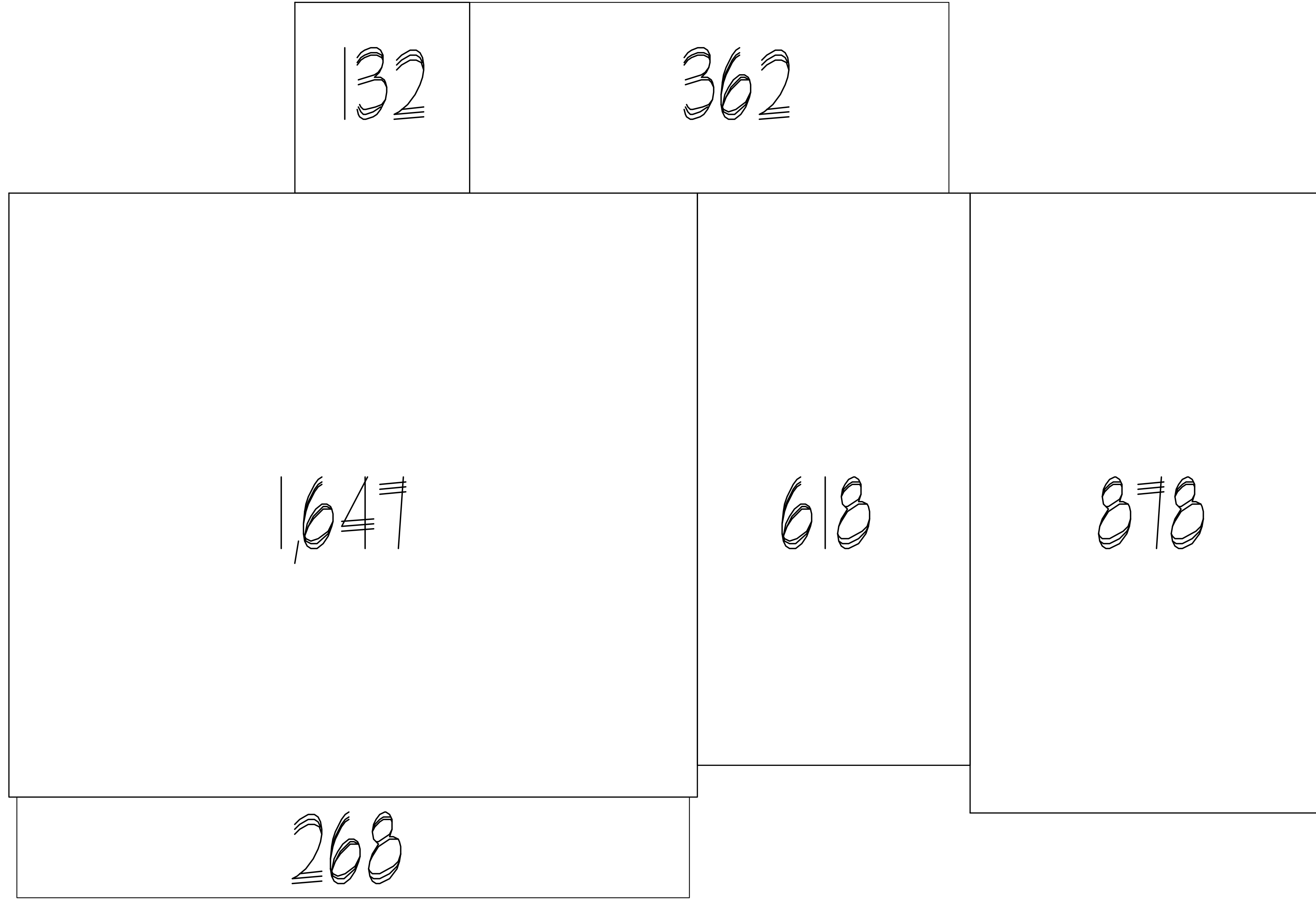


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First Floor
 Scale: 1/4" = 1'-0"

Note: Lines Shown are
 Computer Polyline Entities

	1,647
	618
	878
	132
	268
	+ 362
First Floor	3,905
First Floor	3,905
Second Floor	3,040
Total	6,945

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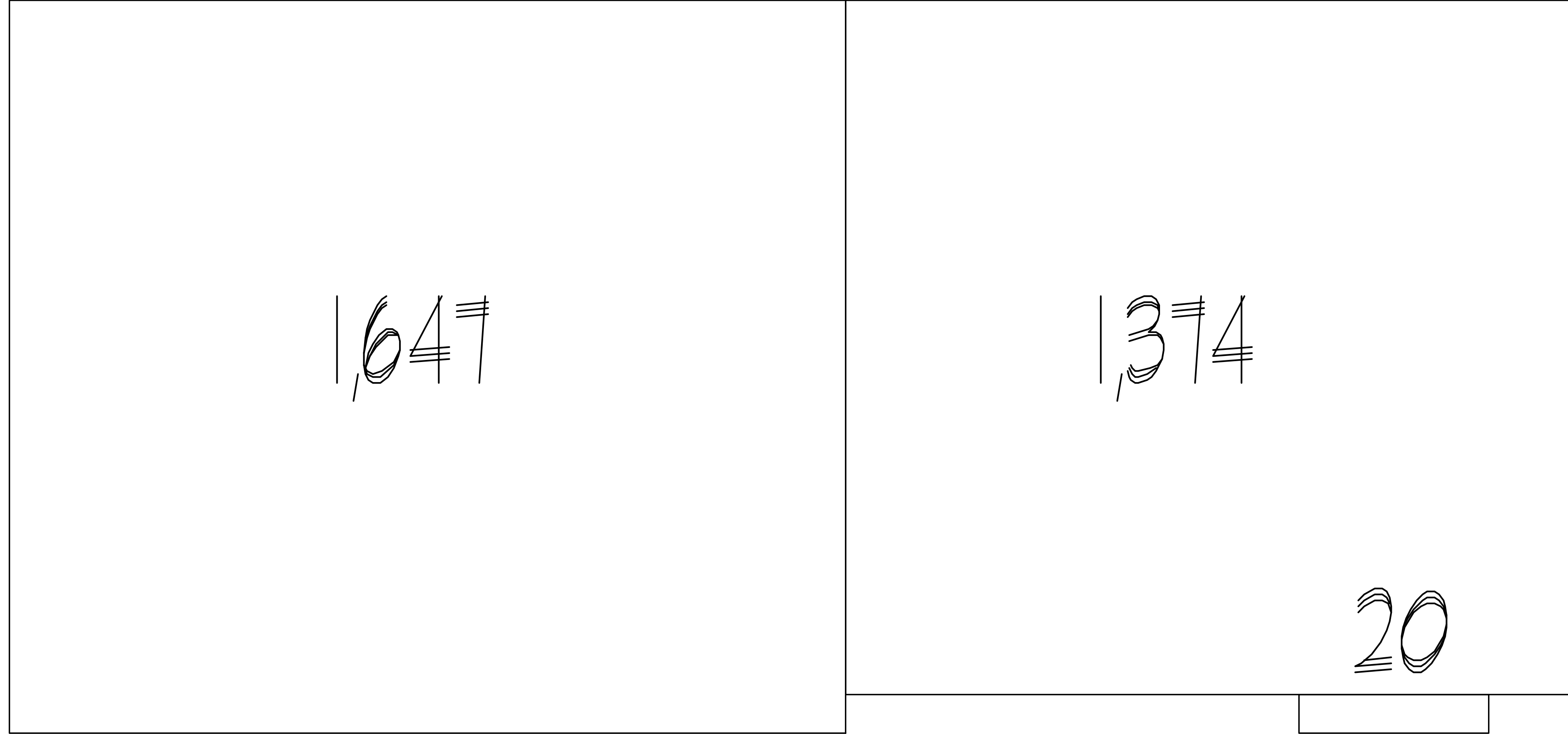
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Job No	224-050
F.A.R. Drawing	1 OF 2

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Second Floor

Scale: 1/4" = 1'-0"

Note: Lines Shown are Computer Polyline Entities

Second Floor 3,040

$$\begin{array}{r}
 1,647 \\
 1,373 \\
 + \quad 20 \\
 \hline
 \end{array}$$

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F.A.R. Drawing

2 OF 2



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